AGENDA

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MARCH 15, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = RED

NOTES: [*1*] ADDITIONAL CASE INFORMATION FOR THIS MEETING CAN BE FOUND AT HTTP://WWW.ROCKWALL.COM/MEETINGS.ASP, AND [*2*] TO PROVIDE INPUT ON A ZONING OR SPEICIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

(1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) Approval of minutes for the *February 15, 2022* Planning and Zoning Commission meeting.

(3) P2022-005 (BETHANY ROSS)
Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a *Replat* of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 1, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

(4) P2022-006 (ANGELICA GAMEZ)
Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a *Replat* for Lots 13 & 14 of the Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [*SH-205*], and take any action necessary.

(5) P2022-007 (HENRY LEE)
Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a *Replat* for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

(6) P2022-008 (HENRY LEE)
Consider a request by William Johnson of LTL Family Holdings, LLC for the approval of a *Preliminary Plat* for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(7) SP2022-007 (HENRY LEE)
Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development (US), Inc. for the approval of a *Site Plan* for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District,

generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

(8) SP2022-008 (BETHANY ROSS)
Consider a request by John M. Lucio of JAL Architect Group, Inc. on behalf of Guy Holbert of EPE's/Penske for the approval of an *Amended Site Plan* to add *Outside Storage* to an existing *Trucking Company* being a 4.060-acre parcel of land identified as Lot 1R, Block 1, Texas Star Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2890 S. Goliad Street [*SH-205*], and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(9) Z2022-006 (RYAN MILLER)
Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

(10) Z2022-007 (ANGELICA GAMEZ)
Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

(11) Z2022-008 (BETHANY ROSS)
Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

(12) Z2022-009 (HENRY LEE)
Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

(13) Z2022-010 (RYAN MILLER)
Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

(14) Z2022-011 (RYAN MILLER)
Hold a public hearing to discuss and consider a City initiated request for the approval of a *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

(15) Z2022-012 (RYAN MILLER)
Hold a public hearing to discuss and consider approval of a *Text Amendment* to Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of incorporating Airport Overlay (AP OV) District, and take any action necessary.

(VI) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(16) MIS2022-004 (HENRY LEE)
Discuss and consider a request by James Best for the approval of a *Miscellaneous Case* for a *Special Exception* to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

(17) SP2022-004 (BETHANY ROSS)
Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Kevin Lefere of Airport Road, LLC for the approval of a *Site Plan* for an *Office Building* on a 0.47-acre parcel of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1501 Airport Road, and take any action necessary.

(18) SP2022-005 (HENRY LEE)
Discuss and consider a request by Jeremy Nelson, PE of Kirkman Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a *Site Plan* for an *Office/Warehouse/Manufacturing Facility* on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276, and take any action necessary.

(19) SP2022-006 (HENRY LEE)
Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a *Site Plan* for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In* (*i.e. Pollo Regio*) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

(VII) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(20) *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2022-003: Final Plat for the Nelson Lake Subdivision (APPROVED)
- Z2022-001: PD Development Plan for the Harbor District Condominiums (APPROVED; 1ST READING)
- Z2022-002: PD Development Plan for the Sunset Ridge Residences (APPROVED; 1ST READING)
- Z2022-003: SUP for a *Restaurant with Drive-Through or Drive-In* in Planned Development District 70 (PD-70) (APPROVED; 1ST READING)
- Z2022-004: SUP for a *Guest Quarters/Secondary Living Unit* for 704 Jackson Street (APPROVED; 1ST READING)
- Z2022-005: SUP for a *Residential Infill Adjacent to an Established Subdivision* 503 S. Clark Street (APPROVED; 1ST READING)
- MIS2022-001: Alternative Tree Mitigation Settlement Agreement for 1775 Airport Road (WITHDRAWN)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on *March 11, 2022* at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
***FEBRUARY 15, 2022* IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

NOTES ABOUT PUBLIC PARTICIPATION = RED

NOTES: [*1*] ADDITIONAL CASE INFORMATION FOR THIS MEETING CAN BE FOUND AT HTTP://WWW.ROCKWALL.COM/MEETINGS.ASP, AND [*2*] TO PROVIDE INPUT ON A ZONING OR SPEICIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas, Jerry Welch, Mark Moeller, and Jean Conway. Staff members present were Director of Planning and Zoning Ryan Miller and Planners Henry Lee and Bethany Ross, Planning Coordinator Angelica Gamez, Civil Engineer Sarah Johnston, and Assistant City Engineer Jeremy White. Absent from the meeting was City Engineer Amy Williams.

II. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Chairman Chodun closed the open forum.

III. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

1. Approval of minutes for the *January 11, 2022* Planning and Zoning Commission meeting.

2. Approval of minutes for the *January 25, 2022* Planning and Zoning Commission meeting.

3. **P2022-003** (HENRY LEE)
Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Kyle Tressler of Qualico Development (US), Inc. for the approval of a *Final Plat* for the Nelson Lake Subdivision being a 120.90-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

4. **SP2022-001** (HENRY LEE)
Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Kyle Tressler of Qualico Development (US), Inc. for the approval of a *Site Plan* for the Nelson Lake Subdivision being a 120.90-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

5. **MIS2022-003** (HENRY LEE)
Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a *Miscellaneous Case* for a *Treescape Plan* for the Winding Creek Subdivision being on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

Commissioner Moeller made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 7-0.

IV. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

6. **Z2022-001** (RYAN MILLER)
Hold a public hearing to discuss and consider a request by Asher Hamilton of RIV Properties, LLC on behalf of Michael Gibson of Marion E. Wilson, Michael White, Dimensions Real Estates Services, LLC; Mark R. Carson; Allen Anderson; Gary Shultz of Culpepper/Spatex JV; and Robert Fields of In

the Estate of Ernest Fields for the approval of a *PD Development Plan* for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Mixed Use Subdistrict* and the *Horizon/Summer Lee Subdistrict* of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

Chairman Chodun wanted to explain that Commissioner Womble had recused himself from the case.

Planning and Zoning Director Ryan Miller provided a brief summary and history in regards to the request. The applicant is requesting the allocation of 176 units for the purpose of establishing a condominium building. This is a PD Development District which constitutes an amendment to the zoning ordinance. The land use charts do allow for urban residential units through a specific use permit (SUP). In this case, the SUP will be replaced by the PD Development plan since it actually constitutes an amendment to the approved development concept plan and ordinance. The building will consist of a 176 units and the applicant will also be extending Glen Hill Way. Incorporated into the building will be an approximate 7,500 square foot amenity center and pool. In addition to a courtyard and two entry plazas and a public plaza. Mr. Miller then explained the different recommendations made to the applicant in regards to the project. Staff mailed out 45 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all HOAs within 1,500-feet of the subject property. As of today, staff has received 3 property owner notifications from a property owner in favor of the request and 1 letter from a property owner in favor of the request. Mr. Miller then advised that the applicant and staff were present and available to answer questions.

Matthew Peterson
8908 Perry Meadow Lane
McKinney, TX 75071

The applicant came forward and provided a PowerPoint presentation in regards to the request.

Chairman Chodun asked if the lower level was going to be for mixed use.
Commissioner Moeller asked about the placement of the amenity center.

Chairman Chodun opened the public hearing asked if anyone wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard made a motion to approve Z2022-001. Commissioner Thomas seconded the motion which passed by a vote of 6-0 with Commissioner Womble recusing himself from the case.

Chairman Chodun advised this item will go before City Council on February 22, 2022.

7. **Z2022-002** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Louis Clark of KinoD LLC on behalf of D. W. Bobst of 101 Hubbard Dr. LLC, Gary Shultz of Culpepper/Spatex JV, and Allen Anderson for the approval of a *PD Development Plan* for a 42-unit condominium and retail/office building on a 1.20-acre tract of land identified as Lot 1, Block D, Harbor District Addition and Lots 3 & 4, Block 11 and Lots 1, 2, 3, & 4, Block 12, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Mixed Use Subdistrict* of Planned Development District 32 (PD-32), generally located at the northeast corner of the intersection of Sunset Ridge Drive and Summer Lee Drive, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary and background in regards to the request. There are currently 218 urban residential units remaining in the district. The applicant is requesting the approval of a PD Development Plan and for a 42-unit condominium building. The applicant's request does actually appear to meet the intent of the district in that it is a mixed use development. In this case, the parking garage will be built underneath the building and will have one-bedroom, two-bedroom, and three bedroom units. In addition, the applicant has stated that these units will be a for-sale product. The applicant is also proposing to incorporate 1,350 square feet of commercial space that will be accessible on the ground floor. The concept plan also shows an amenity center, pool, basketball court and tennis court. Staff mailed out 20 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all HOAs within 1,500-feet of the subject property. Mr. Miller then advised that the applicant and staff were present and available to answer questions.

Chairman Chodun opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard made a motion to approve Z2022-002. Commissioner Thomas seconded the motion which passed by a vote of 6-0 with Commissioner Womble recusing himself.

Chairman Chodun advised this item will go before City Council on February 22, 2022.

8. **Z2022-003** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a *Specific Use Permit (SUP)* for a *Restaurant 2,000 SF or More with Drive Through or Drive-In* for the purpose of constructing two (2) restaurants on an 8.684-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [*SH-205*], and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary and history in regards to the request. The applicant is proposing approval of a Specific Use Permit (SUP) for two (2) restaurants 2,000 SF or more with a drive through. This request does have to adhere to some conditional land use standards and is also subject to the residency adjacency standards. The request does appear to meet all standards as proposed in the SUP. Staff mailed out 62 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all HOAs within 1,500-feet of the subject property. Staff has since received 2 notices in opposition with the request and 1 notice stating a concern regarding traffic. Mr. Miller then advised that the applicant and staff were present and available to answer questions.

Vice-Chairman Welch asked about the amenity center shown in the concept plan.

Bowen Hendrix
4403 N. Central Expressway
Dallas, TX 75205

Drew Donosky
1903 Central Drive
Bedford, TX 76021

The applicants came forward and provided additional details in regards to the request.

Vice-Chairman Welch had some questions regarding the drive through.

Chairman Chodun opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Vice-Chairman Welch made a motion to approve Z2022-003 with staff recommendations. Commissioner Conway seconded the motion which passed by a vote of 7-0.

Chairman Chodun advised this item will go before City Council on February 22, 2022.

9. **Z2022-004** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Mike and Mary Frasier for the approval of a *Specific Use Permit (SUP)* for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* on a 0.74-acre parcel of land identified as Lot 13, Block E, Wade Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Jackson Street, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting an SUP for the purpose of constructing guest quarters or secondary living unit. The proposed structure will be a 2-story, 20' x 25' structure and will stand 24 feet 8 inches at the peak. It will meet all of the setback requirements and will be situated behind the primary structure. The applicant has stated that the intent of this structure is to be used as a shop but it will incorporate a bathroom and could be used as a guest quarters or secondary living unit. The proposed structure does meet all of the applicable requirements. Staff should note that there are no comparable structures in homes in the same block but this property is situated in the older part of town and there are other similar structures to what the applicant is proposing in the surrounding area. Staff sent out 110 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all HOA's within 1,500-feet of the subject property. Mr. Miller then advised the Commission that the applicant and staff were present and available to answer questions.

Commissioner Womble asked what the primary structure was built out of.

Mike Frasier
704 Jackson Street
Rockwall, TX 75087

Mr. Jackson came forward and provided additional details in regards to the request.

Chairman Chodun opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Womble made a motion to approve Z2022-004 with staff recommendations. Commissioner Moeller seconded the motion which passed by a vote of 7-0.

Chairman Chodun advised this item will go before City Council on February 22, 2022.

10. **Z2022-005** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Perry Bowen of Perry Bowen Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.49-acre parcel of land identified as Lot 2, Block A, Haley & Kyle Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 503 S. Clark Street, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting an SUP for residential infill adjacent to an established subdivision for the purpose of constructing a single-family home. When reviewing a request for residential infill, the City Council and Planning and Zoning Commission are asked to look at the size, the area, and the architecture of the proposed home

compared to other houses in the area and see if it's compatible. The proposed house does meet all of the zoning requirements for the Single-Family 7 (SF-7) District. Staff sent out 69 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all HOA's within 1,500-feet of the subject property. Mr. Miller then advised the Commission that the applicant and staff were present and available to answer questions.

Perry Bowen
230 Myers Road
Heath, TX 75032

Mr. Bowen came forward and provided additional details in regards to the request.

Chairman Chodun opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Conway made a motion to approve Z2022-005. Vice-Chairman Welch seconded the motion which passed by a vote of 7-0.

Chairman Chodun advised this item will go before City Council on February 22, 2022.

V. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

11. **MIS2022-001** (HENRY LEE)
Discuss and consider a request by Clark Staggs of Foxtrot 46 Development on behalf of Neil Gandy of ADD Real Estates for the approval of a *Miscellaneous Case* for a *Tree Mitigation Plan* and an *Alternative Tree Mitigation Settlement Agreement* for a 6.60-acre tract of land being a portion of Tract 21 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the north side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a Treescape Plan and an Alternative Tree Mitigation Settlement Agreement. Based on the treescape plan the applicant provided, the total mitigation balance was 1, 067.5 caliper inches. However, after Staff reviewed the Arborist's report and the treescape plan, staff found that the actual tree mitigation would be 628.75 inches. Per Unified Development Code (UDC) requirements, this would equate to a fee of $125,750.00. Based in this fee, the applicant is requesting an alternative tree mitigation settlement agreement that outlines an alternative fee schedule for the trees being removed. The applicant is requesting to pay a mitigation fee of $17,820.00 which would represent 14.2% of the total mitigation calculated. Staff should note that typically the alternative tree mitigation settlement agreements have been used to allow the applicant to pay the full fee amount rather than follow the 80/20 rule. Mr. Lee then advised that this was a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Chairman Chodun asked if the City used an arborist when the fees were calculated.
Vice-Chairman Welch asked is we typically go by what the City refers for mitigation.
Commissioner Deckard asked what the lot is going to become.

Clark Staggs
1601 Seascape Court
Rockwall, TX 75087

Mr. Staggs came forward and provided additional details in regards to the request.

Commissioners Thomas and Moeller expressed his opposition to the request.

After some discussion, Commissioner Womble made a motion to deny the alternative tree mitigation settlement for case MIS2022-001. Commissioner Thomas seconded the motion to deny which passed by a vote of 7-0.

Commissioner Thomas made a motion to approve the tree mitigation plan (treescape plan) for case MIS2022-001. Vice-Chairman Welch seconded the motion which passed by a vote of 7-0.

12. **MIS2022-002** (HENRY LEE)
Discuss and consider a request by Patricia Edwards for the approval of a *Miscellaneous Case* for a *Special Exception* to the *Fence Standards* for an existing single-family home situated on a 0.907-acre tract of land identified as a portion of Block 121 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 602 Williams Street, and take any action necessary.

Planner Henry Lee provided a brief summary and background in regards to the request. The applicant is requesting to allow the unpermitted improvements to remain in place and allow a future expansion of the stone wall to continue south along the western property line. The original wall is estimated to be about 5-feet tall and, after the unpermitted improvements, it is 10-feet tall. The applicant has stated that the additional height is required to block headlights from the adjacent property to the west. Staff should note that the Neighborhood Improvement Services did receive a complaint about these floodlights but they indicated that there was no violation in place. Mr. Lee advised that this was a discretionary decision for the Planning and Zoning Commission. Based on the Historic Preservation Board's approving a Certificate of

Appropriateness for this case, they are sending a recommendation of approval to the Planning and Zoning Commission. To assist the Planning and Zoning Commission in their decision, Staff has provided information submitted by the applicant as part of that HPAB case. Staff should note that if this case is denied, the applicant will have to bring the fence and wall into conformance with the requirements of the UDC.

Commissioner Thomas asked if there was no adverse impact that was against the property. He also asked what the reason was for the HPAB Board member dissenting on the case.

Patricia Zayne Edwards
602 Williams Street
Rockwall, TX 75087

Mrs. Edwards came forward and provided additional details in regards to the request.

After brief discussion, Commissioner Deckard made a motion to approve the raised stone wall and cedar fence area but deny the proposed raised wall extension for MIS2022-002. Commissioner Thomas seconded the motion which passed by a vote of 7-0.

13. **SP2022-002** (HENRY LEE)
Discuss and consider a request by David A. Morales of Pross Design Group, Inc. on behalf of Robert Reece of Alvaplast US (*SPR Packaging*) for the approval of an *Amended Site Plan* for an existing *Office/Warehouse/Manufacturing Facility* on a 10.1893-acre tract of land identified Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting to expand their existing facility to expand production capacity. The applicant has two variances associated with the request and they are for parking and for screening. Mr. Lee advised that the variances and the amended site plan are a discretionary decision for the Planning and Zoning Commission.

Bobby Pross
5310 Harvest Hill Road, Suite 180
Dallas, TX 75230

Mr. Pross came forward and provided additional details in regards to the request.

Commissioner Womble made a motion to approve SP2022-002. Commissioner Moeller seconded the motion which passed by a vote of 7-0.

VI. DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

14. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2022-001: Conveyance Plat for Lots 1, 2, & 3, Block A, Seefried Addition *[APPROVED]*
- P2022-002: Final Plat for Lot 1, Block A, Roadside Addition *[APPROVED]*
- P2022-004: Replat for Lot 8, Block A, Sharp Addition *[APPROVED]*
- Z2021-050: Text Amendment to Article 04, *Permissible Uses*, of the UDC *[APPROVED; 2ND READING]*
- Z2021-051: SUP for *Residential Infill in an Established Subdivision* or 5108 Yacht Club Drive *[APPROVED; 2ND READING]*
- Z2021-052: SUP for *Chickens* at 1700 E. SH-66 *[APPROVED; 2ND READING]*
- Z2021-053: SUP for *Residential Infill in an Established Subdivision* or 803 Austin Street *[APPROVED; 2ND READING]*
- Z2021-055: SUP for *Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In* for Victory at Rockwall *[APPROVED; 2ND READING]*
- Z2021-056: Zoning Amendment for Planned Development District 85 (PD-85) *[APPROVED; 2ND READING]*

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 7:41 P.M.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this ____ day of _____ ____, 2022.

_____
Eric Chodun, Chairman

Attest:

_____
Angelica Gamez, Planning and Zoning Coordinator

VIII. WORK SESSION

15. *Work Session*. A work session will be held in the City Council Conference Meeting Room immediately following the adjournment of the *February 15, 2022* Planning and Zoning Commission meeting to recent AG opinions concerning plats and site plans.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Humberto Johnson; *Skorburg Co.*
CASE NUMBER:	P2022-005; *Replat for Lots 3 & 4, Block A, Cox Acres Addition*

SUMMARY

Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a Replat of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lots 1 and 2, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a *Replat* for a 17.51-acre tract of land *(i.e. Lots 1 & 2, Block A, Cox Addition)* for the purpose of abandoning a 20-foot utility easement along the west property line on the subject property.

- ☑ The subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33* [*Case No. A1999-001*]. On June 5, 2017, the City Council approved a final plat [*Case No. P2017-016*] to establish the subject property as Lots 1 & 2, Block A, Cox Addition. According to the Rockwall Central Appraisal District (RCAD), Lot 1 has a 4,295 SF single family home that was constructed in 2017, and Lot 2 has a 4,349 SF single family home that was constructed in 2017. At the time of annexation and currently the subject property is zoned Agricultural (AG) District.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Replat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Replat* for *Lots 3 & 4, Block A, Cox Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;

(2) Any construction resulting from the approval of this *Replat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	P2022-005	CASE MANAGER:	Bethany ross
PROJECT NAME:	Replat for Lots 3 & 4, Block A, Cox Acres	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:	1800 E QUAIL RUN RD, ROCKWALL, 75087	CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a Replat of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 1, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: P2022-005; Lots 3 & 4, Block A, Cox Acres Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 3, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 13, Block A, Cox Acres Addition, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1800 E. Quail Run Road.
I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
M.3 For reference, include the case number (P2022-005) in the lower right-hand corner of all pages on future submittals.
I.4 The project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances.
I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
I.6 Please provide two (2) large copies [18" x 24" FOLDED] and one PDF version for a subsequent/final review by staff.
M.7 Label the Right-of-Way width and street centerline for Quail Run Road.
M.8 Please provide a legal description of the property that ties out to the metes and bounds statements on the plat.
M.9 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on Mylar for filing.
I.10 This case will be on the Consent Agenda for both meetings. Please note that scheduled meetings for this case:

(1) Planning and Zoning Meeting will be held on February 28, 2022.
(2) City Council meeting will be held on March 7, 2022.

I.11 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 PM.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: Must dedicate an additional 5' of ROW.
Add note, "Add note:

6. The property owner is responsible for maintenance, repair, and replacement of all drainage systems"

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: No comments

OWNER'S CERTIFICATION
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS GERALD GLEN COX AND ROSALBA CARRASCO COX, HUSBAND AND WIFE, BEING THE OWNERS OF A TRACT OF land inc the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the J.A. Ramsey Survey, Abstract Number 186, the J.M. Gass Survey, Abstract No. 88, in Rockwall County, Texas, being all of Lots 1 & 2, Block A of Cox Acres, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Instument No. 20170000010136, of the Official Public Records of Rockwall County, Texas.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We, the undersigned owners of the land shown on this plat, and desiganted herein as ROCKWALL TECHNOLOGY PARK PHASE V, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest on the subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use of using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaiing, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has compiled with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, draingage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost such improvements for the desiganted area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we, may have as a result of the dedication of exactions made herein.

Gerald Glen Cox

Rosalba Carrasco Cox

STATE OF TEXAS
COUNTY OF ROCKWALL

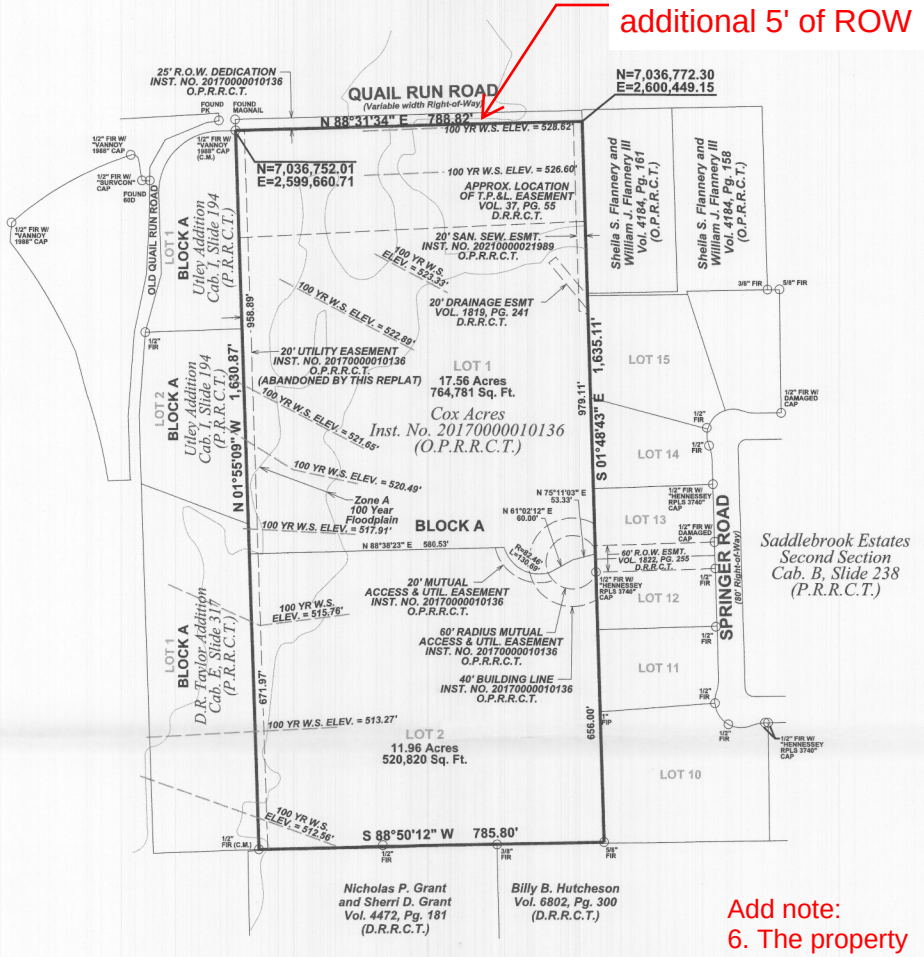
Before me, the undersigned authority, on this day personally appeared Gerald Glen Cox and Rosalba Carrasco Cox, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this _____ day of _____2022

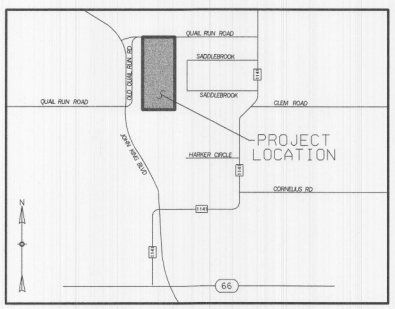
Notary Public in and for the State of Texas

My Commissin Expires

Need to dedicate an additional 5' of ROW



Add note:
6. The property owner is responsible for maintenance, repair, and replacement of all drainage systems



LOCATION MAP
N. T. S.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Patrick J. Baldasaro, R.P.L.S. 5504, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly place under my personal supervision.

PRELIMINARY

Patrick J. Baldasaro
Texas Registered Professional Land Surveyor No. 5504

STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Charirman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the____day of_____,____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUT HANDS, this_____day of_____,____.

Mayor, City of Rockwall City Secretary of Rockwall

City Engineer

LEGEND

○	Monument Found	O.P.R.R.C.T.	Official Public Records Of Rockwall County Texas
●	1/2" Set Iron Rod (W/Red PJB SURVEYING Cap) Unless otherwise noted	D.R.R.C.T.	Deed Records Of Rockwall County Texas
SX	Set "X" Cut	P.R.R.C.T.	Plat Records Of Rockwall County Texas
FIR	Found Iron Rod	INST. NO.	Instrument Number
FIRC	Found Iron Rod with Cap	VOL.	Volume
FIP	Found Iron Pipe	PG.	Page
FPK	Found PK Nail	R.O.W.	Right-of-Way
FX	Found "X" Cut	D.E.	Drainage Easement
MON	Concrete Monument	U.E.	Utility Easement
(C.M.)	Controlling Monument	S.S.E.	Sanitary Sewer Easement
FND	Found		

General Notes:

1. Bearings are referenced to the State Plane Coordinate System, Zone 4202, NAD 83.
2. Subject property lies within a Flood Hazard Area as depicted FEMA FIRM Panel Number 48397C0030L, dated September 26, 2008.
3. There are no proposed building improvements with this plat.
4. 100 year cross sections are depicted as shown on Cox Acres Plat, recorded in Instrument No. 20170000010136, O.P.R.R.C.T.
5. PJB Surveying assumes no liability for the removal of the 20' Utility Easement or the abandonment process.

REPLAT
OF
COX ACRES
LOTS 1 & 2, BLOCK A

2 LOTS, BEING 29.51 ACRES
SITUATED IN THE
J.M. GASS SURVEY ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SURVEYOR
PJB SURVEYING, LLC
TBPLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

OWNER/SUBDIVIDER
Gerald Glen Cox and
Rosalba Carrasco Cox
815 T.L. Townsend Ste. 101
Rockwall, TX 75087

CASE NO. P2022-___ SHEET 1 OF 1

DocuSign Envelope ID: D95A4EF6-5D40-4A27-A50D-E6E5EEDF22DC

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-005

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1800 E. Quail Run Rd. Rockwall, TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING AG PROPOSED USE AG

ACREAGE 17.51 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Gerald Glen Cox & Rosalba Carrasco Cox	☑ APPLICANT	Skorburg Company
CONTACT PERSON	Rosalba Carrasco Cox	CONTACT PERSON	Humberto Johnson
ADDRESS	815 T.L. Townsend	ADDRESS	8214 Westchester Dr
	Ste. 101		Suite 900
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75225
PHONE	972-672-5888	PHONE	214-888-8868
E-MAIL	rcox@sourcesunlimited.net	E-MAIL	jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gerald Glen Cox & Rosalba Carrasco Cox [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 651.00 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* February *, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

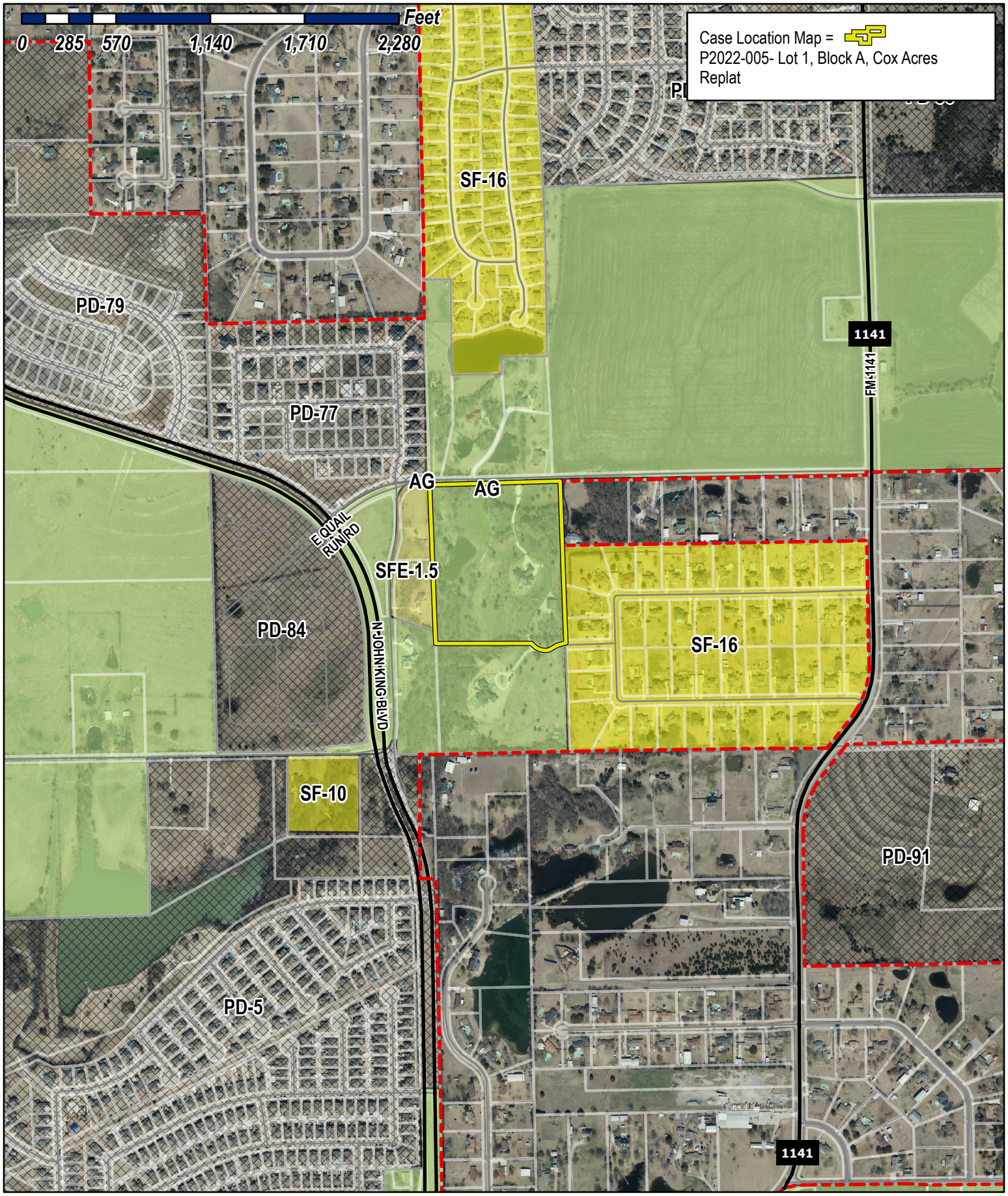
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE Gerald G. Cox Rosalba C Cox

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Madeline Dunklin

MY COMMISSION EXPIRES

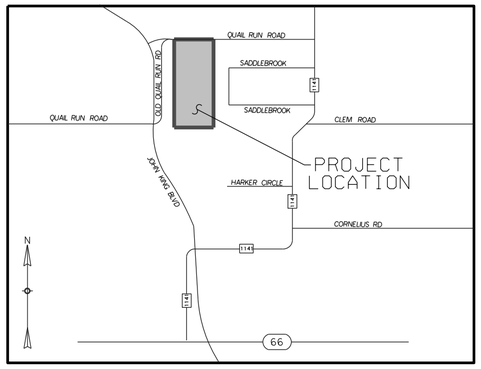
NOTARY PUBLIC STATE OF TEXAS
MADELINE DUNKLIN
Notary ID #132454324
My Commission Expires
April 28, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LOCATION MAP
N. T. S.

OWNER'S CERTIFICATION
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS GERALD GLEN COX AND ROSALBA CARRASCO COX, HUSBAND AND WIFE, BEING THE OWNERS OF A TRACT OF land inc the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the J. M. Gass Survey, Abstract Number 88, in Rockwall County, Texas, being all of Lots 1 & 2, Block A of Cox Acres, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Instrument No. 20170000010136, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod (controlling monument) found at the southwest corner of said Lot 2 and the southeast corner of D.R. Taylor Addition, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet E, Slide 317, of the Plat Records of Rockwall County, Texas (P.R.R.C.T.), being in the north line of a tract of land described in deed to Nicholas P. Grant and Sherri D. Grant, as recorded in Volume 4472, Page 181 of the Deed Records of Rockwall County, Texas (D.R.R.C.T.);

THENCE North 01 degree 55 minutes 09 seconds West, with the west line of said Lot 2 and the east line of said D.R. Taylor Addition, at a distance of 671.97 feet passing the northwest corner of said Lot 2 and the southwest corner of said Lot 1, continuing with the west line of said Lot 1, at a distance of 739.08 feet passing the northeast corner of said D.R. Taylor Addition and the southeast corner of Utley Addition, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet I, Slide 194, P.R.R.C.T., continuing with the west line of said Lot 1 and the east line of said Utley Addition, a total distance of 1,630.87 feet to a 1/2-inch iron rod with cap stamped "Vannoy 1988"(controlling monument) found at the northwest corner of said Lot 1, being in the south line of Quail Run Road (variable width right-of-way);

THENCE North 88 degrees 31 minutes 34 seconds East, with the north line of said Lot 1 and the south line of said Quail Run Road, a distance of 788.82 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING"set at the northeast corner of said Lot 1, being in the west line of a tract of land described in deed to Sheila S. Flannery and William J. Flannery III, recorded in Volume 4184, Page 161, D.R.R.C.T.;

THENCE South 01 degree 48 minutes 43 seconds East, with the east line of said Lot 1, at a distance of 979.11 feet passing the southeast corner of said Lot 1 and the northeast corner of said Lot 2, continuing with the east line of said Lot 2, a total distance of 1,635.11 feet to a 5/8-inch Iron rod found at the southeast corner of said Lot 2, being in the north line of a tract of land described in deed to Billy B. Hutcheson, recorded in Volume 6802, Page 300, D.R.R.C.T.;

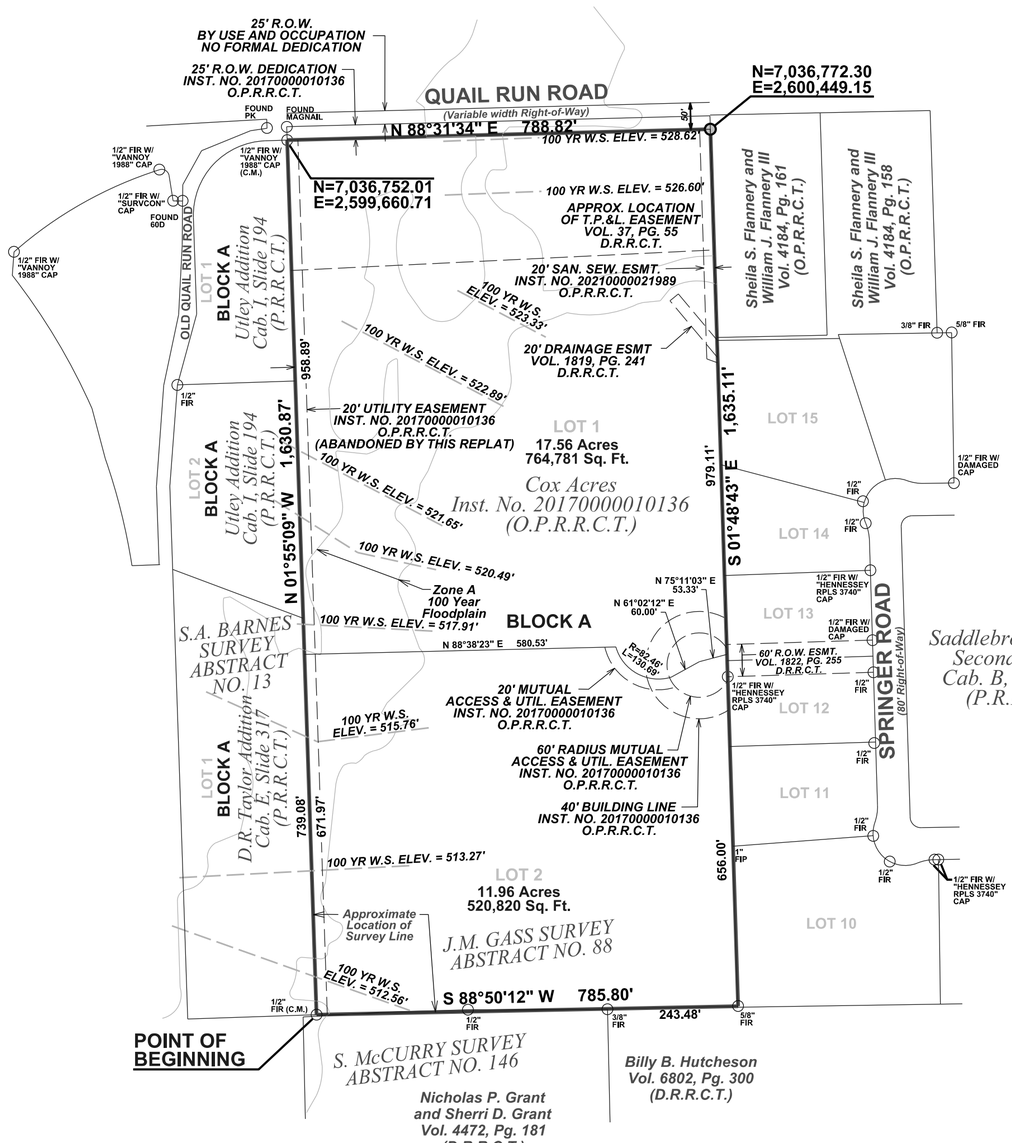
THENCE South 88 degrees 50 minutes 12 seconds West, with the south line of said Lot 2 and the north line of said Hutcheson tract, at a distance of 243.48 feet passing a 3/8-inch iron rod found at the northwest corner of said Hutcheson tract and the northeast corner of said Grant tract, continuing with the south line of said Lot 2, a total distance of 785.80 feet to the POINT OF BEGINNING, containing 29.51 acres of land.

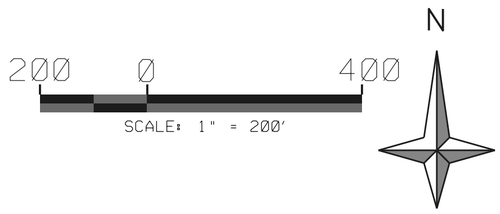
NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We, the undersigned owners of the land shown on this plat, and desiganted herein as ROCKWALL TECHNOLOGY PARK PHASE V, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest on the subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use of using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaiing, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has compiled with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, draingage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or





SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Patrick J. Baldasaro, R.P.L.S. 5504, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly place under my personal supervision.

PRELIMINARY

Patrick J. Baldasaro
Texas Registered Professional Land Surveyor No. 5504

STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the____day of_____,____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUT HANDS, this____day of_____,____.

Mayor, City of Rockwall City Secretary of Rockwall

City Engineer

LEGEND

○	Monument Found	O.P.R.R.C.T.	Official Public Records Of Rockwall County Texas
●	1/2" Set Iron Rod (W/Red PJB SURVEYING Cap) Unless otherwise noted	D.R.R.C.T.	Deed Records Of Rockwall County Texas
SX	Set "X" Cut	P.R.R.C.T.	Plat Records Of Rockwall County Texas
FIR	Found Iron Rod	INST. NO.	Instrument Number
FIRC	Found Iron Rod with Cap	VOL.	Volume
FIP	Found Iron Pipe	PG.	Page
FPK	Found PK Nail	R.O.W.	Right-of-Way
FX	Found "X" Cut	D.E.	Drainage Easement
MON	Concrete Monument	U.E.	Utility Easement
(C.M.)	Controlling Monument	S.S.E.	Sanitary Sewer Easement
FND	Found		

General Notes:

1. Bearings are referenced to the State Plane Coordinate System, Zone 4202, NAD 83.
2. Subject property lies within a Flood Hazard Area as depicted FEMA FIRM Panel Number 48397C0030L, dated September 26, 2008.
3. There are no proposed building improvements with this plat.
4. 100 year cross sections are depicted as shown on Cox Acres Plat, recorded in Instrument No. 20170000010136, O.P.R.R.C.T.
5. PJB Surveying assumes no liability for the removal of the 20' Utility Easement or the abandonment process.
6. The property owner is responsible or maintenance, repair, and replacement of all drainage systems

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost such improvements for the desiganted area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we, may have as a result of the dedication of exactions made herein.

Gerald Glen Cox

Rosalba Carrasco Cox

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Gerald Glen Cox and Rosalba Carrasco Cox, known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this _____ day of _____2022

Notary Public In and for the State of Texas My Commissin Expires

REPLAT
OF
COX ACRES
LOTS 1 & 2, BLOCK A

2 LOTS, BEING 29.51 ACRES
SITUATED IN THE
J.M. GASS SURVEY ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SURVEYOR
PJB SURVEYING, LLC
TBPLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

OWNER/SUBDIVIDER
Gerald Glen Cox and
Rosalba Carrasco Cox
815 T.L. Townsend Ste. 101
Rockwall, TX 75087

CASE NO. P2022-005 SHEET 1 OF 1

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Dnyanada Nevgi; *SRC Land Building and Real Estate, LLC*
CASE NUMBER:	P2022-006; *Replat for Lots 13 & 14, Rockwall Business Park East Addition*

SUMMARY

Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a *Replat* for Lots 13 & 14 of the Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [*SH-205*], and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a *Replat* for a 6.280-acre parcel of land (*i.e. Lots 13 & 14 of the Rockwall Business Park East Addition*) for the purpose of establishing two (2) lots (*i.e. Lots 13 & 14, Rockwall Business Park East Addition*). Prior to the applicant's submittal for this *Replat*, a site plan for the subject property was approved by the Planning and Zoning Commission for a *Daycare Facility* and a *Strip Retail Center* [*Case No. SP2020-006*].

- ☑ The subject property was annexed by the City Council on December 7, 1981 by *Ordinance No. 81-33* [*Case No. A1981-002*]. On January 4, 1982, the subject property was rezoned to Planned Development District 14 (PD-14) [*Ordinance No. 82-02*] for office, retail, light industrial, warehouse, hotel, medical office, and restaurant land uses. The zoning change included 100.00-acres of land. On December 5, 1983, the City Council approved an amendment to Planned Development District 14 (PD-14) [*Ordinance No. 83-60*] changing the concept plan. This ordinance was again amended on October 5, 2009 by *Ordinance No. 09-42* [*Case No. Z2009-016*] changing the designation from Planned Development District 14 (PD-14) to Commercial (C) District. The subject property remains zoned Commercial (C) District and is currently vacant.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Replat* for *Lots 13 & 14, Rockwall Business Park East Addition*, staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

(2) Any construction resulting from the approval of this ***Replat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	P2022-006	CASE MANAGER:	Angelica Gamez
PROJECT NAME:	Lots 13 & 14, Rockwall Business Park East	CASE MANAGER PHONE:	972-772-6438
SITE ADDRESS/LOCATIONS:	950 E RALPH HALL PKWY, ROCKWALL, 75032	CASE MANAGER EMAIL:	agamez@rockwall.com

CASE CAPTION: Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Replat for Lots 13 & 14 of the Rockwall Business Park Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: P2022-006: Replat for Lots 13 & 14, Rockwall Business Park Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for approval of a Replat for Lots 13 & 14, Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of ralph Hall Parkway west of the intersection of Ralph Hall parkway and S. Goliad Street [SH-205], and take any action necessary.
I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
M.3 For reference, include the case number (P2022-006) in the lower right-hand corner of all pages on future submittals.
M.4 Please correct the Title Block to the following:

Replat
Lots 13 & 14, Rockwall Business Park East Addition
An Addition to the City of Rockwall, Texas
Being a Replat of Lot 5, Rockwall Business Park East Addition
Being 6.280 Acres
Situated in the J.D. McFarland Survey, Abstract 145
Rockwall County, Texas

M.5 Please label the State Plane Coordinates on Sheet 1.
M.6 Please correct the lot numbers from Lots 5A & 5B to Lots 13 & 14 on all areas of the plat.
M.7 Please add the following after item #6 in Owner's Dedication:

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may

be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

M.8 Please remove the “Storm Drainage Improvements Statement” (#7 in Owners Dedication) and add it to the “General Notes” section on the plat.
I.9 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.
M.10 Please review and correct all items listed by the Engineering Department.
I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on February 28, 2022.
I.12 Although this agenda item may be on the consent agenda, a representative must be present for all meetings.
I.13 The projected City Council Meeting date for this case will be March 7, 2022.
I.14 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff’s comments from all City Departments and any applicable conditions of approval contained in staff’s case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Remove irrigation plans from set. They will be approved with a separate building permit.
- Make the floodplain cross section text large, it is hard to read.
- Update the drainage and detention easement to say "Public drainage and erosion hazard easement"
- Extend the drainage easement line to the south property line.
- Add note 6, "The property owner is responsible for the maintenance, repair, and replacement of all drainage and detention systems in easements on the property.
- Update the flood study information, "Michael H Boyd, P.E, Boyd Hydrology PLLC, Dates 9-24-2021"
- There is a tree on top of the proposed sewer line. The installation will kill the tree. Add this tree to the list of removed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

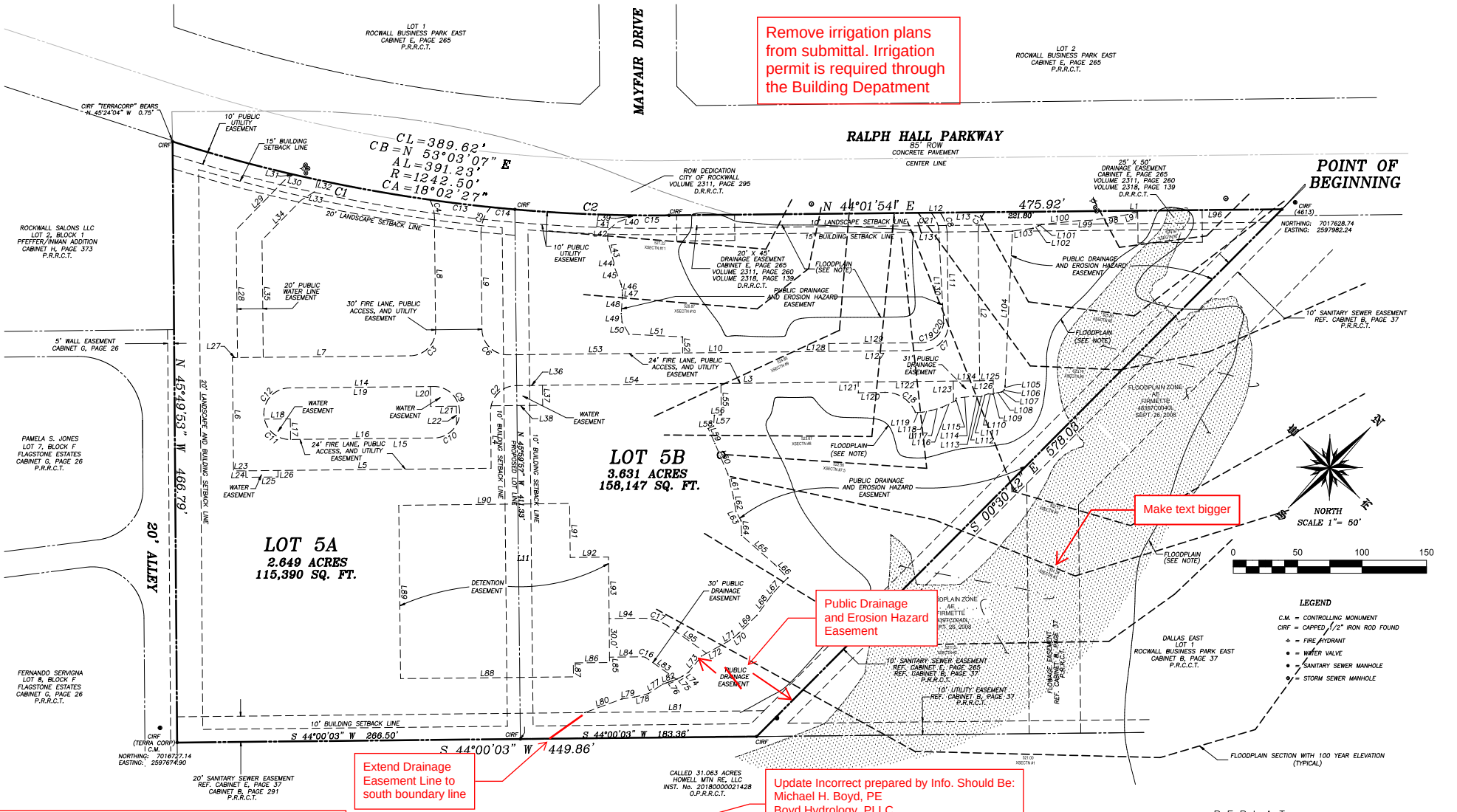
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: 1. Tree mitigation approved
2. Landscape plan approved



Add note:
6. The property owner is responsible for the maintenance, repair, and replacement of all drainage and detention systems in easements on the property.

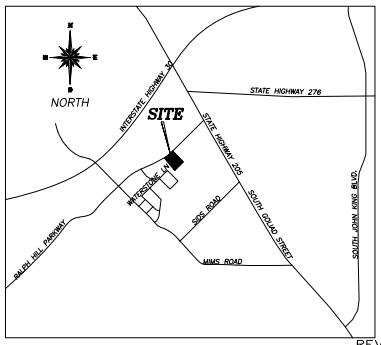
CURVE TABLE					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	34°10'40"	30.00'	17.90'	S 28°54'37" E	17.63'
C2	90°00'00"	20.00'	31.42'	S 00°59'57" E	28.28'
C3	90°00'00"	20.00'	31.42'	N 00°59'57" W	28.28'
C4	27°41'10"	30.00'	14.50'	N 59°50'32" W	14.36'
C5	42°34'40"	30.00'	22.29'	S 24°42'57" E	21.78'
C6	90°00'00"	20.00'	31.42'	N 89°00'03" E	28.28'
C7	90°00'00"	20.00'	31.42'	N 00°59'57" W	28.28'
C8	34°41'02"	30.00'	18.16'	N 63°20'28" W	17.88'
C9	118°57'18"	20.00'	41.52'	S 76°31'18" E	34.46'
C10	61°02'42"	20.00'	21.31'	S 13°28'42" W	20.32'
C11	78°27'47"	20.00'	27.39'	S 83°13'56" W	25.30'
C12	101°32'13"	20.00'	35.44'	N 06°46'04" W	30.98'
C13	2°12'08"	1242.50'	47.76'	N 51°31'12" E	47.75'
C14	0°47'38"	1348.94'	18.69'	N 49°59'16" E	18.69'
C15	1°15'07"	1242.50'	27.15'	S 44°39'27" W	27.15'
C16	35°55'37"	5.00'	3.14'	S 61°57'51" W	3.08'
C17	35°55'37"	35.00'	21.95'	N 61°57'51" E	21.59'
C18	68°53'51"	25.00'	30.06'	S 77°55'46" W	28.28'
C19	48°00'03"	19.15'	16.04'	N 25°09'13" E	15.58'
C20	32°02'49"	20.13'	11.26'	N 18°04'26" W	11.11'
C21	30°59'41"	26.14'	14.14'	N 70°39'48" W	13.97'

FLOOD NOTE:

Floodplain shown is based on the Floodplain Information Study prepared for the Pinnacle Montessori located in Rockwall, Texas and prepared by: ~~JARED HELMBERGER PE~~ ~~GRADING PLAN - SHEET C2.00 ISSUE DATE: 12/20/2020~~

GENERAL NOTES:

1. The original copy will have original signatures, stamp seal and an impression seal.
2. Copyright 2020, Surdukan Surveying, Inc.
3. This survey is being provided solely for the use of the current parties.
4. This survey is subject to all easements of record.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEOID03).



VICINITY MAP

REPLAT

ROCKWALL BUSINESS PARK EAST LOT 5A & LOT 5B

AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS
SHEET 1 OF 2

Owner
LAKESIDE KIDS, LLC
ATTN: MONA AGARWAL
5909 BETH DRIVE
PLANO, TEXAS 75093
TELEPHONE 423 943-1203

Surveyor
SURDUKAN SURVEYING, INC.
DAVID J. SURDUKAN, R.P.L.S. 4613
P.O. BOX 126
ANNA, TEXAS 75409
TELEPHONE 972 924-8200

REVISED FEBRUARY 14, 2022
REVISED OCTOBER 18, 2021
REVISED AUGUST 17, 2021
JUNE 24, 2020

Job No. 2020-03 CASE NO.: _____

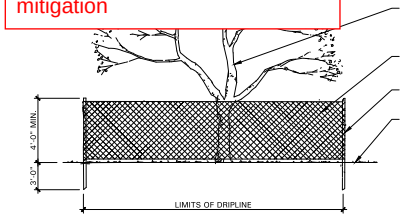
SITE DATA

	AREA (SF)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)			-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

'TREE PRESERVATION NOTES

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
3. NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
5. NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
6. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
7. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
8. NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
9. BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
10. IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
12. ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

This tree will need to be removed. Add to the list for mitigation



01 TREE PROTECTIVE FENCING
NOT TO SCALE

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01

SCALE: 1" = 30'-0"
0 15 30 60

PROJECT NAME:	PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION:	LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER:	XXXXXXXXX
CURRENT OWNER:	DALLAS EAST, ATTN: JIM VAUDAGNA 1445 W SAN CARLOS ST. SAN JOSE, CA 95126
DEVELOPER:	EPSILON LAND DEVELOPMENT, JARED HELMBERGER 811 S. CENTRAL EXPRESSWAY, #306 RICHARDSON, TX 75080

BELLE FIRMA
4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080
TBPE FIRM NO. F-20145

REVISIONS

#	DATE	COMMENTS
1	06.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments

PROFESSIONAL SEAL
12/06/21

OWNER INFORMATION
Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION
PINNACLE MONTESSORI ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS
PROJECT NUMBER: PIN4032

SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
L1.01

ISSUE DATE: 03-20-2020

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-006

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☑ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	950 E and 962 E Ralph Hall Parkwy, Rockwall, TX 75032				
SUBDIVISION		LOT	5A & 5B	BLOCK	
GENERAL LOCATION	Rockwall Business Park East, 6.280 acres situated in J.D. McFarland Survey~ Abstract 145, Rockwall County				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C	CURRENT USE	Commercial
PROPOSED ZONING	C	PROPOSED USE	Commercial/ Retail
ACREAGE	6.280 Acres	LOTS [CURRENT]	5	LOTS [PROPOSED]	5A & 5B

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Buffalo Country Properties LLC	☑ APPLICANT	SRC Land Building and Real Estate LLC
CONTACT PERSON	Rajesh Malviya	CONTACT PERSON	Dnyanada Nevgi
ADDRESS	5909 Beth Dr	ADDRESS	811 S Central Expressway, Suite 306
CITY, STATE & ZIP	Plano, TX 75093	CITY, STATE & ZIP	Richardson, TX 75080
PHONE	(214) 454-6944	PHONE	214-396-3737
E-MAIL	nrmalviya@yahoo.com	E-MAIL	pm@srclandbuilding.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RAJESH MALVIYA [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 425.6, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

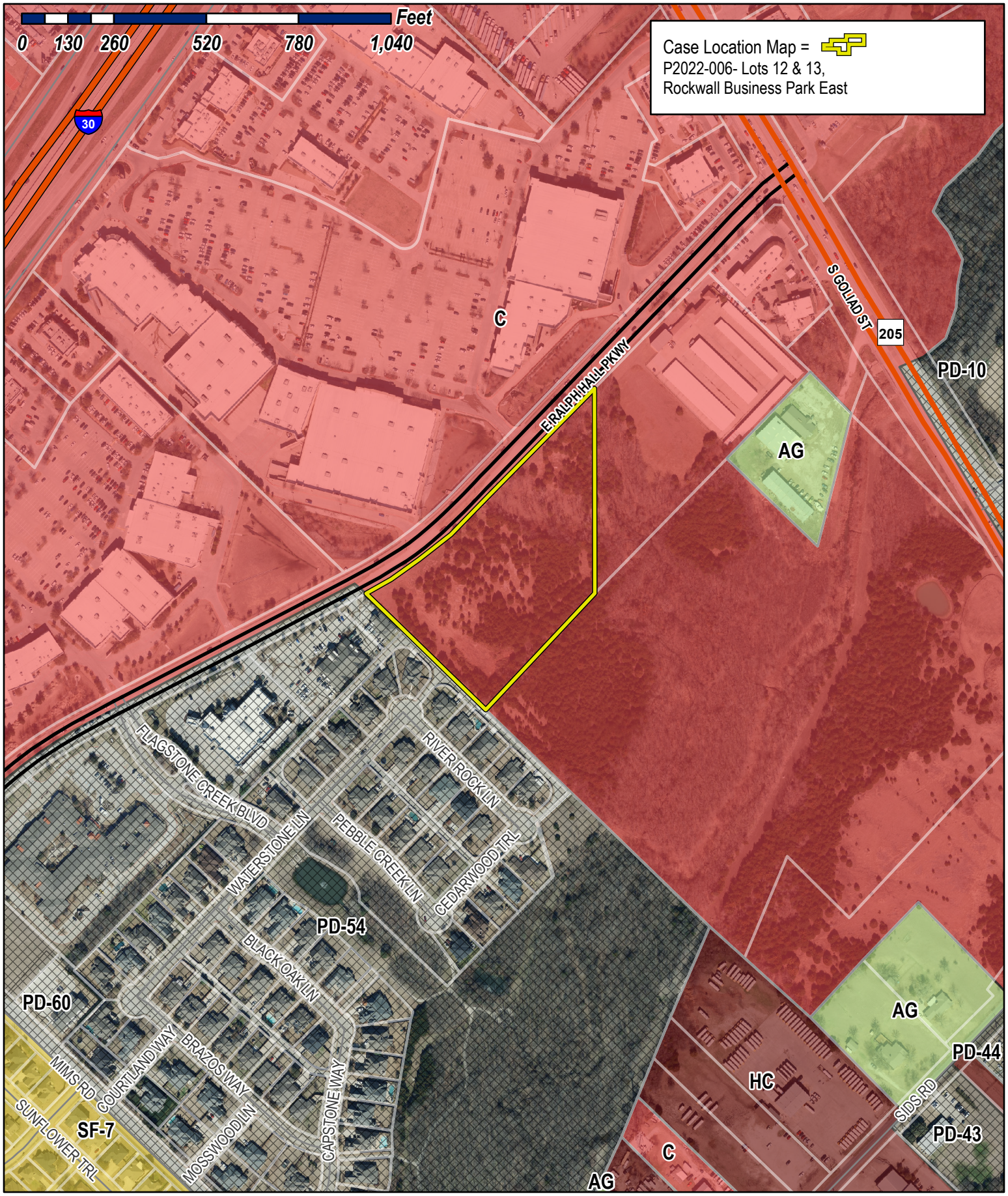
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 *DAY OF* February, *20* 23

OWNER'S SIGNATURE Rajesh Malviya

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Sharon Ivey

SHARON IVEY
Notary Public
STATE OF TEXAS
My Comm. Exp. 09-15-24
Notary ID # 12609564-2

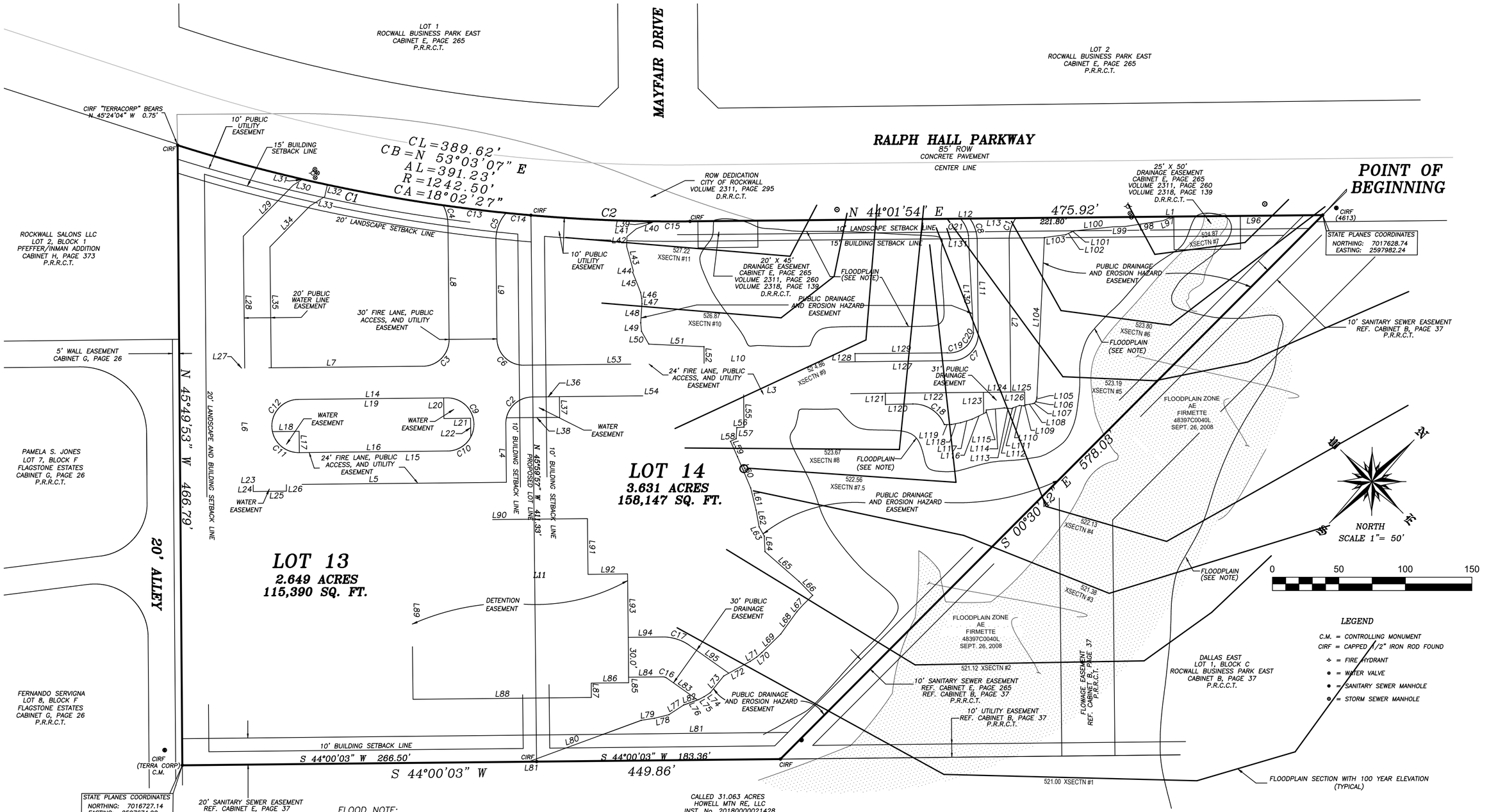
MY COMMISSION EXPIRES 9.15.2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



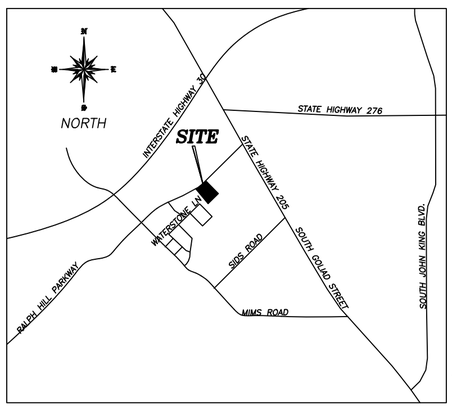
CURVE TABLE					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	34°10'40"	30.00'	17.90'	S 28°54'37" E	17.63'
C2	90°00'00"	20.00'	31.42'	S 00°59'57" E	28.28'
C3	90°00'00"	20.00'	31.42'	N 00°59'57" W	28.28'
C4	27°41'10"	30.00'	14.50'	N 59°50'32" W	14.36'
C5	42°34'40"	30.00'	22.29'	S 24°42'37" E	21.78'
C6	90°00'00"	20.00'	31.42'	N 89°00'03" E	28.28'
C7	90°00'00"	20.00'	31.42'	N 00°59'57" W	28.28'
C8	34°41'02"	30.00'	18.16'	N 63°20'28" W	17.88'
C9	118°57'18"	20.00'	41.52'	S 76°31'18" E	34.46'
C10	61°02'42"	20.00'	21.31'	S 13°28'42" W	20.32'
C11	78°27'47"	20.00'	27.39'	S 83°13'56" W	25.30'
C12	101°32'13"	20.00'	35.44'	N 06°46'04" W	30.98'
C13	2°12'08"	1242.50'	47.76'	N 51°31'12" E	47.75'
C14	0°47'38"	1348.94'	18.69'	N 49°59'16" E	18.69'
C15	1°15'07"	1242.50'	27.15'	S 44°39'27" W	27.15'
C16	35°55'37"	5.00'	3.14'	S 61°57'51" W	3.08'
C17	35°55'37"	35.00'	21.95'	N 61°57'51" E	21.59'
C18	68°53'31"	25.00'	30.06'	S 77°55'46" W	28.28'
C19	48°00'03"	19.15'	16.04'	N 25°09'13" E	15.58'
C20	32°02'49"	20.13'	11.26'	N 18°04'26" W	11.11'
C21	30°59'41"	26.14'	14.14'	N 70°39'48" W	13.97'

FLOOD NOTE:

Floodplain shown is based on the Floodplain Information Study prepared for the Pinnacle Montessori located in Rockwall, Texas and prepared by: MICHAEL H. BOYD, PE BOYD HYDROLOGY, PPLLC dATED: 09-24-2021

GENERAL NOTES:

1. *The original copy will have original signatures, stamp seal and an impression seal.*
2. *Copyright 2022, Surdukan Surveying, Inc.*
3. *This survey is being provided solely for the use of the current parties.*
4. *This survey is subject to all easements of record.*
5. *It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.*
6. *The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEIOD03).*
7. *The property owner is responsible for maintenance, repair and replacement of all drainage and detention systems in easements on the property.*



VICINITY MAP

REPLAT

ROCKWALL BUSINESS PARK EAST ADDITION LOT 13 & LOT 14

AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

Owner
BUFFALO COUNTRY PROPERTIES LLC
ATTN: RAJESH MALVIYA
12050 RESEARCH RD, #9305
FRISCO, TX 75033
TELEPHONE (214) 454-6944

Owner
HERITAGE MONTESSORI ACADEMY OF ALLEN LLC
ATTN: HERSON CASTELLON
811 S CENTRAL EXPY STE 306
RICHARDSON, TEXAS, 75080
TELEPHONE (214)236-9402

Surveyor
SURDUKAN SURVEYING, INC.
DAVID J. SURDUKAN, R.P.L.S. 4613
P.O. BOX 126
ANNA, TEXAS 75409
TELEPHONE 972 924-8200

REVISED MARCH 3, 2022
REVISED FEBRUARY 14, 2022
REVISED OCTOBER 18, 2021
REVISED AUGUST 17, 2021
JUNE 24, 2020

Job No. 2020-03

CASE NO.: P2022-006

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 44°01'54" W	230.87'
L2	S 45°59'57" E	114.01'
L3	S 44°00'03" W	360.00'
L4	S 45°59'57" E	44.00'
L5	S 44°00'03" W	200.00'
L6	N 45°59'57" W	88.00'
L7	N 44°00'03" E	138.00'
L8	N 45°59'57" W	87.09'
L9	S 45°59'57" E	74.48'
L10	N 44°00'03" E	322.00'
L11	N 45°59'57" W	69.81'
L12	N 44°01'54" E	7.04'
L13	N 44°01'54" E	34.51'
L14	N 44°00'03" E	112.00'
L15	S 44°00'03" W	112.00'
L16	S 44°00'03" W	111.50'
L17	N 45°59'57" W	16.00'
L18	S 44°00'03" W	20.10'
L19	N 44°00'03" E	109.50'
L20	S 45°59'57" E	15.50'
L21	N 44°00'03" E	20.00'
L22	S 45°59'57" E	14.18'
L23	N 44°00'03" E	9.50'
L24	S 45°59'57" E	5.00'
L25	N 44°00'03" E	25.00'
L26	N 45°59'57" W	5.00'
L27	N 44°00'03" E	4.00'
L28	N 45°59'57" W	99.37'
L29	N 00°59'57" W	53.75'
L30	N 12°09'43" E	7.01'
L31	N 32°50'17" W	0.86'
L32	S 32°50'17" E	9.14'
L33	S 12°09'43" W	12.99'
L34	S 00°59'57" E	43.15'
L35	S 45°59'57" E	91.08'
L36	N 44°00'03" E	20.50'
L37	S 45°59'57" E	15.50'
L38	S 44°00'03" W	39.99'
L39	S 11°37'05" W	1.71'
L40	S 22°53'33" W	12.72'
L41	S 04°35'18" W	9.18'
L42	S 43°45'30" E	7.41'
L43	S 60°43'23" E	18.94'
L44	S 25°00'34" E	1.36'
L45	S 66°53'11" E	16.18'
L46	S 56°16'27" E	4.61'
L47	S 48°01'53" E	4.02'
L48	S 41°40'43" E	14.37'
L49	S 50°27'14" E	6.45'
L50	S 75°09'50" E	11.02'
L51	N 47°20'09" E	41.55'
L52	S 45°59'57" E	12.51'
L53	S 44°00'03" W	135.62'
L54	N 44°00'03" E	138.56'
L55	S 45°59'57" E	24.35'
L56	S 40°30'31" W	5.35'
L57	S 41°34'24" E	8.35'
L58	S 19°42'40" W	4.66'
L59	S 69°52'43" E	12.67'
L60	S 68°13'22" E	25.60'
L61	S 59°09'17" E	17.16'
L62	S 55°40'29" E	12.78'
L63	S 74°35'01" E	8.02'
L64	S 47°58'33" E	11.68'
L65	N 85°51'43" E	33.95'
L66	S 89°55'55" E	14.73'

LINE TABLE		
LINE	BEARING	DISTANCE
L67	S 04°10'29" E	6.89'
L68	S 09°27'26" E	20.63'
L69	S 00°11'15" W	19.92'
L70	S 03°08'39" W	5.24'
L71	S 11°03'41" W	5.73'
L72	S 15°37'24" W	22.82'
L73	S 06°31'56" E	16.13'
L74	S 11°17'00" W	5.49'
L75	S 16°45'35" W	4.66'
L76	S 24°50'52" W	12.10'
L77	S 11°08'57" W	13.29'
L78	S 30°41'04" W	11.25'
L79	S 36°01'01" W	9.83'
L80	S 24°22'44" W	90.13'
L81	N 44°00'03" E	5.78'
L82	N 24°50'52" E	11.27'
L83	S 79°55'40" W	28.55'
L84	S 44°00'03" W	25.68'
L85	S 45°59'57" E	4.16'
L86	S 44°00'02" W	28.18'
L87	S 45°59'57" E	10.83'
L88	S 44°00'03" W	134.20'
L89	N 45°59'57" W	134.66'
L90	N 44°00'03" E	132.66'
L91	S 45°59'57" E	41.91'
L92	N 44°00'02" E	29.72'
L93	S 45°59'57" E	47.76'
L94	N 44°00'03" E	25.68'
L95	N 79°55'40" E	36.03'
L96	S 44°01'54" W	113.31'
L97	S 19°43'02" W	7.35'
L98	S 35°53'34" W	28.50'
L99	S 42°56'22" W	9.98'
L100	S 38°30'44" W	28.79'
L101	S 24°47'11" W	2.57'
L102	S 18°10'06" W	4.58'
L103	S 36°51'51" W	16.20'
L104	S 42°41'37" E	120.25'
L105	S 33°02'15" E	3.00'
L106	S 11°45'56" E	1.45'
L107	S 16°24'25" W	1.63'
L108	S 35°21'28" W	5.49'
L109	S 18°42'48" W	1.66'
L110	S 48°46'38" W	3.22'
L111	S 25°02'09" W	5.26'
L112	S 07°32'59" W	0.99'
L113	S 50°06'48" W	5.83'
L114	S 37°53'17" W	13.54'
L115	S 35°25'15" E	1.92'
L116	S 18°33'37" W	11.53'
L117	N 27°36'40" E	0.91'
L118	S 34°12'13" W	6.97'
L119	S 43°29'01" W	4.17'
L120	S 43°29'01" W	20.66'
L121	N 45°59'57" W	8.42'
L122	N 44°00'03" E	73.83'
L123	N 45°59'57" W	16.04'
L124	N 44°00'03" E	20.50'
L125	N 44°00'03" E	10.50'
L126	N 45°59'57" W	10.15'
L127	S 44°00'03" W	72.84'
L128	N 45°59'57" W	6.11'
L129	N 44°07'08" E	69.36'
L130	N 48°29'11" W	63.30'
L131	N 47°27'09" W	10.13'

OWNERS' CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Buffalo Country Properties, LLC, *and Heritage Montessori Academy of Allen, LLC, being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being all of Lot 5 of ROCKWALL BUSINESS PARK EAST, LOTS 1, 2 ,3 ,4, & 5, an Addition to the City of Rockwall, Rockwall County, Texas according to the Map or Plat thereof recorded in Cabinet E, Page 265 of the Plat Records of Rockwall County, Texas and more particularly described in metes and bounds as follows;*

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner at the north corner of said Lot 5, said corner also being the west corner of Lot 1, Rockwall Business Park East, an addition to the City of Rockwall, as recorded in Cabinet B, Page 37 of the Plat Records of Rockwall County, Texas, said iron rod being in the southeast right-of-way of Ralph Hall Parkway, an 85' right-of-way;

THENCE S 00°30'42" E a distance of 578.03' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner;

THENCE S 44°00'03" W a distance of 449.86' to a 1/2" iron rod with plastic cap stamped "TERRA CORP" found for corner in the east line of Block F of the Flagstone Estate an addition to the City of Rockwall and recorded in Cabinet G, Page 26 of the Plat Records of Rockwall County, Texas;

THENCE N 45°49'53" W a distance of 466.79' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for the northeast corner of Lot 2, Block 1 of the Pfeffer/Inman Addition an addition to the City of Rockwall and recorded in Cabinet H, Page 373 of the Plat Records of Rockwall County, Texas, and said iron rod being in the southeast right-of-way of Ralph Hall Parkway at the beginning of a non-tangent curve to the left;

THENCE along said curve to the left following the southeast right-of-way of Ralph Hall Parkway through a central angle of 18°02'27", a radius of 1242.50', an arc length of 391.23', with a chord bearing of N 46°47'39" E, and a chord length of 389.62' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner;

THENCE N 44°01'54" E continuing with the southeast right-of-way of Ralph Hall Parkway a distance of 475.92' to the POINT OF BEGINNING and containing 273,537 Square Feet or 6.280 Acres of land.

OWNERS' DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the replat of ROCKWALL BUSINESS PARK EAST ADDITION, LOT 13 & LOT 14 to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL BUSINESS PARK EAST ADDITION, LOT 13 & LOT 14 subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercialrate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

BUFFALO COUNTRY PROPERTIES, LLC

_____
Rajesh Malviya
Managing Partner

HERITAGE MONTESSORI ACADEMY OF ALLEN, LLC

_____
Herson Castellon
Manager

STATE OF TEXAS
COUNTY OF ROCKWALL)

Before me, the undersigned Notary Public for the State of Texas, on this day personally appeared Rajesh Malviya, *a* Managing Partner *of* Buffalo Country Properties, LLC, *known to me to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that* Rajesh Malviya *executed the same for the purpose and considerations therein expressed and in the capacity stated.*

Given under my hand and seal of the office this the ___ day of _____, 2022,

_____
Notary Public, State of Texas

_____
My Commission Expires

STATE OF TEXAS
COUNTY OF ROCKWALL)

Before me, the undersigned Notary Public for the State of Texas, on this day personally appeared Herson Castellon, *a* Manager *of Heritage Montessori Academy of Allen, LLC known to me to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that* Herson Castellon *executed the same for the purpose and considerations therein expressed and in the capacity stated.*

Given under my hand and seal of the office this the ___ day of _____, 2022,

_____
Notary Public, State of Texas

_____
My Commission Expires

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, a Registered Professional Land Surveyor, licensed by the State of Texas. affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying.

_____ _____
David J. Surdukan *Date*
R.P.L.S. 4613

CITY OF ROCKWALL'S CERTIFICATE

_____ _____
Planning & Zoning Commission, Chairman *Date*

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

_____ _____ _____
Mayor, City of Rockwall *City Secretary* *City Engineer*

REPLAT

ROCKWALL BUSINESS PARK EAST ADDITION LOT 13 & LOT 14

AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS
SHEET 2 OF 2

Owner
BUFFALO COUNTRY PROPERTIES LLC
ATTN: RAJESH MALVIYA
12050 RESEARCH RD, #9305
FRISCO, TX 75033
TELEPHONE (214) 454-6944

Owner
HERITAGE MONTESSORI ACADEMY OF ALLEN LLC
ATTN: HERSON CASTELLON
811 S CENTRAL EXPY STE 306
RICHARDSON, TEXAS, 75080
TELEPHONE (214)236-9402

Surveyor
SURDUKAN SURVEYING, INC.
DAVID J. SURDUKAN, R.P.L.S. 4613
P.O. BOX 126
ANNA, TEXAS 75409
TELEPHONE 972 924-8200

REVISED MARCH 3, 2022
REVISED FEBRUARY 14, 2022
REVISED OCTOBER 18, 2021
REVISED AUGUST 17, 2021
JUNE 24, 2020

Job No. 2020-03

CASE NO.: P2022-006

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Priya Acharya; *Wier & Associates, Inc.*
CASE NUMBER:	P2022-007; *Replat for Lot 3, Block A, Allen Anderson Addition*

SUMMARY

Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a *Replat* for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a *Replat* for a 1.198-acre parcel of land *(i.e. Lot 2, Block A, Allen Anderson Addition)* for the purpose of establishing the easements necessary to facilitate the development of the subject property. Prior to the applicant's submittal for this *Replat*, a site plan for the subject property was approved by the Planning and Zoning Commission for a ~4,165 SF *Financial Institution with Drive Through* [*Case No. SP2021-035*].

- ☑ The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-03* [*Case No. A1960-003*]. On November 12, 1973 the City Council approved *Ordinance No. 73-49* rezoning the subject property from an Agricultural (AG) District to Planned Development District 9 (PD-9) for General Retail (GR) District land uses. On November 16, 2007, the City Council approved a final plat [*Case No. P2007-031*] establishing the subject property as Lot 2, Block A, Allen Anderson Addition. Since the time of annexation, the subject property has remained vacant. Since the original approval of Planned Development District 9 (PD-9), *Ordinance No. 73-49* has been amended nine (9) times (*Ordinance No.'s 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43*), with the most recent amendment being approved by City Council on November 4, 2013. With this being, said the land uses permitted on the subject property (*i.e. General Retail [GR] District land uses*) have not changed since the original adoption of Planned Development District 9 (PD-9). On January 11, 2022, the Planning and Zoning Commission approved a site plan [*Case No. 2021-035*] to allow the construction of a *Financial Institution with Drive Through*.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Replat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Replat* for *Lot 3, Block A, Allen Anderson Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;

(2) Any construction resulting from the approval of this ***Replat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	P2022-007	CASE MANAGER:	Henry Lee
PROJECT NAME:	Lot 3, Block A, Allen Anderson Addition	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	3092 HORIZON RD	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-007) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Correct the Title Block to the following:

Final Plat
Lot 3, Block A
Allen Anderson Addition
52,186 Square Feet / 1.198 Acres
Being a Replat of Lot 2, Block A, Allen Anderson Addition
Being 1.198 Acres of Land
Situated in the Edward Teal Survey, Abstract No. 207
City of Rockwall, Rockwall County, Texas

M.6 Is there any new Fire Lane being added? If so correct the plat to reflect this.

M.7 Please provide the centerline for Horizon Road.

M.8 Remove the notary for the surveyor; the seal will suffice. Also remove the preliminary language from the surveyor's signature/seal block.

M.9 There is a discrepancy between the plat and the Owner's Certification; the last bearing reads 240.00' when the plat shows 240.01'.

M.10 There is a duplication of the Public Improvement Statement in #4 in the notes and #1 in the general notes. Please remove #4 in the notes.

M.11 Nothing may be built or planted in the Right-of-Way Easement (Vol. 1772, Pg. 124) situated along Rockwall Parkway. Engineering already has the needed ROW for Rockwall Parkway. If the easement is not abandoned it would cause changes to the approved Site Plan and Civil Plans. To abandon the easement, please crosshatch the

easement and label it as “Abandoned by this Plat.”

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on February 28, 2022.

I.13 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

I.14 The projected City Council Meeting date for this case will be March 7, 2022.

I.15 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff’s comments from all City Departments and any applicable conditions of approval contained in staff’s case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Show the 10' wide utility easement along Rockwall Parkway.

- Note that the dimensions and location of the drainage easement may change with the final approval of the engineering plans.
- The offsite drainage easement will need to have the filing information included on the mylars.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Needs Review

02/23/2022: Fire Lane shall be included in the platted access easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

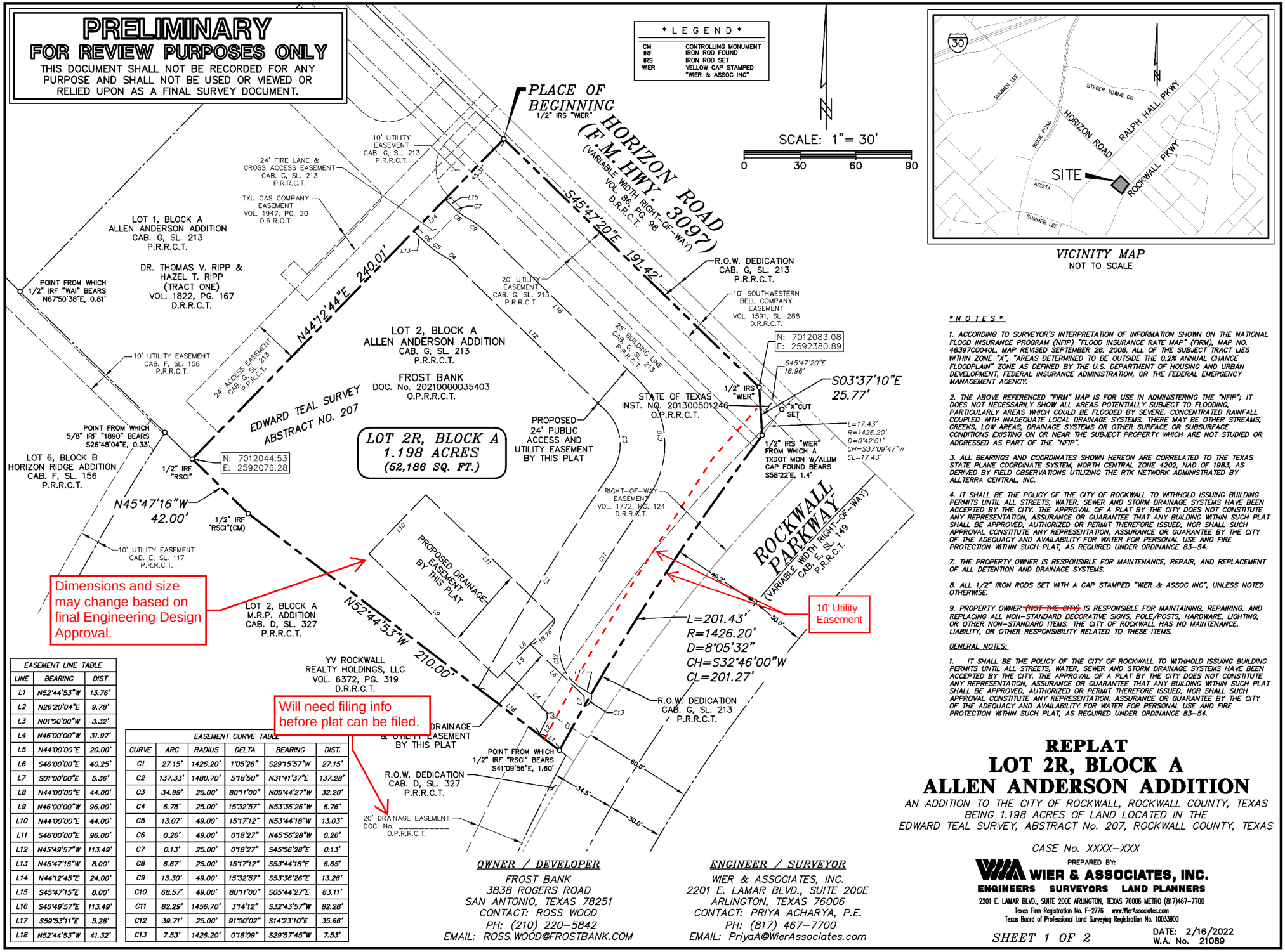
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: No comments

PRELIMINARY
FOR REVIEW PURPOSES ONLY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.



VICINITY MAP
NOT TO SCALE

EASEMENT LINE TABLE		
LINE	BEARING	DIST
L1	N52°44'53"W	13.76'
L2	N26°20'04"E	9.78'
L3	N01°00'00"W	3.32'
L4	N46°00'00"W	31.97'
L5	N44°00'00"E	20.00'
L6	S46°00'00"E	40.25'
L7	S01°00'00"E	5.36'
L8	N44°00'00"E	44.00'
L9	N46°00'00"W	96.00'
L10	N44°00'00"E	44.00'
L11	S46°00'00"E	96.00'
L12	N45°49'57"W	113.49'
L13	N45°47'15"W	8.00'
L14	N44°12'45"E	24.00'
L15	S45°47'15"E	8.00'
L16	S45°49'57"E	113.49'
L17	S59°53'11"E	5.28'
L18	N52°44'53"W	41.32'

EASEMENT CURVE TABLE					
CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	27.15'	1426.20'	1°05'26"	S29°15'57"W	27.15'
C2	137.33'	1480.70'	5°18'50"	N31°41'37"E	137.28'
C3	34.99'	25.00'	80°11'00"	N05°44'27"W	32.20'
C4	6.78'	25.00'	15°32'57"	N53°36'26"W	6.76'
C5	13.07'	49.00'	15°17'12"	N53°44'18"W	13.03'
C6	0.26'	49.00'	0°18'27"	N45°56'28"W	0.26'
C7	0.13'	25.00'	0°18'27"	S45°56'28"E	0.13'
C8	6.67'	25.00'	15°17'12"	S53°44'18"E	6.65'
C9	13.30'	49.00'	15°32'57"	S53°36'26"E	13.26'
C10	68.57'	49.00'	80°11'00"	S05°44'27"E	63.11'
C11	82.29'	1456.70'	3°14'12"	S32°43'57"W	82.28'
C12	39.71'	25.00'	91°00'02"	S14°23'10"E	35.66'
C13	7.53'	1426.20'	0°18'09"	S29°57'45"W	7.53'

NOTES

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP NO. 48397C0040L, MAP REVISED SEPTEMBER 26, 2008, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".

3. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTRATED BY ALLTERRA CENTRAL, INC.

4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

7. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DETENTION AND DRAINAGE SYSTEMS.

8. ALL 1/2" IRON RODS SET WITH A CAP STAMPED "WIER & ASSOC INC", UNLESS NOTED OTHERWISE.

9. PROPERTY OWNER ~~(NOT THE CITY)~~ IS RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL NON-STANDARD DECORATIVE SIGNS, POLE/POSTS, HARDWARE, LIGHTING, OR OTHER NON-STANDARD ITEMS. THE CITY OF ROCKWALL HAS NO MAINTENANCE, LIABILITY, OR OTHER RESPONSIBILITY RELATED TO THESE ITEMS.

GENERAL NOTES:

1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

OWNER / DEVELOPER
FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PriyaA@WierAssociates.com

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

DATE: 2/16/2022
W.A. No. 21089

PRINTED: 2/16/2022 STB FILE: WIER-SURVEY.STB LAST SAVED: 2/16/2022 3:04 PM SAVED BY: AARONLS FILE: REPLAT-21089.DWG
BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

* O W N E R ' S C E R T I F I C A T I O N *

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS FROST BANK, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE EDWARD TEAL SURVEY, ABSTRACT NUMBER 207, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET G, SLIDE 213, (P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHWEST RIGHT-OF-WAY LINE OF HORIZON ROAD (F.M. HWY. 3097) (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTH CORNER OF SAID LOT 2 AND THE EAST CORNER OF LOT 1, BLOCK A OF SAID ALLEN ANDERSON ADDITION;

THENCE S 45°47'20" E, ALONG THE NORTHEAST LINE OF SAID LOT 2 AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD, 191.42 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" AT THE NORTH END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD WITH THE NORTHWEST RIGHT-OF-WAY LINE OF ROCKWALL PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY), BEING THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS RECORDED IN INSTRUMENT NUMBER 201300501246, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.);

THENCE S 03°37'10" E, ALONG SAID CORNER CLIP AND THE WEST LINE OF SAID STATE OF TEXAS TRACT, 25.77 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", FROM WHICH A TEXAS DEPARTMENT OF TRANSPORTATION MONUMENT FOUND WITH AN ALUMINUM CAP BEARS S 58°22' E, 1.4 FEET, SAID IRON ROD BEING THE SOUTH END OF SAID CORNER CLIP AND THE SOUTH CORNER OF SAID STATE OF TEXAS TRACT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 201.43 FEET ALONG THE SOUTHEAST LINE OF SAID LOT 2, THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1426.20 FEET, A DELTA ANGLE OF 08°05'32", AND A CHORD BEARING OF S 32°46'00" W, 201.27 FEET TO A POINT, FROM WHICH 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI" BEARS S 41°09'56" E, 1.60 FEET, SAID POINT BEING THE SOUTH CORNER OF SAID LOT 2 AND IN THE NORTHEAST LINE OF LOT 2, BLOCK A, M.R.P. ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET D, SLIDE 327, P.R.R.C.T.;

THENCE N 52°44'53" W, DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 210.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI";

THENCE N 45°47'16" W, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 42.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI", SAID IRON ROD BEING THE WEST CORNER OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTH CORNER OF SAID LOT 1;

THENCE N 44°12'44" E, ALONG THE NORTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTHEAST LINE OF SAID LOT 1, A DISTANCE OF 240.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.198 ACRES (52,186 SQUARE FEET) OF LAND, MORE OR LESS.

* S U R V E Y O R ' S S T A T E M E N T *

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYED ON THE GROUND
NOVEMBER 29, 2021

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON February 16, 2022. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."
AARON L. STRINGFELLOW
REGISTERED PUBLIC SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AARONLS@WIERASSOCIATES.COM

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED AARON L. STRINGFELLOW, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ___ DAY OF _____, 2022.

_____
NOTARY SIGNATURE

MY COMMISSION EXPIRES: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE ___ DAY OF _____, 2022:

FOR: FROST BANK

_____
OWNER

STATE OF _____
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF FROST BANK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ___ DAY OF _____, 2022.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF _____

_____
PRINTED NAME

RECOMMENDED FOR FINAL APPROVAL

_____ _____
PLANNING AND ZONING COMMISSION, CHAIRMAN DATE

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____, 2022.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ___ DAY OF _____, 2022.

_____ _____ _____
MAYOR, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

OWNER / DEVELOPER
FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PRIYAA@WIERASSOCIATES.COM

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 2 OF 2

DATE: 2/16/2022
W.A. No. 21089

PRINTED: 2/16/2022 STB FILE: WIER-SURVEY.STB LAST SAVED: 2/16/2022 3:04 PM SAVED BY: AARONLS FILE: REPLAT-21089.DWG
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-007

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☒ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST ($100.00)

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Address not available				
SUBDIVISION	Allen Anderson Addition	LOT	2	BLOCK	2
GENERAL LOCATION	Northwest corner of Rockwall Parkway and FM 3097				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-009			CURRENT USE	Vacant
PROPOSED ZONING	N/A			PROPOSED USE	Financial Institution with Drive-Through
ACREAGE	1.198	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Frost Bank	☒ APPLICANT	Wier & Associates, Inc.
CONTACT PERSON	Ross Wood	CONTACT PERSON	Priya Acharya
ADDRESS	3838 Rogers Road	ADDRESS	2201 E. Lamar Blvd. Suite 200E
CITY, STATE & ZIP	San Antonio, Texas, 78251	CITY, STATE & ZIP	Arlington, Texas, 76006
PHONE	(210) 220-5842	PHONE	(817) 467-7700
E-MAIL	ross.wood@frostbank.com	E-MAIL	priyaa@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

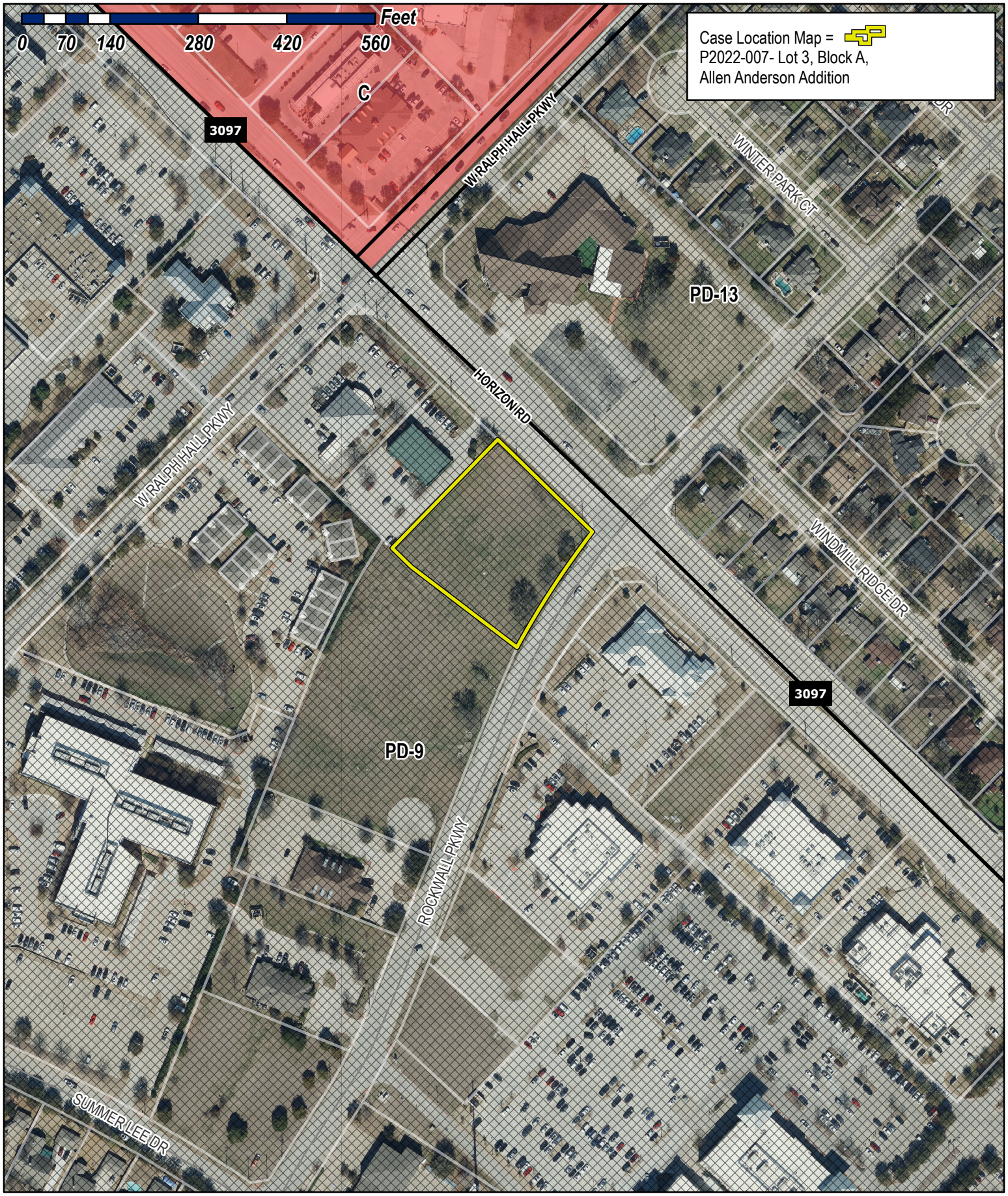
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 *DAY OF* February, *20* 22

OWNER'S SIGNATURE Ross Wood

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Charlotte Swords

CHARLOTTE R. SWORDS
Notary Public, State of Texas
Comm. Expires 02-24-2023
Notary ID 128531891

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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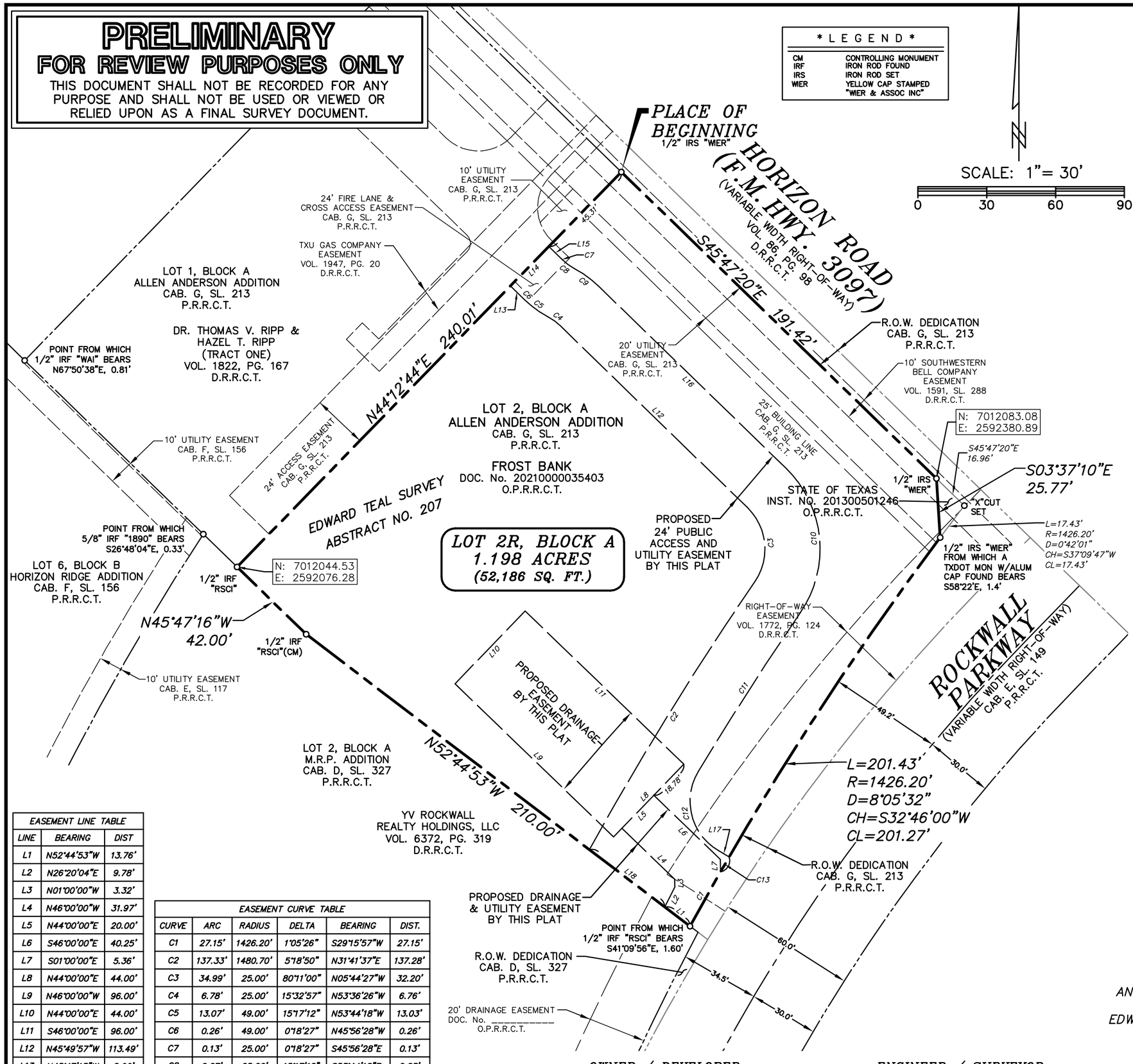

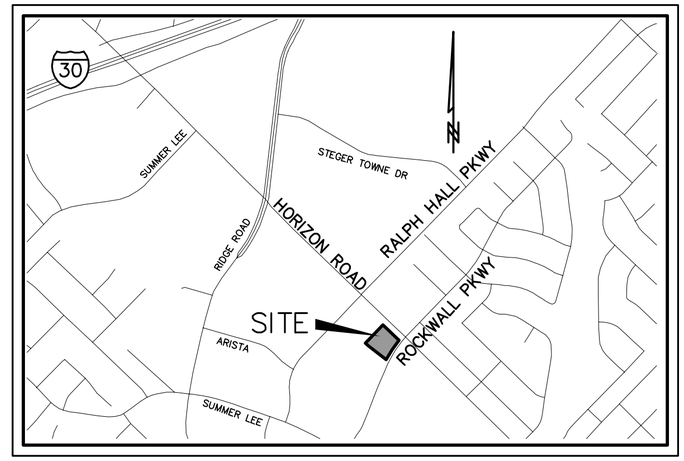

VICINITY MAP
NOT TO SCALE

EASEMENT LINE TABLE		
LINE	BEARING	DIST
L1	N52°44'53"W	13.76'
L2	N26°20'04"E	9.78'
L3	N01°00'00"W	3.32'
L4	N46°00'00"W	31.97'
L5	N44°00'00"E	20.00'
L6	S46°00'00"E	40.25'
L7	S01°00'00"E	5.36'
L8	N44°00'00"E	44.00'
L9	N46°00'00"W	96.00'
L10	N44°00'00"E	44.00'
L11	S46°00'00"E	96.00'
L12	N45°49'57"W	113.49'
L13	N45°47'15"W	8.00'
L14	N44°12'45"E	24.00'
L15	S45°47'15"E	8.00'
L16	S45°49'57"E	113.49'
L17	S59°53'11"E	5.28'
L18	N52°44'53"W	41.32'

EASEMENT CURVE TABLE					
CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	27.15'	1426.20'	1°05'26"	S29°15'57"W	27.15'
C2	137.33'	1480.70'	5°18'50"	N31°41'37"E	137.28'
C3	34.99'	25.00'	80°11'00"	N05°44'27"W	32.20'
C4	6.78'	25.00'	15°32'57"	N53°36'26"W	6.76'
C5	13.07'	49.00'	15°17'12"	N53°44'18"W	13.03'
C6	0.26'	49.00'	0°18'27"	N45°56'28"W	0.26'
C7	0.13'	25.00'	0°18'27"	S45°56'28"E	0.13'
C8	6.67'	25.00'	15°17'12"	S53°44'18"E	6.65'
C9	13.30'	49.00'	15°32'57"	S53°36'26"E	13.26'
C10	68.57'	49.00'	80°11'00"	S05°44'27"E	63.11'
C11	82.29'	1456.70'	3°14'12"	S32°43'57"W	82.28'
C12	39.71'	25.00'	91°00'02"	S14°23'10"E	35.66'
C13	7.53'	1426.20'	0°18'09"	S29°57'45"W	7.53'

NOTES

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP NO. 48397C0040L, MAP REVISED SEPTEMBER 26, 2008, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".

3. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTRATED BY ALLTERRA CENTRAL, INC.

4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

7. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DETENTION AND DRAINAGE SYSTEMS.

8. ALL 1/2" IRON RODS SET WITH A CAP STAMPED "WIER & ASSOC INC", UNLESS NOTED OTHERWISE.

9. PROPERTY OWNER (NOT THE CITY) IS RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL NON-STANDARD DECORATIVE SIGNS, POLE/POSTS, HARDWARE, LIGHTING, OR OTHER NON-STANDARD ITEMS. THE CITY OF ROCKWALL HAS NO MAINTENANCE, LIABILITY, OR OTHER RESPONSIBILITY RELATED TO THESE ITEMS.

GENERAL NOTES:

1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

OWNER / DEVELOPER
FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PriyaA@WierAssociates.com

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

DATE: 2/16/2022
W.A. No. 21089

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BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS FROST BANK, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE EDWARD TEAL SURVEY, ABSTRACT NUMBER 207, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET G, SLIDE 213, (P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHWEST RIGHT-OF-WAY LINE OF HORIZON ROAD (F.M. HWY. 3097) (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTH CORNER OF SAID LOT 2 AND THE EAST CORNER OF LOT 1, BLOCK A OF SAID ALLEN ANDERSON ADDITION;

THENCE S 45°47'20" E, ALONG THE NORTHEAST LINE OF SAID LOT 2 AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD, 191.42 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" AT THE NORTH END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD WITH THE NORTHWEST RIGHT-OF-WAY LINE OF ROCKWALL PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY), BEING THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS RECORDED IN INSTRUMENT NUMBER 201300501246, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.);

THENCE S 03°37'10" E, ALONG SAID CORNER CLIP AND THE WEST LINE OF SAID STATE OF TEXAS TRACT, 25.77 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", FROM WHICH A TEXAS DEPARTMENT OF TRANSPORTATION MONUMENT FOUND WITH AN ALUMINUM CAP BEARS S 58°22' E, 1.4 FEET, SAID IRON ROD BEING THE SOUTH END OF SAID CORNER CLIP AND THE SOUTH CORNER OF SAID STATE OF TEXAS TRACT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 201.43 FEET ALONG THE SOUTHEAST LINE OF SAID LOT 2, THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1426.20 FEET, A DELTA ANGLE OF 08°05'32", AND A CHORD BEARING OF S 32°46'00" W, 201.27 FEET TO A POINT, FROM WHICH 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI" BEARS S 41°09'56" E, 1.60 FEET, SAID POINT BEING THE SOUTH CORNER OF SAID LOT 2 AND IN THE NORTHEAST LINE OF LOT 2, BLOCK A, M.R.P. ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET D, SLIDE 327, P.R.R.C.T.;

THENCE N 52°44'53" W, DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 210.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI";

THENCE N 45°47'16" W, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 42.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI", SAID IRON ROD BEING THE WEST CORNER OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTH CORNER OF SAID LOT 1;

THENCE N 44°12'44" E, ALONG THE NORTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTHEAST LINE OF SAID LOT 1, A DISTANCE OF 240.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.198 ACRES (52,186 SQUARE FEET) OF LAND, MORE OR LESS.

SURVEYOR'S STATEMENT

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYED ON THE GROUND
NOVEMBER 29, 2021

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON February 16, 2022. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."
AARON L. STRINGFELLOW
REGISTERED PUBLIC SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AARONLS@WIERASSOCIATES.COM

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED AARON L. STRINGFELLOW, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ___ DAY OF _____, 2022.

_____
NOTARY SIGNATURE

MY COMMISSION EXPIRES: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE ___ DAY OF _____, 2022:

FOR: FROST BANK

_____
OWNER

STATE OF _____
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF FROST BANK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2022.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF _____

_____
PRINTED NAME

RECOMMENDED FOR FINAL APPROVAL

_____ _____
PLANNING AND ZONING COMMISSION, CHAIRMAN DATE

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____, 2022.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ___ DAY OF _____, 2022.

_____ _____ _____
MAYOR, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

OWNER / DEVELOPER
FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PRIYAA@WIERASSOCIATES.COM

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

DATE: 2/16/2022
W.A. No. 21089

PRINTED: 2/16/2022 STB FILE: WIER-SURVEY.STB LAST SAVED: 2/16/2022 3:04 PM SAVED BY: AARONLS FILE: REPLAT-21089.DWG
BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

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Map-Check  21089 REPLAT MAP   2/17/22  10:09:27  Factor:  1.0000000
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Correct End - N: 5000.00000 E: 5000.00000
Calc. End - N: 5000.00019 E: 5000.00800
Error - N: 0.00 E: 0.01 Total: 0.01 Brg: S 88-37-44 W
Distance Traversed: 910.46 Closure: 113742

No Adjustment
Bearing        Distance       North          East       Elevation    Pt.No.
                              5000.00000     5000.00000                31
S 45-47-20 E        191.42    4866.52205     5137.20515                31
S 03-37-10 E         25.77    4840.80345     5138.83199                31

RAD: 1426.20  LEN: 201.43  TAN: 100.88  CEN.ANG: 8-05-32
CHORD: 201.26  MO: 3.55  EXT: 3.56  DEGREE: 4-01-03
SEG: 477  TRI: 143163  SEC: 143640

S 53-11-14 E       1426.20    3986.22160    6280.64471                31   PC->RP
N 61-16-46 W       1426.20    4671.56541    5029.90481                31   RP->PT

S 32-46-00 W        201.26    4671.56541    5029.90481                31   PC->PT
N 52-44-53 W        210.00    4798.68282    4862.74870                31
N 45-47-16 W         42.00    4827.97017    4832.64471                31
N 44-12-44 E        240.01    5000.00019    5000.00800                31

Approx: Sq.Feet: 52186 Acres: 1.198


--------------------------------------------------------------------------------
Map-Check  21089 REPLAT MAP   2/17/22  10:09:35  Factor:  1.0000000
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sc
   2:S 45-47-20 E     191.420
   3:S 03-37-10 E      25.770
   4:S 32-46-00 W   CCCCCCCCC -1426.200   201.430
   5:N 52-44-53 W     210.000
   6:N 45-47-16 W      42.000
   7:N 44-12-44 E     240.010
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Map-Check  21089 REPLAT DESCRIPTION   2/17/22  10:04:15  Factor:  1.0000000
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Correct End - N: 5000.00000 E: 5000.00000
Calc. End - N: 5000.00019 E: 5000.00800
Error - N: 0.00 E: 0.01 Total: 0.01 Brg: S 88-37-44 W
Distance Traversed: 910.46 Closure: 113742

No Adjustment
Bearing        Distance       North          East       Elevation    Pt.No.
                              5000.00000     5000.00000                 1
S 45-47-20 E        191.42    4866.52205     5137.20515                 2
S 03-37-10 E         25.77    4840.80345     5138.83199                 3

RAD: 1426.20  LEN: 201.43  TAN: 100.88  CEN.ANG: 8-05-32
CHORD: 201.26  MO: 3.55  EXT: 3.56  DEGREE: 4-01-03
SEG: 477  TRI: 143163  SEC: 143640

S 53-11-14 E       1426.20    3986.22160     6280.64471                 4   PC->RP
N 61-16-46 W       1426.20    4671.56541     5029.90481                 5   RP->PT

S 32-46-00 W        201.26    4671.56541     5029.90481                 5   PC->PT
N 52-44-53 W        210.00    4798.68282     4862.74870                 6
N 45-47-16 W         42.00    4827.97017     4832.64471                 7
N 44-12-44 E        240.01    5000.00019     5000.00800                 8

Approx: Sq.Feet: 52186 Acres: 1.198


--------------------------------------------------------------------------------
Map-Check  21089 REPLAT DESCRIPTION   2/17/22  10:04:31  Factor:  1.0000000
--------------------------------------------------------------------------------

sc
   2:S 45-47-20 E     191.420
   3:S 03-37-10 E      25.770
   4:S 32-46-00 W   CCCCCCCCC -1426.200   201.430
   5:N 52-44-53 W     210.000
   6:N 45-47-16 W      42.000
   7:N 44-12-44 E     240.010
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	William Johnson; *LTL Family Holdings*
CASE NUMBER:	P2022-008; *Preliminary Plat for Marina Village*

SUMMARY

Consider a request by William Johnson of LTL Family Holdings, LLC for the approval of a *Preliminary Plat* for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION

☑ The purpose of the applicant's request is to *Preliminary Plat* a 6.88-acre parcel of land (*i.e. as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207*) into 36 townhome lots and two (2) open space lots (*i.e. Lots 1-29, Block A; Lots 1-9, Block B Marina Village Subdivision*). The proposed *Preliminary Plat* also lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subdivision.

☑ The subject property was annexed into the City of Rockwall and zoned Agricultural (AG) District on October 29, 1973 (*Ordinance No. 73-43*). On November 12, 1973, the subject property was rezoned to Planned Development District 8 (PD-8) and designated for a *Multi-Family* and/or *Condominium* land uses by *Ordinance No. 73-48*. This designation was amended on October 19, 1992 by *Ordinance No. 92-39* (*Case No. PZ1992-008-01*), which re-designated the subject property to allow 36 zero-lot-line, single-family homes. On August 16, 2022, the City Council approved an amendment to Planned Development District 8 (PD-8) through *Ordinance No. 21-38* (*Case No. Z2021-026*) allowing 36 townhomes on the subject property.

☑ On March 1, 2022, the Parks and Recreation Board reviewed the *Preliminary Plat* and made the following recommendations concerning the proposed subdivision:

(1) The property owner shall pay pro-rata equipment fees of $7,920.00 (*i.e. $220.00 x 36 Lots*), which will be due prior to the issuance of a building permit.

(2) The property owner shall pay cash-in-lieu of land fees of $8,352.00 (*i.e. $232.00 x 36 Lots*), which will be due prior to the issuance of a building permit.

☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Preliminary Plat* for the *Marina Village*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,

(3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-008

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☑ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Prop ID 452487 & A0207 E Teal, Tract 134-12				
SUBDIVISION	Spyglass Hill #4	LOT	4	BLOCK	A
GENERAL LOCATION	Adjacent to Chandlers Landing Marina				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-08 Attached Townhomes	CURRENT USE	Vacant
PROPOSED ZONING		PROPOSED USE	Attached Townhomes
ACREAGE	6.88	LOTS [CURRENT]	0
		LOTS [PROPOSED]	36

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	LTL FAMILY HOLDINGS, LLC	☐ APPLICANT	
CONTACT PERSON	William Johnson	CONTACT PERSON	
ADDRESS	14918 Mystic Terrace Ln	ADDRESS	
CITY, STATE & ZIP	Cypress, TX 77429	CITY, STATE & ZIP	
PHONE	713.325.4294	PHONE	
E-MAIL	LTLFAMILY@YAHOO.COM	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Johnson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 303.20 *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 15th *DAY OF* February *, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 *DAY OF* FEBRUARY *, 2022.*

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

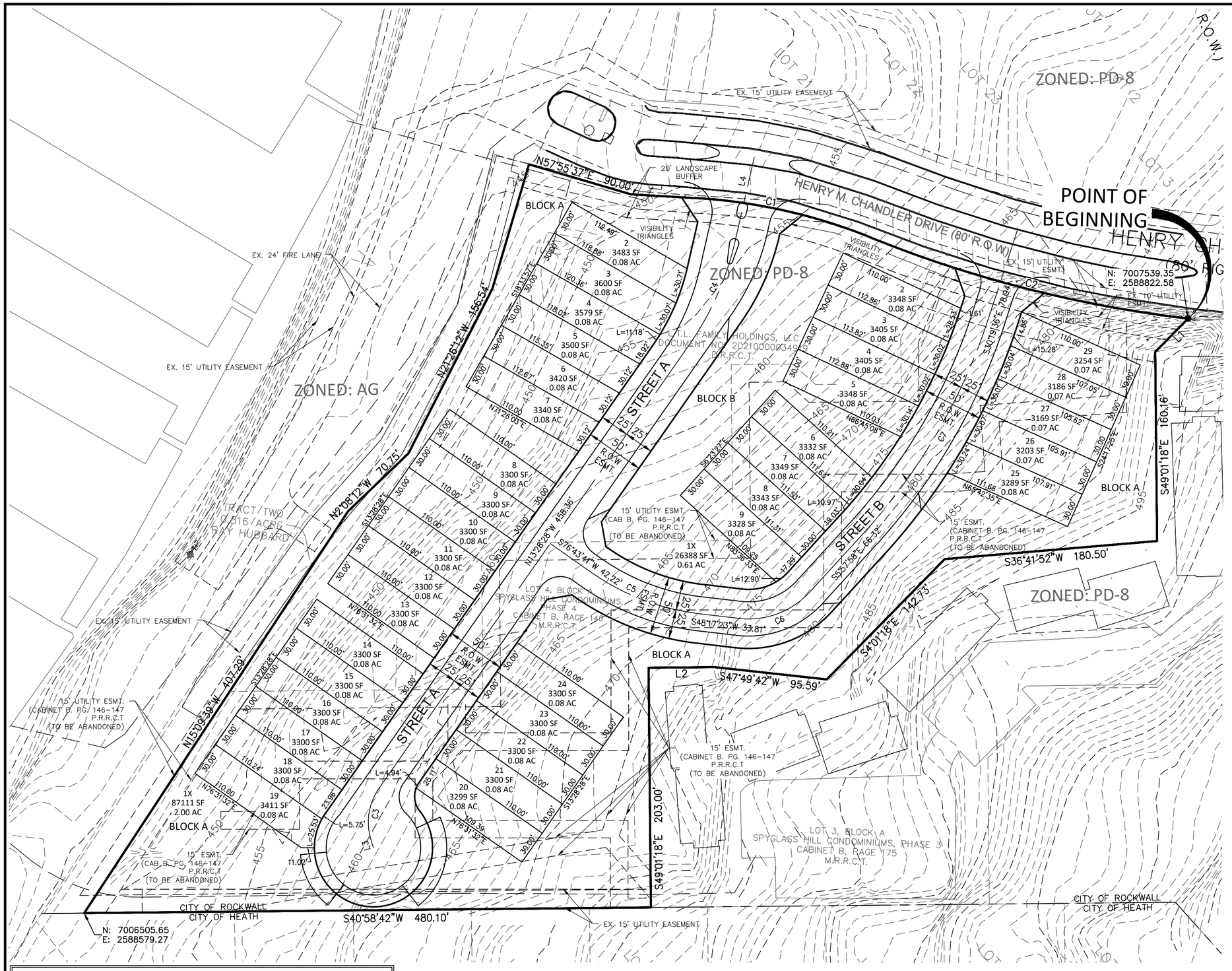
NOTARY PUBLIC • STATE OF TEXAS
Julie Singer
My Commission Expires
03/17/2025
ID No. 132978642

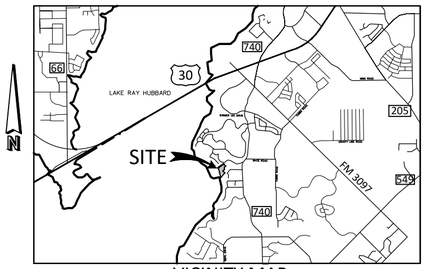
MY COMMISSION EXPIRES 03/17/2025

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

LEGEND

- • Point of Curvature or Tangency on Center Line
- ● 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ◉ 1/2" IRF (unless otherwise noted)

AC	Acre
BL	Building Line
C1	Curve No.
<CM>	Control Monument
DE	Drainage Easement
DUE	Drainage Utility Easement
Esmt	Easement
L1	Line No.
SF	Square Feet
UE	Utility Easement
VAM	Visibility Easement

D.R.R.C.T.= Deed Records of Rockwall County, Texas

P.R.R.C.T.= Plat Records of Rockwall County, Texas

O.R.R.C.T.= Official Records of Rockwall County, Texas

GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

60 30 0 60 120

SCALE 1" = 60'

BENCHMARKS:

MONUMENT NO. 1:

CITY OF ROCKWALL MONUMENT NO. COR-5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = 560.58'

MONUMENT NO. 2:

CITY OF ROCKWALL MONUMENT NO. COR-7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = 567.52'

Line Table		
Line	Length	Direction
L1	39.64	S4° 01' 18"E
L2	56.00	S40° 58' 42"W
L3	7.57	N65° 13' 41"W
L4	72.96	N35° 35' 51"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	153.06	471.19	018°36'42"	152.39	N54° 13' 19"E
C2	278.35	1040.00	015°20'06"	277.52	N55° 51' 37"E
C3	45.16	50.00	051°45'13"	43.64	S39° 21' 05"E
C4	96.53	250.00	022°07'23"	95.93	N24° 32' 09"W
C5	99.27	200.00	028°26'17"	98.25	N62° 30' 32"E
C6	66.29	70.00	054°15'21"	63.84	N21° 09' 42"E
C7	212.59	500.00	024°21'38"	210.99	N18° 08' 47"W

PRELIMINARY PLAT

MARINA VILLAGES

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9

36 TOWNHOME LOTS

1.526 AC ROW DEDICATION

OUT OF THE

EDWARD TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

XXX-XX-2021

February 17, 2022

SHEET 1 OF 2

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 4, Block A of SPYGLASS HILL CONDOMINIUMS PHASE FOUR, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 146, Map Records, Rockwall County, Texas and being all of that tract of land described in Deed to L.T.L. Family Holdings, LLC, as recorded in Document No. 20210000034919, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found in the southeast line of Henry Chandler Drive, an 80 foot right-of-way, for the common northeast corner of said L.T.L. Family Holdings, LLC tract, northeast corner of said Lot 4 and northwest corner of Lot 3, Block A of SPYGLASS HILL CONDOMINIUMS, PHASE 3, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 175, Map Records, Rockwall County, Texas;

THENCE Southerly, with the common east line of said Lot 4, east line of said L.T.L. Family Holdings, LLC tract and west line of said Lot 3, the following seven (7) courses and distances:

South 04 degrees 01 minutes 18 seconds East, leaving said southeast line, a distance of 39.64 feet to a 1/2 inch iron rod found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 160.16 feet to a 1/2 inch iron rod found for corner;

South 36 degrees 41 minutes 52 seconds West, a distance of 180.50 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 04 degrees 01 minutes 18 seconds East, a distance of 142.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 47 degrees 49 minutes 42 seconds West, a distance of 95.59 feet to a 1/2 inch iron rod found for corner;

South 40 degrees 58 minutes 42 seconds West, a distance of 56.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 203.00 feet to a 1/2 inch iron rod found in the northwest line of WINDWARD SLOPE, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet A, page 368, Map Records, Rockwall County, Texas for the common south corner of said Lot 3 and an exterior ell corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE South 40 degrees 58 minutes 42 seconds West, with the common southeast line of said Lot 4 and said L.T.L. Family Holdings, LLC tract and said northwest line, a distance of 480.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common south corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE Northerly, with the west line of said L.T.L. Family Holdings, LLC tract, the following four (4) courses and distances:

North 15 degrees 09 minutes 39 seconds West, a distance of 407.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 02 degrees 08 minutes 12 seconds West, a distance of 70.75 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 21 degrees 26 minutes 12 seconds West, a distance of 156.54 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 32 degrees 04 minutes 21 seconds West, a distance of 109.80 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the southeast line of the above mentioned Henry Chandler Drive for the northwest corner of said L.T.L. Family Holdings, LLC tract;

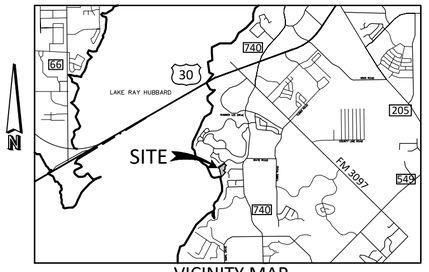
THENCE Northeasterly, with said southeast line, the following four (4) courses and distances:

North 57 degrees 55 minutes 37 seconds East, a distance of 90.00 feet to a 1/2 inch iron rod found for corner;

North 44 degrees 54 minutes 57 seconds East, a distance of 54.37 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right having a central angle of 18 degrees 36 minutes 42 seconds, a radius of 471.19 feet and a chord bearing and distance of North 54 degrees 13 minutes 19 seconds East, 152.39 feet;

Northeasterly, with said curve to the right, an arc distance of 153.06 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 15 degrees 20 minutes 06 seconds, a radius of 1,040.00 feet and a chord bearing and distance of North 55 degrees 51 minutes 37 seconds East, 277.52 feet;

Northeasterly, with said curve to the left, an arc distance of 278.35 feet to the POINT OF BEGINNING and containing 6.889 acres of land, more or less.



VICINITY MAP
N.T.S.

PRELIMINARY PLAT

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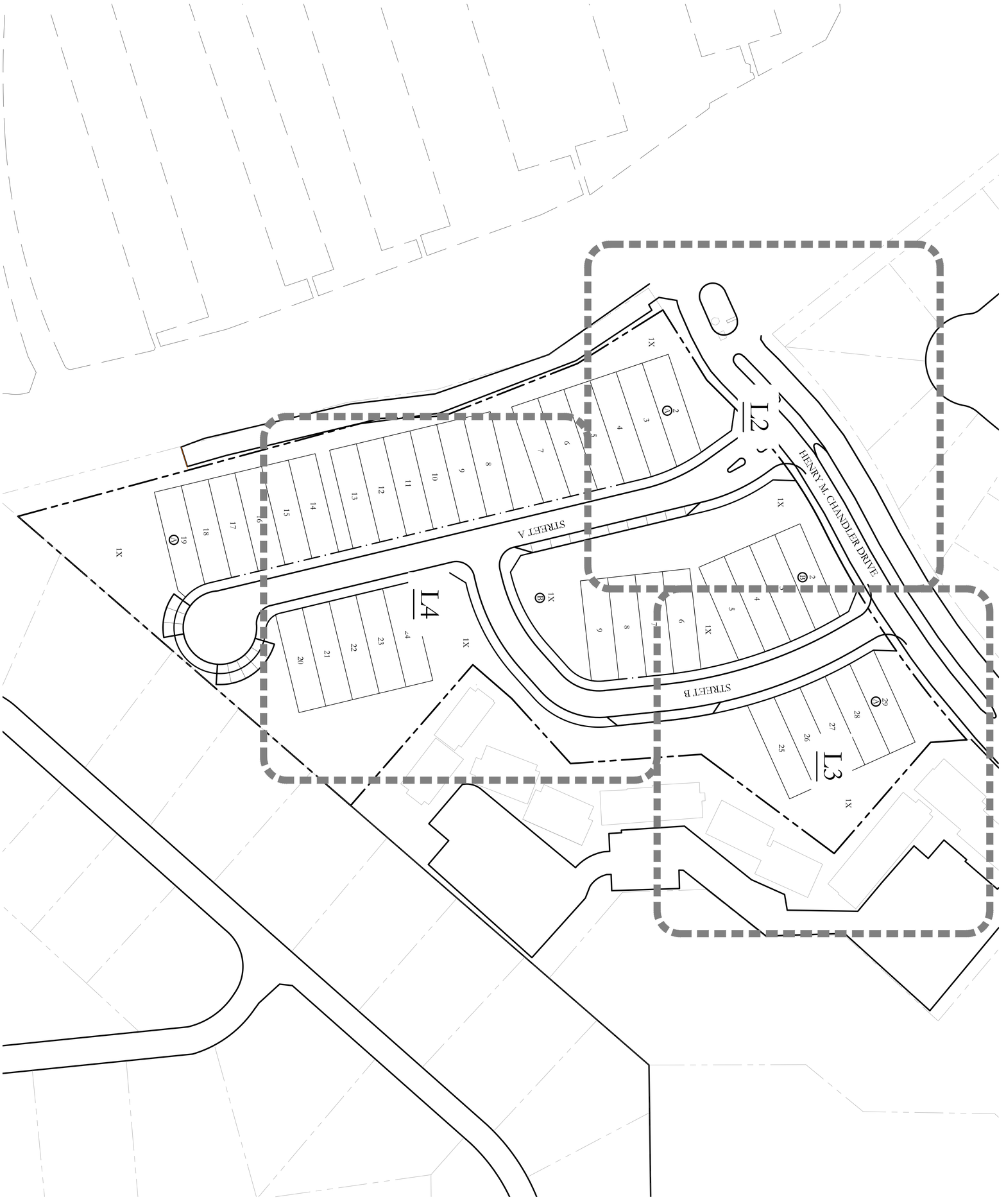

SCALE: 1" = 50'
50 25 0 50

NORTH

L1 of 5

SCALE: 1" = 50'
One Inch
JVC No. 2209

STATE OF TEXAS
REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2253
February 15, 2022

TREESCAPE PLAN

OVERALL LAYOUT PLAN

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
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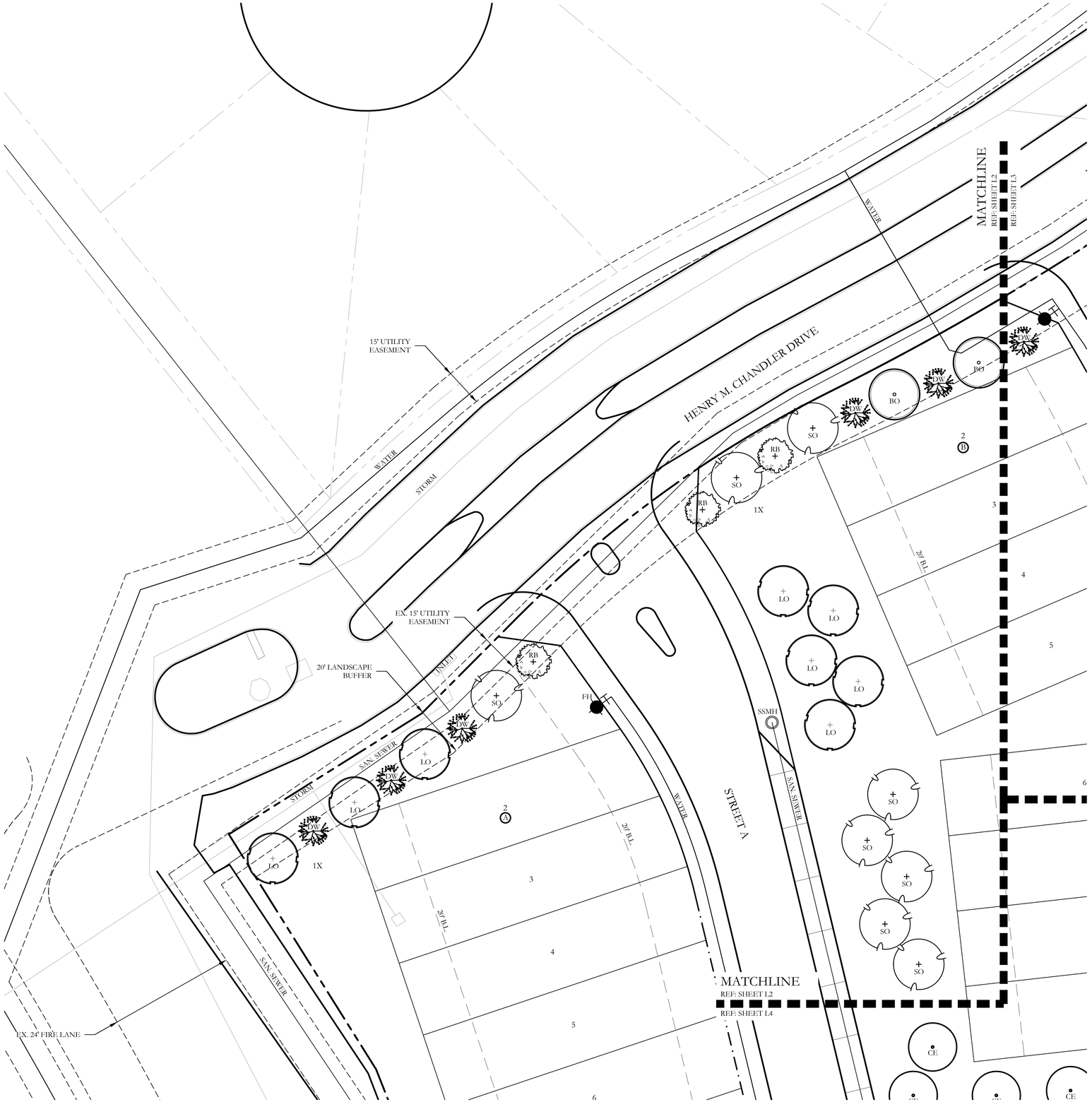

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
LO	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
SO	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
BO	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
CE	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
DW	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
RB	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

NORTH

20 10 0 20

SCALE 1" = 20'

JOHNSON VOLK CONSULTING
TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN

TREESCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:
1" = 20'
One Inch

JVC No 2209

L2 of 5

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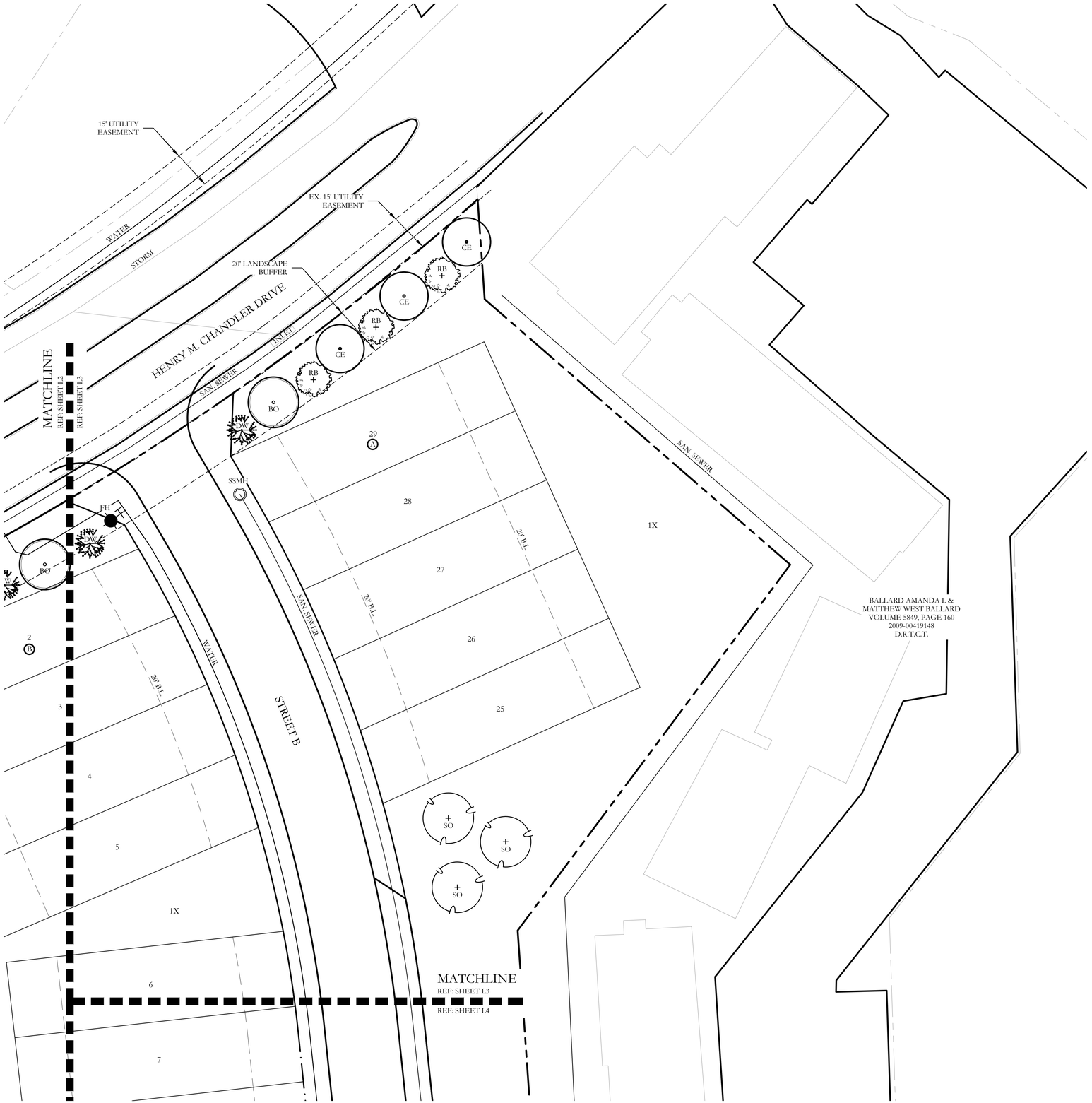

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
LO	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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NORTH

20 10 0 20

SCALE 1" = 20'

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MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN

TREESCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:
1" = 20'
One Inch

JVC No 2209

L3 of 5

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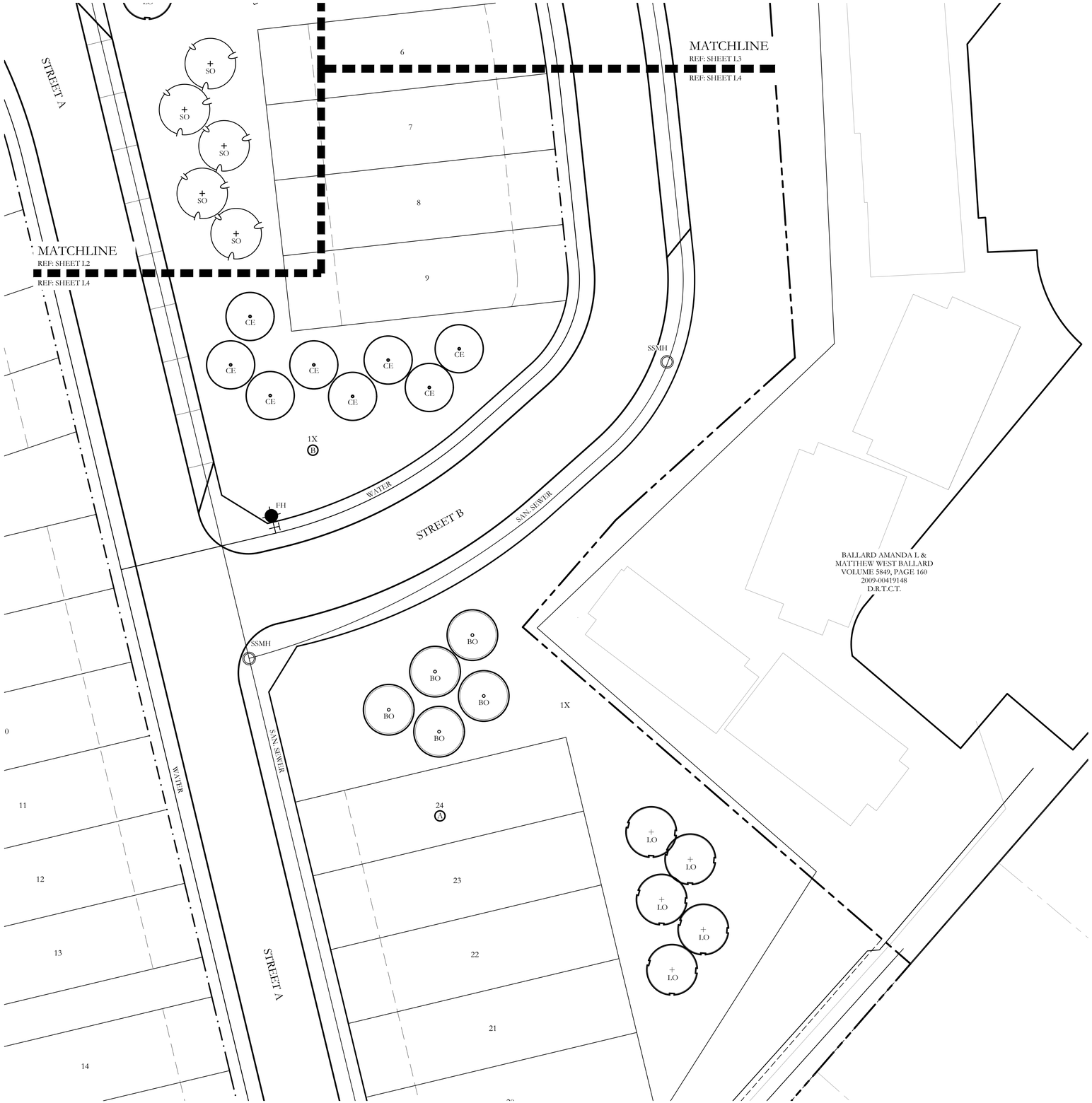

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NORTH

20 10 0 20

SCALE 1" = 20'

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MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN

TREESCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:
1" = 20'
One Inch

JVC No 2209

j:\civil 3d projects\2209 - marina villages - townhomes - rockwall\landscape\2209 - treescape plan.dwg

LANDSCAPE PROVIDED

HENRY M. CHANDLER DR.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
576 LF OF FRONTAGE / 50 LF = 12 - 4" CAL. TREES & 12 ACCENT TREES REQUIRED.
PROVIDED: 12 - 4" CALIPER CANOPY TREES & 13 ACCENT TREES PROVIDED

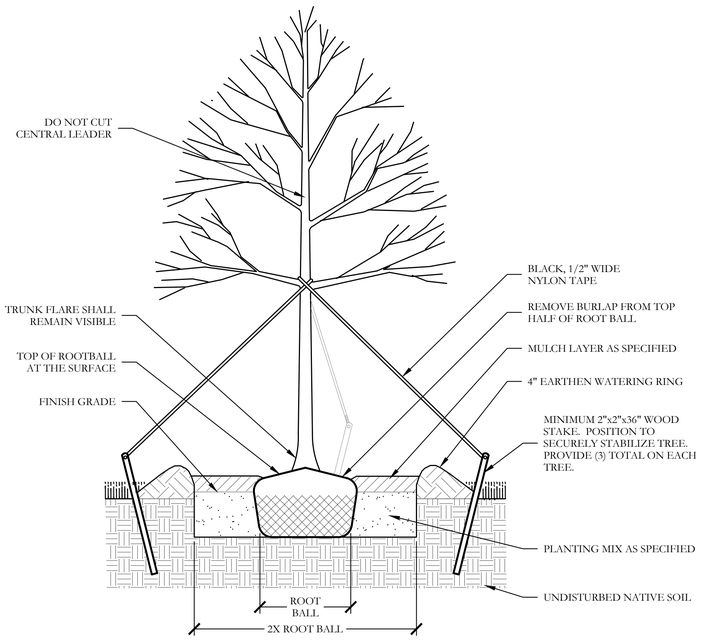
TREE MITIGATION

191.5 CAL. INCHES REMOVED

43 - 4" CAL. CANOPY TREES & 13 - 2" CAL. ACCENT TREES = 198 CAL. INCHES REPLACED.

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	11	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.



1 TYPICAL TREE PLANTING
SECTION

NOT TO SCALE

GENERAL LANDSCAPE NOTES

INSPECTIONS:
1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:
1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

JOHNSON VOLK CONSULTING
TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN
TREESCAPE DETAILS

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:
One Inch

JVC No 2209

L5 of 5

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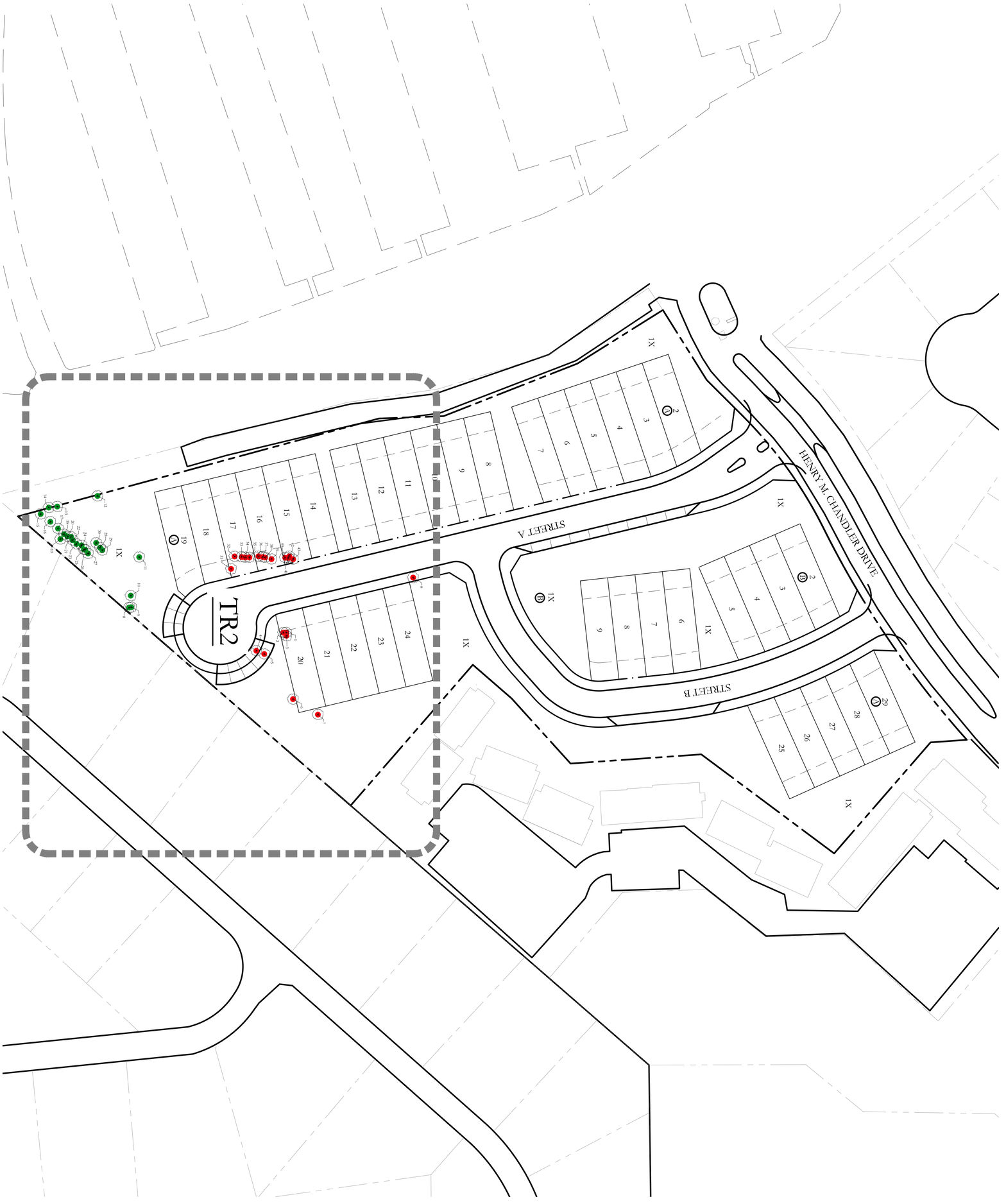


SCALE: 1" = 50'

NORTH

TR1 of 3

SCALE: 1" = 50'

One Inch

JVC No. 2209

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2223
STATE OF TEXAS

February 15, 2022

TREE SURVEY PLAN

TREE SURVEY PLAN

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

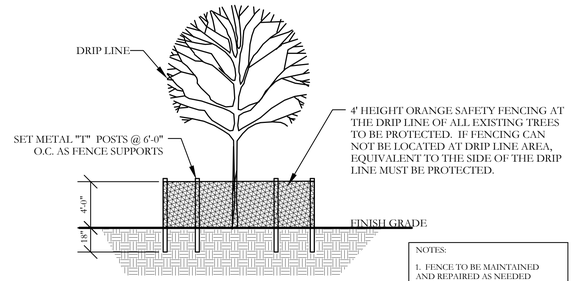
JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

LEGEND

- 7 — EXISTING TREE TO BE REMOVED
- 23 — EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE. TYP.

TREE PROTECTION NOTES

1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
2. DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
5. NO MATERIALS SHALL BE STORED WITHIN THE DRIPLINE AREA OF A TREE TO BE PRESERVED



1 TREE PROTECTION DETAIL

NOT TO SCALE

NORTH

20 10 0 20

SCALE 1" = 20'

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TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
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MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREE SURVEY PLAN

TREE SURVEY PLAN

REGISTERED LANDSCAPE ARCHITECT
GODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:
1" = 20'
One Inch

JVC No 2209

TR2 of 3

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Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
0	28.0	Mesquite	Prosopis spp.	Yes	Healthy	Multi-trunk		Remove	100%	28.0
1	40.0	Bois d'Arc	Machura pomifera	No	Damaged	Leaning/Fall Hazard		Remove	0%	0.0
2	20.0	Bois d'Arc	Machura pomifera	No	Healthy			Remove	0%	0.0
3	8.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
4	12.0	Crape Myrtle	Lagerostroemia indica	Yes	Healthy			Remove	100%	12.0
5	8.0	Hackberry	Celtis occidentalis	No	Healthy	Multi-trunk		Remove	0%	0.0
6	14.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	7.0
7	14.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	100%	14.0
8	9.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
9	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
10	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
11	44.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
12	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
13	11.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
14	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
15	34.0	Eastern Red Cedar	Juniperus viginiana	Yes	Healthy	Multi-trunk		Remain		0.0
16	35.0	Eastern Red Cedar	Juniperus viginiana	Yes	Healthy	Multi-trunk		Remain		0.0
17	12.0	Eastern Red Cedar	Juniperus viginiana	Yes	Healthy			Remain		0.0
18	9.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
19	29.0	Bois d'Arc	Machura pomifera	No	Healthy	Multi-trunk		Remain		0.0
20	10.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
21	12.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
22	10.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
23	9.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
24	15.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
25	8.0	Eastern Red Cedar	Juniperus viginiana	No	Healthy			Remain		0.0
26	7.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
27	29.0	Eastern Red Cedar	Juniperus viginiana	Yes	Healthy	Multi-trunk		Remain		0.0
28	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
29	21.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
30	7.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
31	20.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.0
32	24.0	Eastern Red Cedar	Juniperus viginiana	Yes	Healthy	Multi-trunk		Remove	50%	12.0
33	23.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	11.5
34	9.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
35	20.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.0
36	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remove	100%	24.0
37	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
38	21.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.5
39	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	9.5
40	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.5
41	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	12.0
42	17.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	8.5
43	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
	789.0									**191.5**
	Total Tree Population									**Total Tree Replacement, caliper inches**

JOHNSON VOLK CONSULTING
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MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREE SURVEY PLAN

TREE SURVEY DETAILS

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS

February 15, 2022

SCALE:

One Inch

JVC No 2209

TR3 of 3

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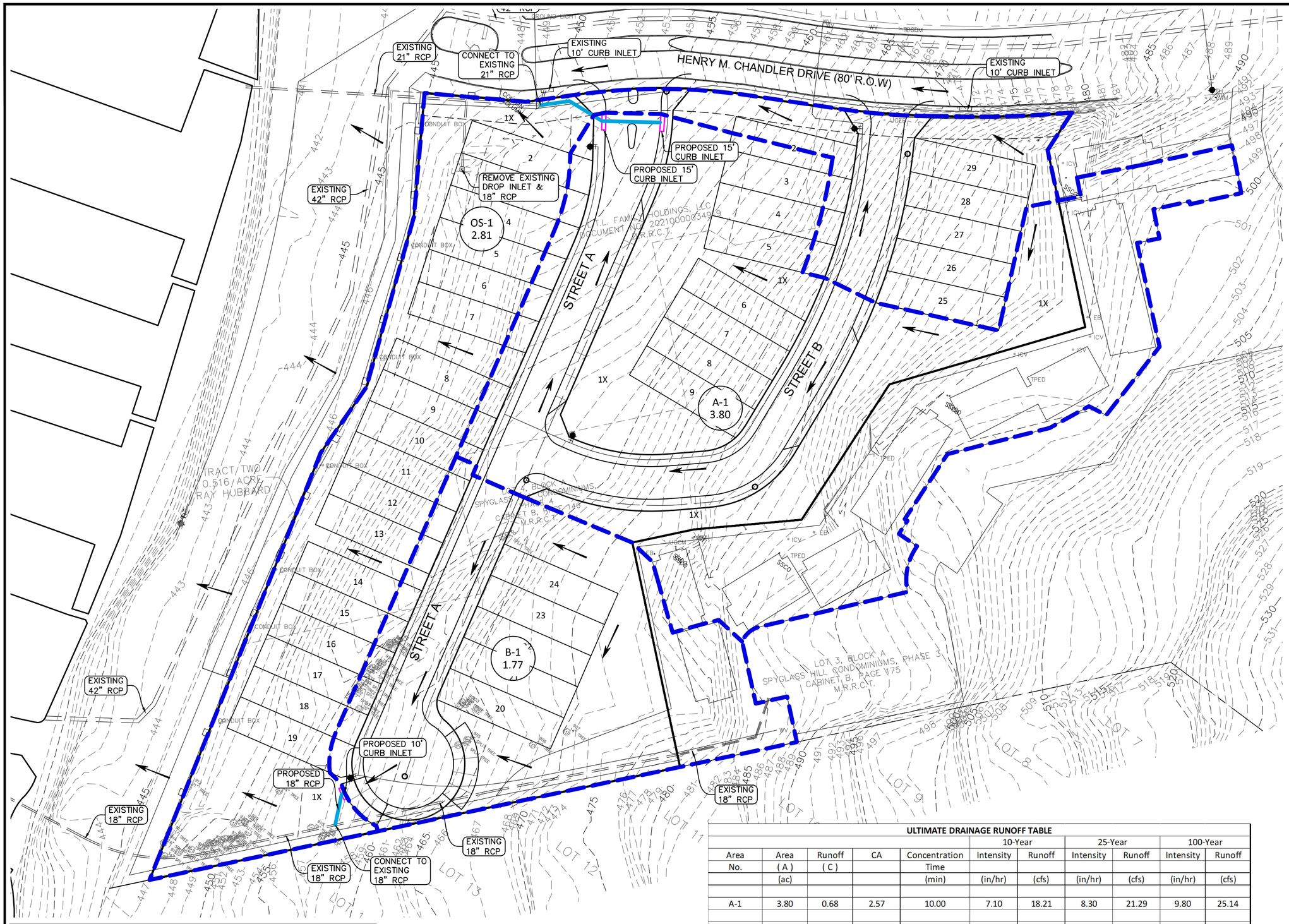

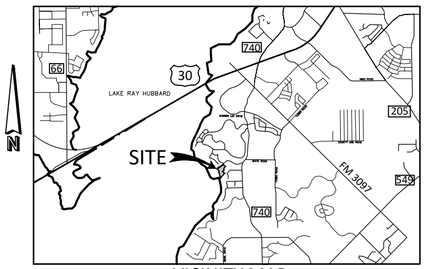

VICINITY MAP
N.T.S.

LEGEND

- C-1 / 22.64 AC — DRAINAGE AREA DESIGNATION / DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- 635 — EXISTING CONTOUR

60 30 0 60 120

SCALE 1" = 60'

ULTIMATE DRAINAGE RUNOFF TABLE

Area	Area	Runoff	CA	Concentration	10-Year		25-Year		100-Year	
No.	(A)	(C)		Time	Intensity	Runoff	Intensity	Runoff	Intensity	Runoff
	(ac)			(min)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)
A-1	3.80	0.68	2.57	10.00	7.10	18.21	8.30	21.29	9.80	25.14
B-1	1.77	0.66	1.17	10.00	7.10	8.32	8.30	9.73	9.80	11.49
OS-1	2.81	0.64	1.80	10.00	7.10	12.75	8.30	14.91	9.80	17.60

BENCHMARKS:

MONUMENT NO. 1:

CITY OF ROCKWALL MONUMENT NO. COR-5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = 560.58'

MONUMENT NO. 2:

CITY OF ROCKWALL MONUMENT NO. COR-7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = 567.52'

PRELIMINARY DRAINAGE PLAN

MARINA VILLAGES

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9
36 TOWNHOME LOTS
1.526 AC ROW DEDICATION
OUT OF THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
XXX-XX-2021

February 18, 2022
SHEET 1 OF 1

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
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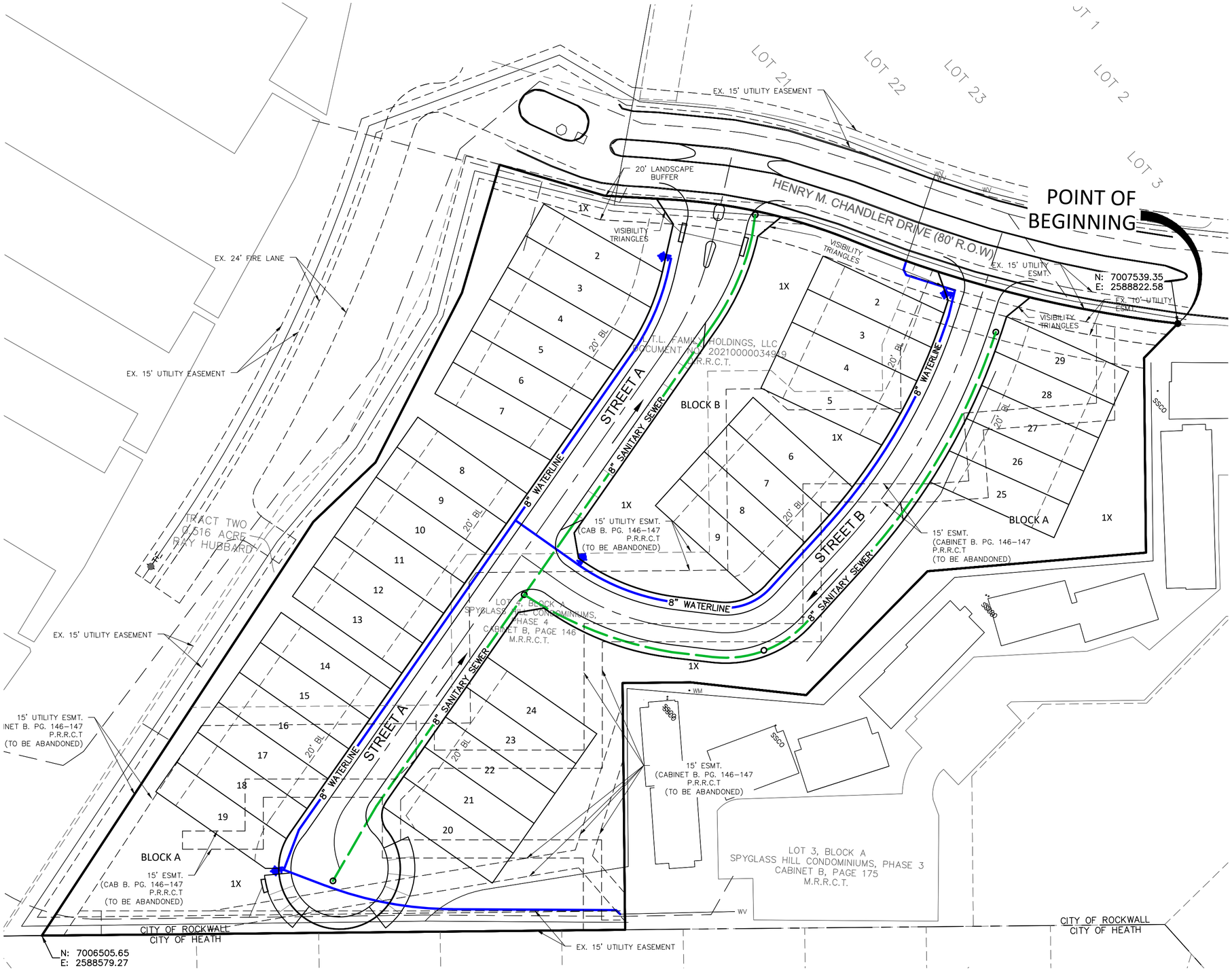

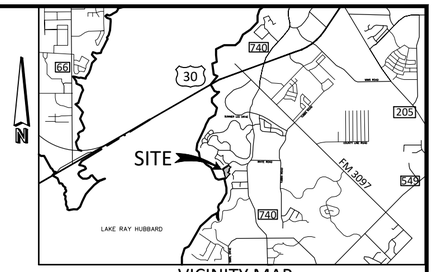

VICINITY MAP
N.T.S.

LEGEND

•	Point of Curvature or Tangency on Center Line
●	1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
◉	1/2" IRF (unless otherwise noted)
AC	Acre
BL	Building Line
C1	Curve No.
<CM>	Control Monument
DE	Drainage Easement
DUE	Drainage Utility Easement
Esmt	Easement
L1	Line No.
SF	Square Feet
UE	Utility Easement
VAM	Visibility Easement

D.R.R.C.T.= Deed Records of Rockwall County, Texas

P.R.R.C.T.= Plat Records of Rockwall County, Texas

O.R.R.C.T.= Official Records of Rockwall County, Texas

GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

60 30 0 60 120

SCALE 1" = 60'

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PRELIMINARY UTILITIES

MARINA VILLAGES

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9

36 TOWNHOME LOTS

1.526 AC ROW DEDICATION

OUT OF THE

EDWARD TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

XXX-XX-2021

February 18, 2022

Owner/Applicant:
LTL Family Holdings, LLC
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14918 Mystic Terrace Lane
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Phone: 713-325-4294

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704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, *Planner*
DATE:	March 15, 2022
SUBJECT:	SP2022-007; *Site Plan for Gideon Grove Phase 2 Subdivision*

The applicant, Meredith Joyce of Michael Joyce Properties, is requesting the approval of a site plan for Phase 2 of the Gideon Grove Subdivision. The subject property is a 30.36-acre tract of land (*i.e. being a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13*) generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard. Currently, Phase 2 of the Gideon Grove Subdivision has been approved for a *Preliminary Plat* [*Case No. P2020-046*] and *Final Plat* [*Case No. P2021-019*], and -- *in accordance with the submittal schedule contained in the Planned Development District* -- the applicant has submitted an application for a *Site Plan*. As part of this site plan application the applicant has submitted a site plan, landscape plan, and hardscape plan.

The site plan indicates that 84 single-family lots and eleven (11) open space lots will be provided in accordance with the requirements of Planned Development District 84 (PD-84). The landscape plan shows that three (3) canopy and four (4) accent trees will be provided per 100 linear feet of frontage along John King Boulevard, one (1) canopy tree will be provided per 50 linear feet of frontage along E. Quail Run Road, and one (1) canopy tree will be provided per 25 linear feet of frontage along Old E. Quail Run Road. Staff should note that the tree mitigation balance identified in the approved treescape plan [*Case No. P2020-046*] has been accounted for in the landscape plan, and the mitigation balance has been satisfied. The hardscape plan details the entry monumentation signage and the fence type for each lot (*i.e. wrought iron fence, wood fence, and a wrought iron fence with masonry columns*) as required throughout the subdivision by the Planned Development District. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 84 (PD-84) and the Unified Development Code (UDC), and based on this the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *March 15, 2021* Planning and Zoning Commission meeting.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-007

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13		
SUBDIVISION	Gideon Grove, Phase 2	LOT	BLOCK
GENERAL LOCATION	ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	ORD. NO. 17-25, PD-84	CURRENT USE	VACANT / AGRICULTURAL
PROPOSED ZONING	ORD. NO. 17-25, PD-84	PROPOSED USE	SINGLE-FAMILY RESIDENTIAL
ACREAGE	30.0.60 AC	LOTS [CURRENT] 1	LOTS [PROPOSED] 84

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Qualico Development (US), Inc.	☐ APPLICANT	Michael Joyce Properties
CONTACT PERSON	John Vick	CONTACT PERSON	Meredith Joyce
ADDRESS	14400 The Lakes Blvd.	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Pflugerville, TX 78660	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	469-659-6150	PHONE	512-694-6394
E-MAIL	john.vick@qualico.com	E-MAIL	meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

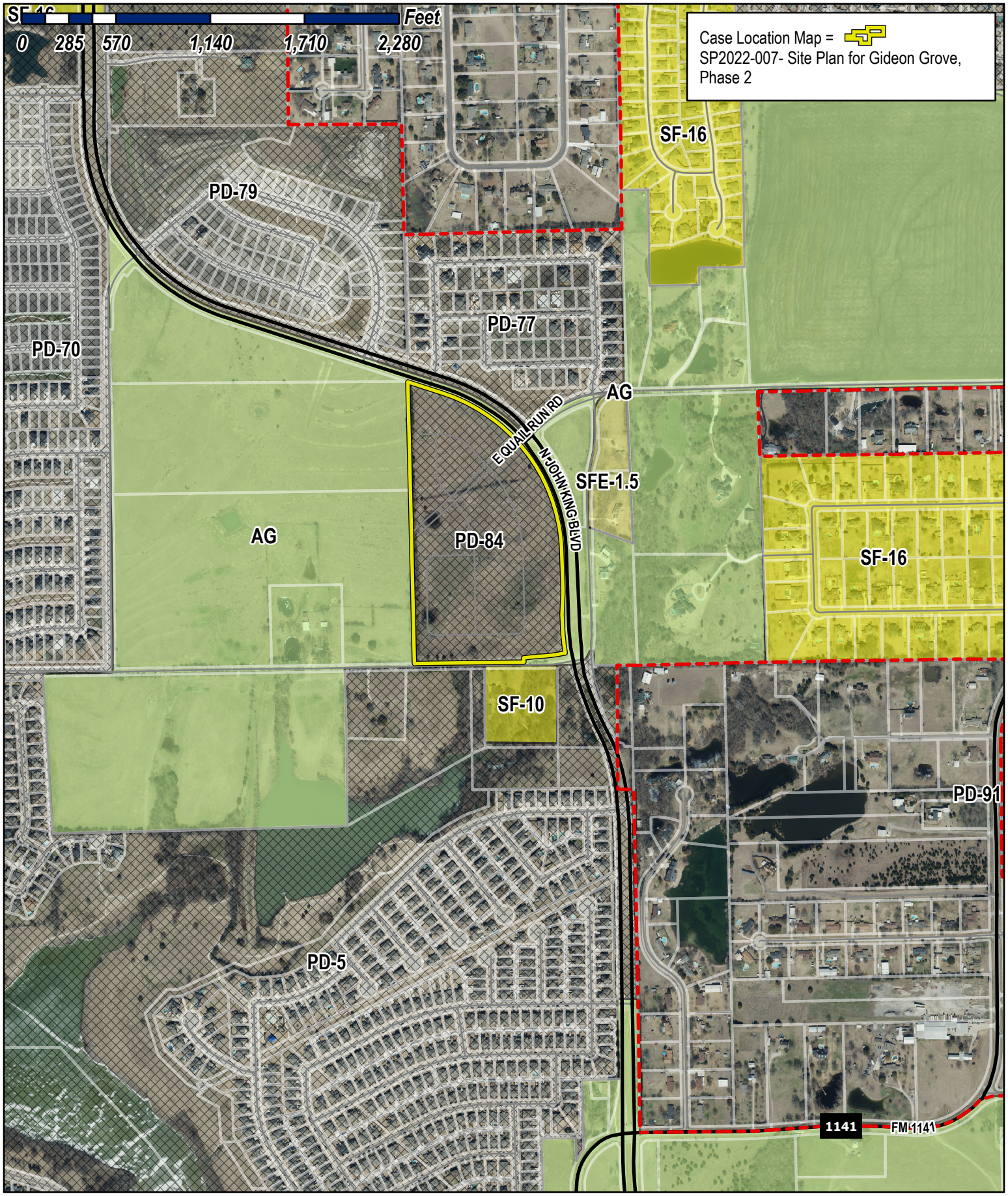
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Madison McCabe

MY COMMISSION EXPIRES

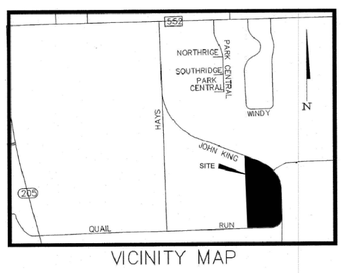
MADISON MCCABE
Notary Public, State of Texas
Comm. Expires 01-08-2024
Notary ID 130489997



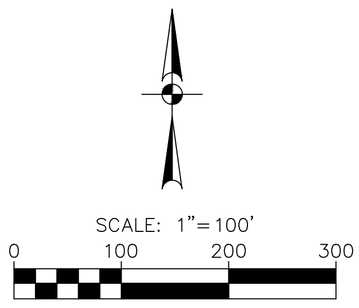
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

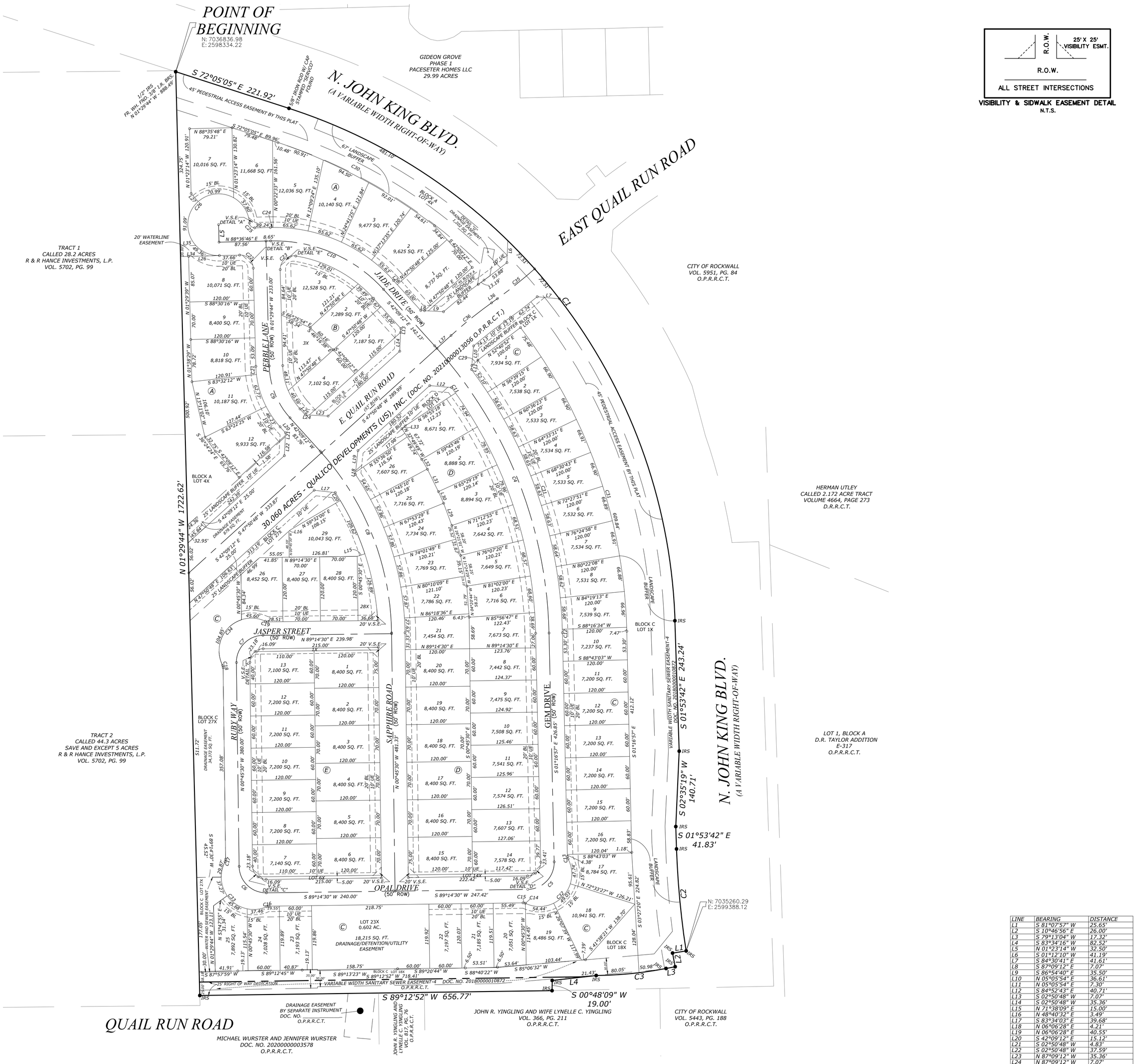
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP
ROCKWALL, TEXAS
NOT TO

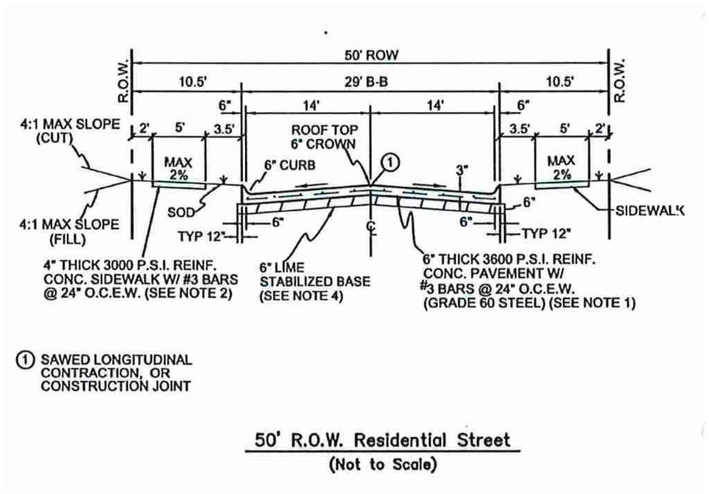


VISIBILITY & SIDWALK EASEMENT DETAIL
N.T.S.

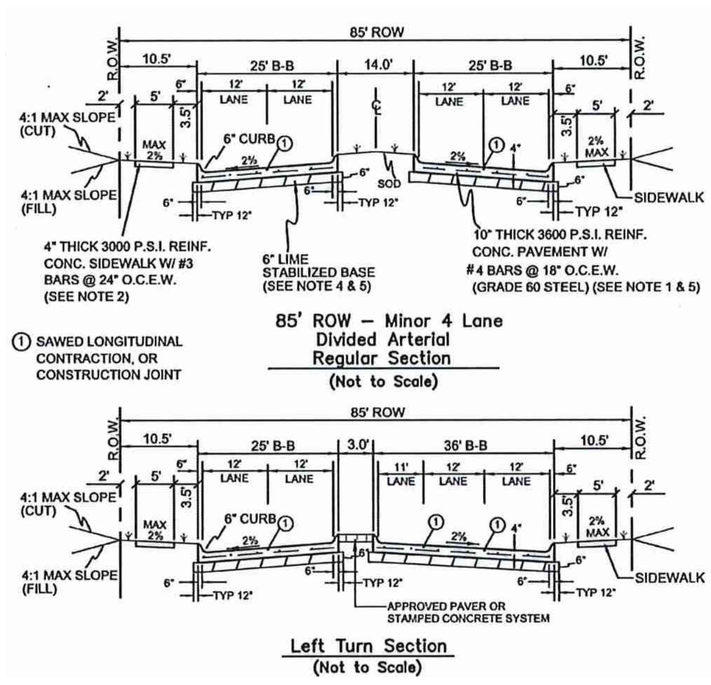


LINE	BEARING	DISTANCE
L1	S 81°07'57" W	25.65'
L2	S 10°46'56" E	26.00'
L3	S 79°13'04" W	17.32'
L4	S 83°34'16" W	82.52'
L5	N 01°23'14" W	32.50'
L6	S 01°12'10" W	41.19'
L7	S 84°30'41" E	41.61'
L8	S 87°09'12" E	7.07'
L9	S 86°54'40" E	35.50'
L10	N 05°05'54" E	36.61'
L11	N 05°05'54" E	7.30'
L12	S 84°52'43" E	40.71'
L13	S 02°50'48" W	7.07'
L14	S 02°50'48" W	35.36'
L15	N 71°38'09" E	15.00'
L16	N 48°40'32" E	3.49'
L17	S 83°34'03" E	39.68'
L18	N 06°06'28" E	4.21'
L19	N 06°06'28" E	40.55'
L20	S 42°09'12" E	15.12'
L21	S 02°50'48" W	4.83'
L22	S 02°50'48" W	37.59'
L23	N 87°09'12" W	35.36'
L24	N 87°09'12" W	7.07'
L25	N 42°09'12" W	15.12'
L26	N 88°30'19" E	57.39'
L27	N 41°25'46" W	20.00'
L28	S 42°09'12" E	10.67'
L29	N 20°21'43" W	44.23'
L30	N 23°49'06" W	23.71'
L31	N 26°05'46" W	46.21'
L32	N 30°13'35" W	21.75'
L33	N 47°50'48" E	7.82'
L34	S 88°30'16" W	72.39'
L35	N 88°30'19" E	29.05'
L36	S 54°23'02" W	13.19'
L37	S 47°50'48" W	35.63'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1274.04'	1040.00'	70°11'23"	S 36°59'23" E	1195.86'
C2	191.03'	1571.00'	6°58'01"	S 05°22'42" E	190.91'
C3	131.03'	742.50'	10°06'40"	S 84°16'24" W	130.86'
C4	588.50'	825.00'	40°52'15"	S 21°43'04" E	576.10'
C5	79.00'	50.00'	90°31'27"	S 43°58'46" W	71.03'
C6	78.54'	50.00'	90°00'00"	N 45°45'30" W	70.71'
C7	78.54'	50.00'	90°00'00"	N 44°14'30" E	70.71'
C8	372.08'	515.00'	41°23'42"	N 21°27'21" W	364.04'
C9	106.44'	150.00'	40°39'28"	N 21°49'28" W	104.22'
C10	236.31'	275.00'	49°14'02"	S 66°46'13" E	229.10'
C11	12.87'	800.00'	0°55'18"	N 36°03'55" W	12.87'
C12	6.55'	850.00'	0°26'29"	N 01°30'12" W	6.55'
C13	4.39'	9.50'	26°28'59"	S 14°31'27" E	4.35'
C14	379.82'	60.50'	359°42'22"	N 64°25'20" W	0.31'
C15	4.39'	9.50'	26°28'59"	N 77°31'01" W	4.35'
C16	3.87'	9.50'	23°20'43"	S 77°34'08" W	3.84'
C17	4.81'	9.50'	28°58'55"	N 13°43'57" E	4.75'
C18	4.35'	9.50'	26°14'39"	N 13°52'50" W	4.31'
C19	4.35'	9.50'	26°14'39"	S 77°38'11" E	4.31'
C20	17.41'	490.00'	2°02'09"	N 32°11'58" W	17.41'
C21	15.17'	175.00'	4°58'04"	S 03°58'46" E	15.17'
C22	39.22'	25.00'	89°53'30"	N 46°26'29" W	35.32'
C23	43.95'	25.00'	100°43'26"	N 48°51'59" E	38.50'
C24	5.30'	300.00'	1°00'41"	S 89°07'06" W	5.30'
C25	14.64'	9.50'	88°17'22"	N 47°14'33" W	13.23'
C26	269.25'	57.50'	268°17'23"	S 42°45'26" W	82.52'
C27	89.19'	850.00'	6°00'42"	S 51°22'41" W	89.14'
C28	96.98'	850.00'	6°32'14"	S 51°06'55" W	96.93'
C29	15.16'	782.50'	1°06'37"	N 47°45'04" E	15.16'
C30	332.03'	1028.88'	18°29'23"	S 62°00'16" E	330.59'
C31	609.84'	970.00'	36°01'19"	S 19°17'36" E	599.85'
C32	151.51'	60.50'	143°29'25"	S 43°58'46" W	114.91'
C33	150.29'	60.50'	142°19'38"	N 42°56'24" W	114.52'
C34	150.46'	60.50'	142°29'18"	N 44°14'30" E	114.57'
C35	850.00'	89.19'	6°00'42"	S 51°22'41" W	89.14'
C36	850.00'	96.98'	6°32'14"	S 51°06'55" W	96.93'



50' R.O.W. Residential Street
(Not to Scale)



85' ROW – Minor 4 Lane
Divided Arterial
Regular Section
(Not to Scale)

Left Turn Section
(Not to Scale)

PAPE-DAWSON ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

PIERCE-MURRAY LAND SOLUTIONS
Engineering ⊕ Surveying
800 TALLYHO CIRCLE
TYLER, TEXAS 75703
(817) 239-5646
(903) 539-2256
TBPLS FIRM REGISTRATION NO. 10194437

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the____ day of _____ , 2022 .

WITNESS OUR HANDS, this____ day of _____ , 2022

Planning & Zoning ommission, hairman ***Director of Planning and Zoning***

OWNER/DEVELOPER
QUALICO DEVELOPERS (US), INC.
14400 THE LAKES BLVD.
PFLUGERVILLE, TX 78660
PHONE: (469) 659-6150
EMAIL: JOHN.VICK@QUALICO.COM
CONTACT: JOHN VICK

PD SITE PLAN
FOR

GIDEON GROVE
PHASE 2

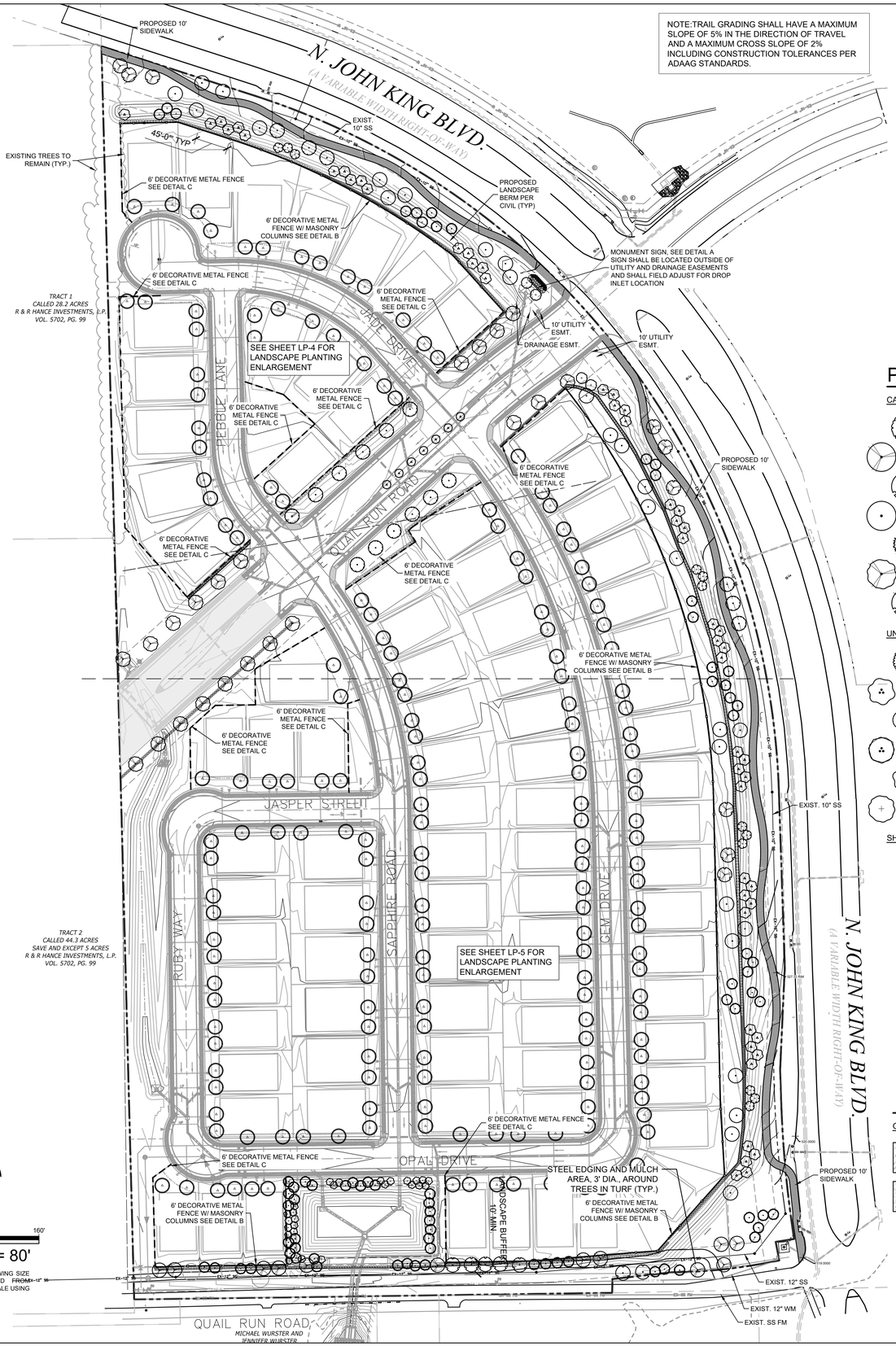
CONTAINING LOTS 1-12, 4X BLK A; LOTS 1-4,1X, 3X BLK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X BLK C; LOTS 1-26, 1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND 12 OPEN SPACE LOTS

BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS.

SP2022-007

Date: Feb 15, 2022, 11:42am User ID: mlasa
File: S:\projects\612\63\01\2.0 Design\2.4 Civil\2.4.4 Exhibits\Site Plan.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



NOTE:TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD

FRONTAGE LENGTH:	2,028 LF
CANOPY TREES REQUIRED:	61 TREES (3 PER 100 LF OF FRONTAGE)
CANOPY TREES PROVIDED:	61 TREES
UNDERSTORY TREES REQUIRED:	82 TREES (4 PER 100 LF OF FRONTAGE)
UNDERSTORY TREES PROVIDED:	82 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)

FRONTAGE LENGTH:	721 LF
CANOPY TREES REQUIRED:	15 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED:	16 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

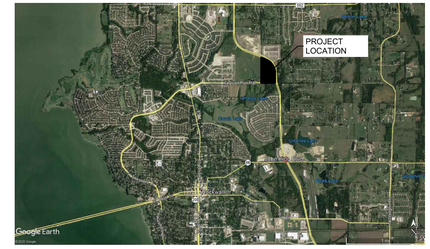
E QUAIL RUN ROAD (SOUTH SIDE)

FRONTAGE LENGTH:	794 LF
CANOPY TREES REQUIRED:	16 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED:	17 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD

FRONTAGE LENGTH:	958 LF
CANOPY TREES REQUIRED:	39 TREES (1 PER 25 LF OF FRONTAGE)
CANOPY TREES PROVIDED:	35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	TD	60	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	UC	21	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10` - 12` HT. MIN.
	UP	9	ULMUS X `HOMESTEAD`	HOMESTEAD ELM	CONT.	4" CAL MIN	10` - 12` HT. MIN.
UNDERSTORY TREES	**CODE**	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**CAL**	**SIZE**
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	3" CAL MIN	6`-8` HT
	CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 3" OVERALL	6`-8` HT MIN
	EVE	12	SOPHORA AFFINIS	EVE`S NECKLACE	CONT.	3" CAL MIN	6-8` HT.
	LI	7	LAGERSTROEMIA INDICA `WATERMELON RED`	CRAPE MYRTLE	CONT.	3-5 CANES, 3" OVERALL	6`-8` HT MIN
	MP	25	PRUNUS MEXICANA	MEXICAN PLUM	CONT.	3" CAL MIN	MIN. 8` HT.
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 3" OVERALL	6`-8` HT MIN
SHRUBS	**CODE**	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**SPACING**	**SIZE**
	BFH	108	ILEX CORNUTA `BUFORDII`	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
	EE	220	ELAEAGNUS X EBBINGEI	ELAEGANUS	5 GAL	48" OC	30" HT MIN
	HS	6	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
	IN	93	ILEX X `NELLIE R. STEVENS`	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
	LC	234	LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
	NP	383	NERIUM OLEANDER `PETITE PINK`	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
	RH	11	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
	SR	73	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH
	TURF	292,616 SF	CYNODON DACTYLON `TIF 419`	BERMUDA GRASS	SOD

_____ _____
Planning & Zoning Commission, Chairman *Date*

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____day of_____, 2022.

_____ _____ _____
MAYOR, CITY OF ROCKWALL *CITY SECRETARY* *CITY ENGINEER*

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT MARY N. BATES 2497 STATE OF TEXAS

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-1

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
   a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
   b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
   c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
   d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
   a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
   i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
   ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
   iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
   b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
   i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
   ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
   iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
   iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
   a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
   b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
   c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
   d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
   a. 1"-2" TREES — TWO STAKES PER TREE
   b. 2-1/2"-4" TREES — THREE STAKES PER TREE
   c. TREES OVER 4" CALIPER — GUY AS NEEDED
   d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
   e. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

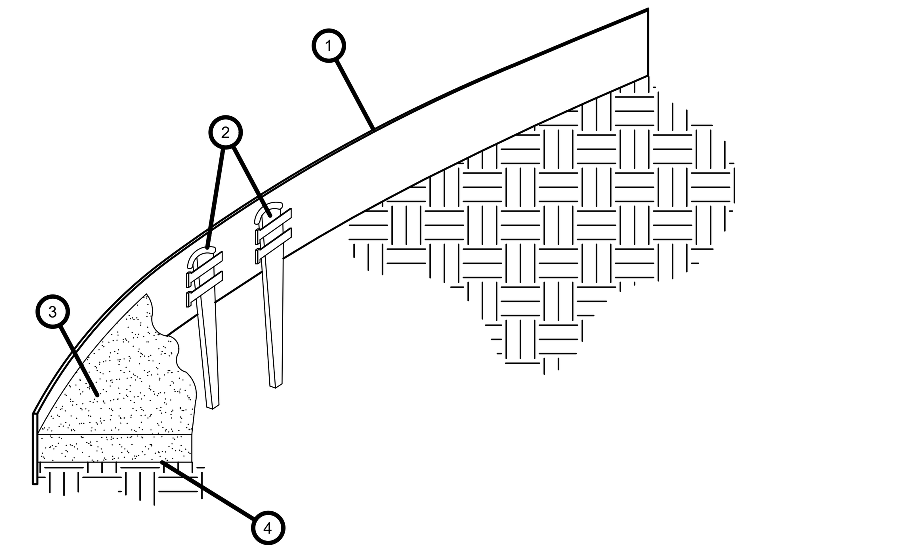
J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
   a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
   b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
   c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

IRRIGATION CONCEPT

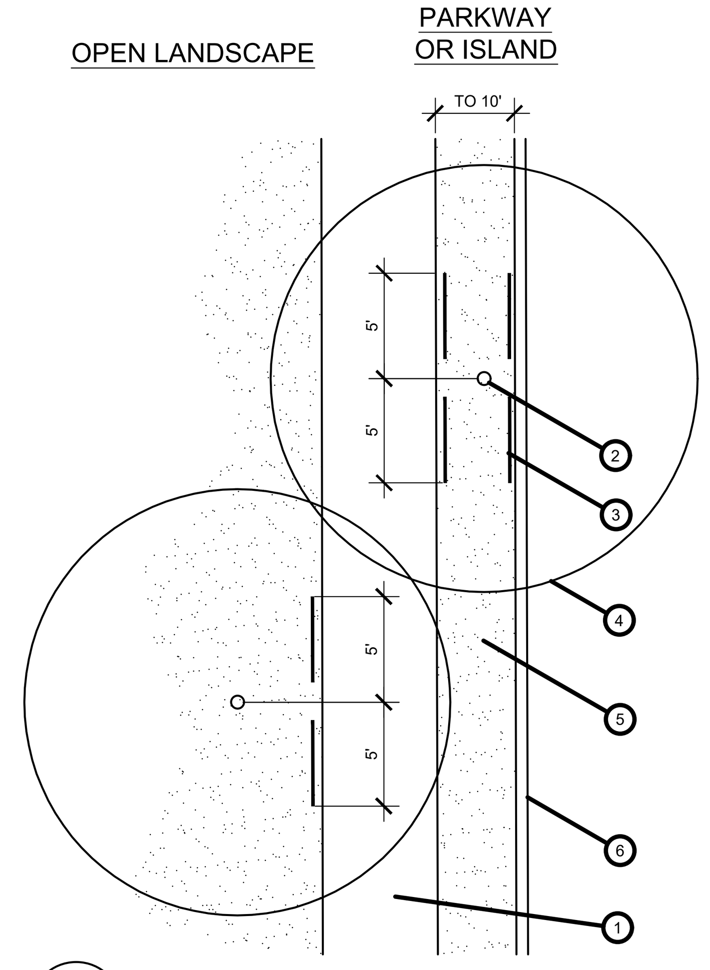
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
SCALE: NOT TO SCALE



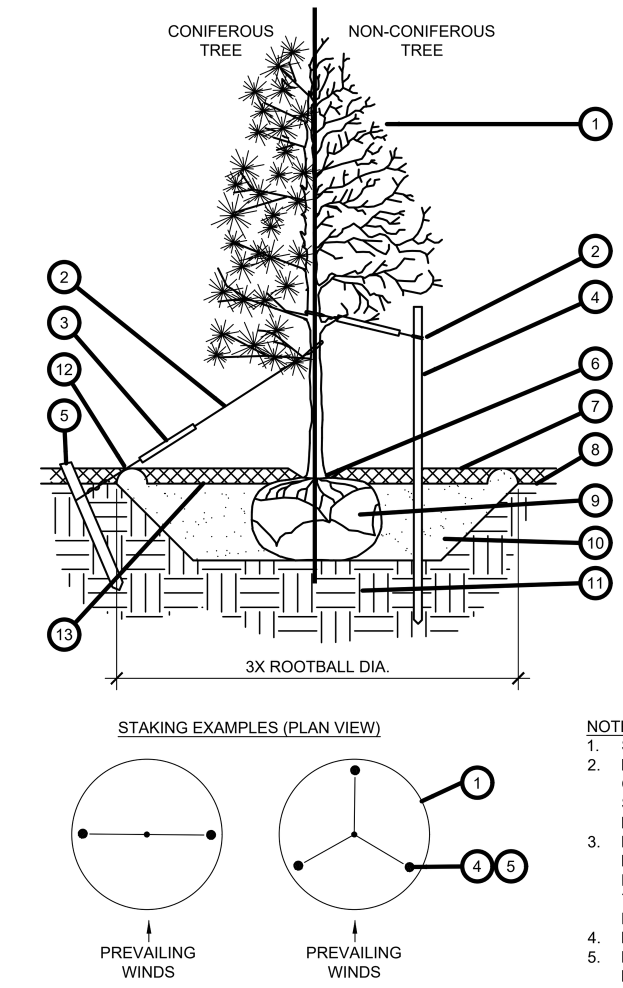
1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

E ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

GENERAL GRADING AND PLANTING NOTES

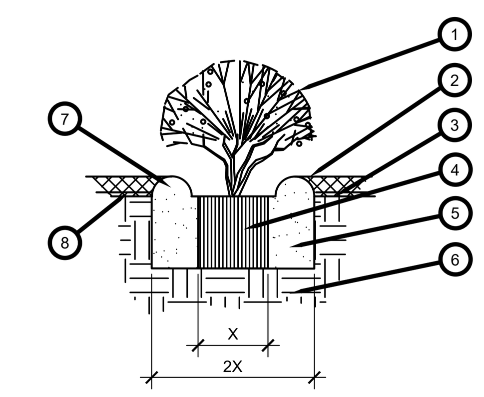
1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

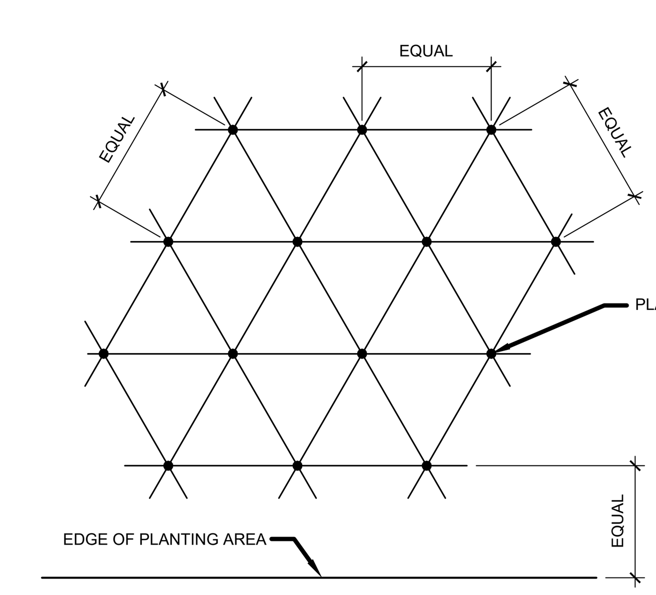
NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF/1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING
SCALE: NTS

Planning & Zoning Commission, Chairman ____ *Date* ____

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WITNESS OUR HANDS, this _________day of_________, 2022.

MAYOR, CITY OF ROCKWALL — *CITY SECRETARY* — *CITY ENGINEER*

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
MARY N. BATES
3613
STATE OF TEXAS
03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

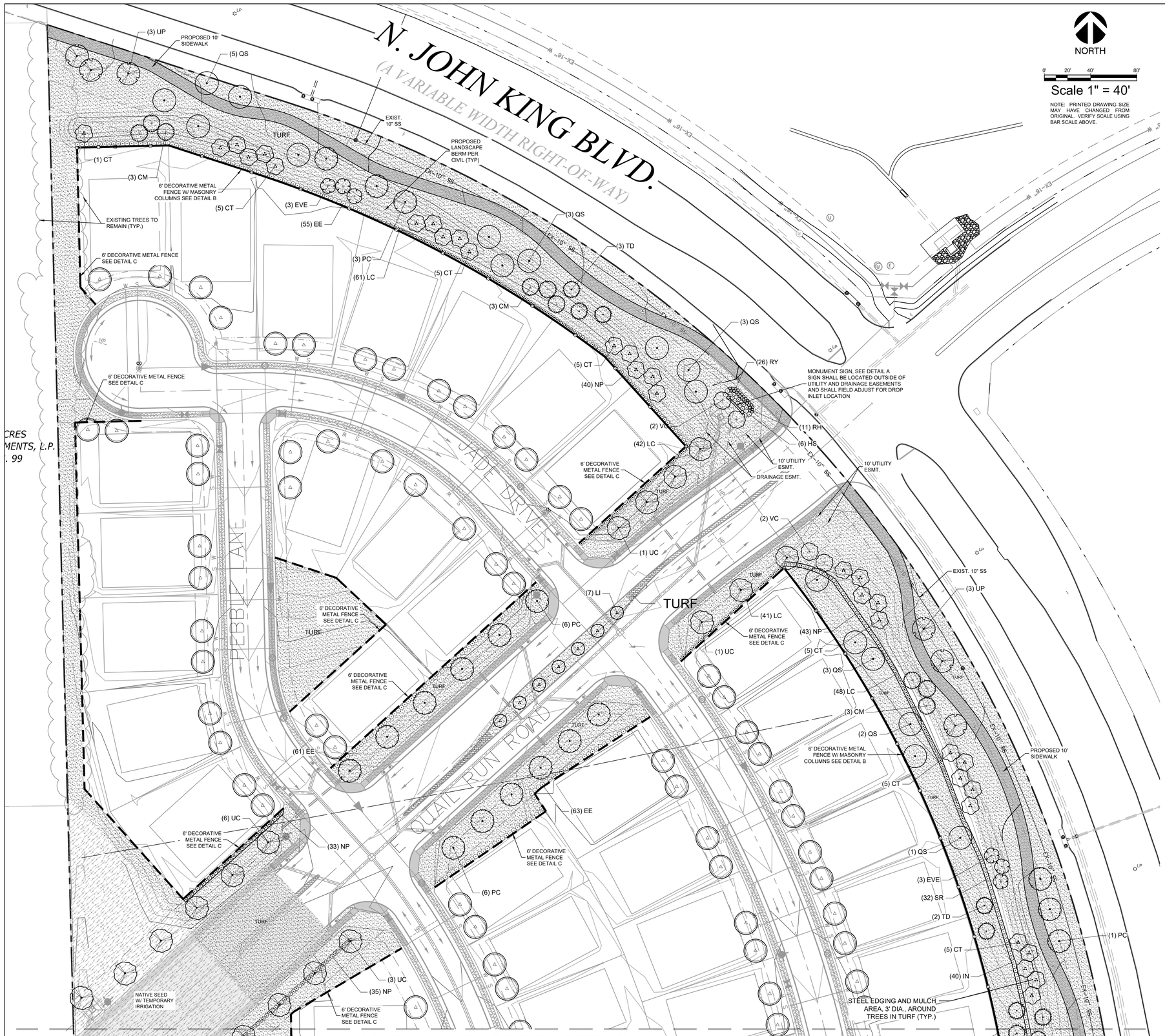
Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE DETAILS & SPECIFICATIONS

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-2



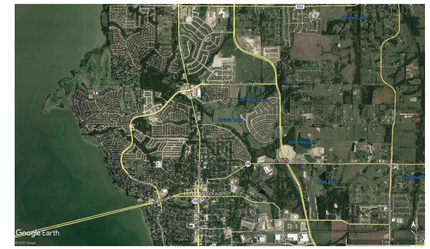
NORTH

0' 20' 40' 80'

Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE:TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

	LOT TREES TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). - TREES MUST BE SELECTED FROM THE FOLLOWING LIST: BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE`S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW	184

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

Planning & Zoning Commission, Chairman *Date*

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15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
TONY N. BATTAGLIA
3576
STATE OF TEXAS

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

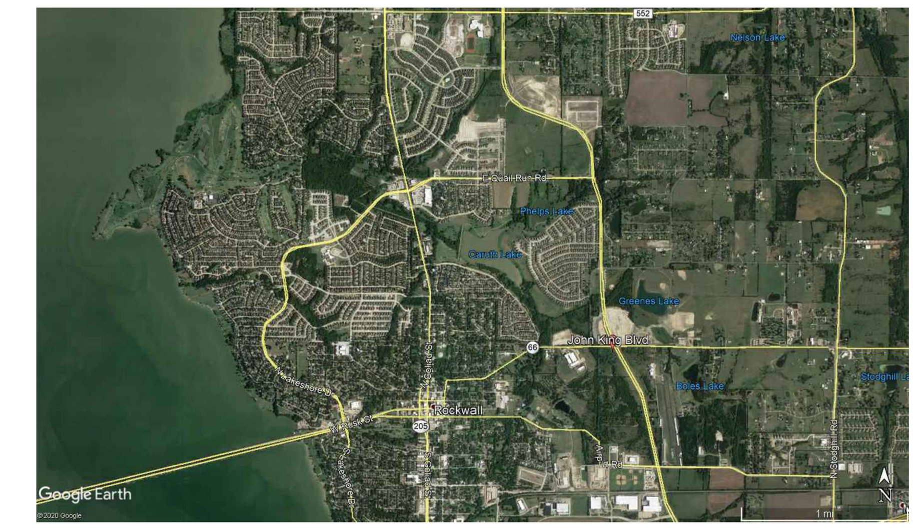
Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-4

MATCHLINE - SEE SHEET LP-4

VICINITY MAP



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REGISTERED LANDSCAPE ARCHITECT MARY N. BATES 3613 STATE OF TEXAS
03/04/2022

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NORTH

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

0' 20' 40' 80'
Scale 1" = 40'

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______________________ Planning & Zoning Commission, Chairman ______________ Date

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MAYOR, CITY OF ROCKWALL *CITY SECRETARY* *CITY ENGINEER*

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

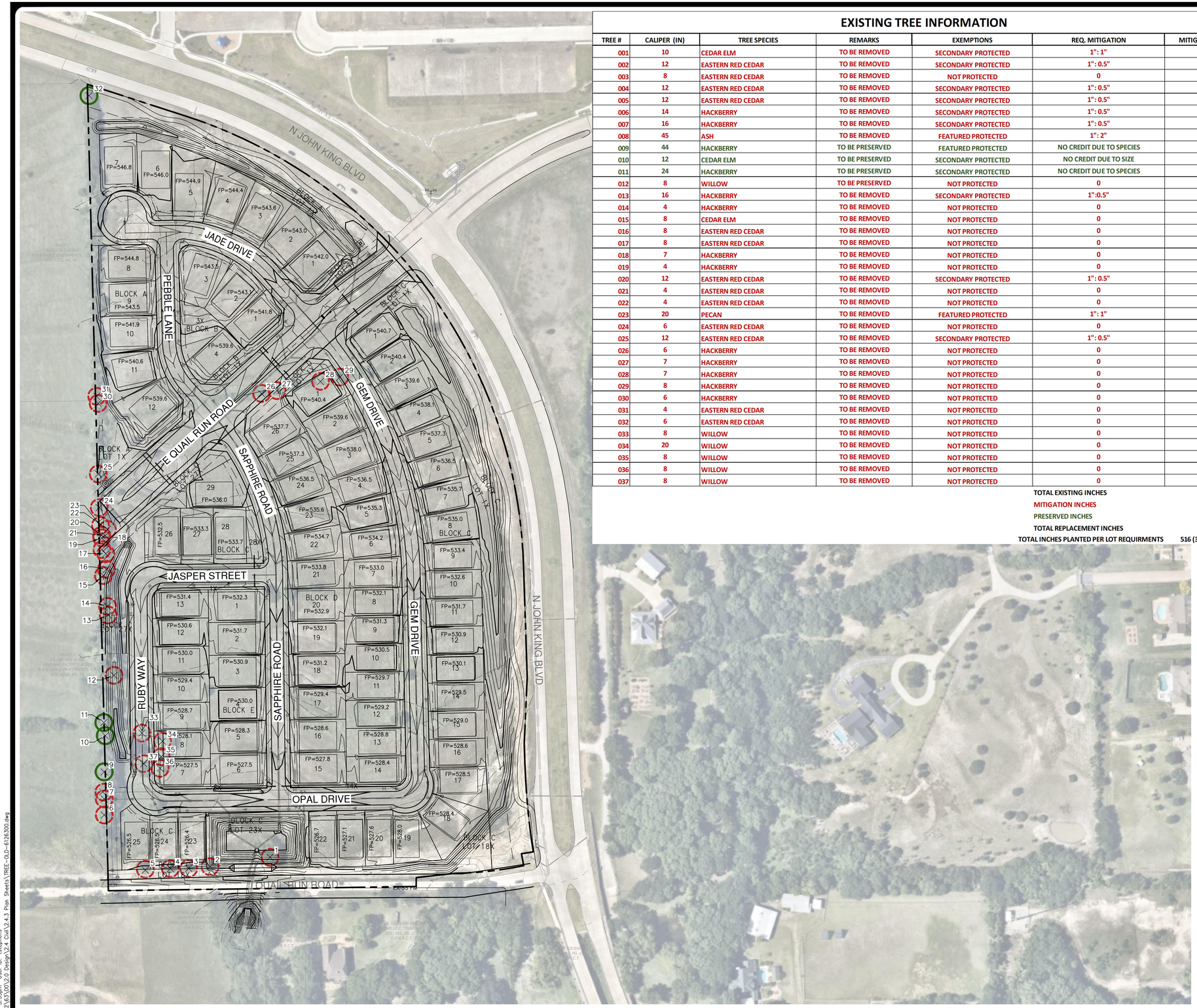
Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-5



EXISTING TREE INFORMATION

TREE #	CALIPER (IN)	TREE SPECIES	REMARKS	EXEMPTIONS	REQ. MITIGATION	MITIGATION INCHES
001	10	CEDAR ELM	TO BE REMOVED	SECONDARY PROTECTED	1": 1"	10
002	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
003	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
004	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
005	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
006	14	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	7
007	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	8
008	45	ASH	TO BE REMOVED	FEATURED PROTECTED	1": 2"	90
009	44	HACKBERRY	TO BE PRESERVED	FEATURED PROTECTED	NO CREDIT DUE TO SPECIES	0
010	12	CEDAR ELM	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SIZE	0
011	24	HACKBERRY	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SPECIES	0
012	8	WILLOW	TO BE PRESERVED	NOT PROTECTED	0	0
013	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1":0.5"	8
014	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
015	8	CEDAR ELM	TO BE REMOVED	NOT PROTECTED	0	0
016	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
017	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
018	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
019	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
020	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
021	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
022	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
023	20	PECAN	TO BE REMOVED	FEATURED PROTECTED	1": 1"	20
024	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
025	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
026	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
027	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
028	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
029	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
030	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
031	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
032	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
033	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
034	20	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
035	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
036	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
037	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0

TOTAL EXISTING INCHES	426
MITIGATION INCHES	173
PRESERVED INCHES	0
TOTAL REPLACEMENT INCHES	173
TOTAL INCHES PLANTED PER LOT REQUIRMENTS	516 (343 EXCEEDED)

SCALE: 1"=100'
0 100 200 300

BENCHMARKS

TBM NO. 1
X-CUT SET IN CONCRETE LOCATED IN THE CENTER OF A CURB INLET IN THE SOUTHWESTERLY CURB LINE OF NORTH JOHN KING BOULEVARD AND BEING +/- 235' SOUTHEST OF THE NORTHWEST CORNER OF THE SUBJECT TRACT AND +/- 535' NORTHWEST OF THE INTERSECTION OF N. JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD
ELEV: 546.16'

TBM NO. 2
X-CUT SET IN CONCRETE LOCATED IN THE CENTER OF A CURB INLET IN THE WEST CURB LINE OF NORTH JOHN KING BOULEVARD AND BEING +/- 662' NORTH OF THE INTERSECTION NORTH JOHN KING BOULEVARD AND WEST QUAIL RUN ROAD AND +/- 723' SOUTHEAST OF THE INTERSECTION OF N. JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD.
ELEV: 530.38'

TREE LEGEND

EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED

TREE REQUIREMENT NOTE

REQUIRED TREE PLANTING:
INTERIOR LOT – 82; 203"/EA; 492"
CORNER LOT – 2; 403"/EA; 24"
TOTAL LOT REPLACEMENT = 516"

UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF THE UTILITY INFORMATION ON THE PLANS. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

RESPONSIBILITY NOTE

ALL RESPONSIBILITY FOR THE ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN.

Planning & Zoning Commission, Chairman *Date*

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MAYOR, CITY OF ROCKWALL *CITY SECRETARY* *CITY ENGINEER*

SP2022-007

NO.	REVISION	DATE

THIS DOCUMENT IS RELEASED FOR "REVIEW PURPOSES" UNDER THE AUTHORIZATION OF ADAM S. REEVES, P.E. #98410 APRIL 15, 2021. IT IS NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

PAPE-DAWSON ENGINEERS
FORT WORTH I SAN ANTONIO I AUSTIN I HOUSTON I DALLAS
6500 W FWY, STE 700 I FT. WORTH, TX 76102 I 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

TREE PLAN

GIDEON GROVE - PHASE 2 TREESCAPE PLAN

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E

PLAT NO. #
JOB NO. 6126300
DATE April 21
DESIGNER JZ
CHECKED ASR DRAWN JZ
SHEET 01

Date: Apr 15, 2021, 3:39pm User ID: tstephens
File: S:\projects\612\63\00\2.0 Design\2.4 Civil\2.4.3 Plan Sheets\TREE-OLD-6126300.dwg

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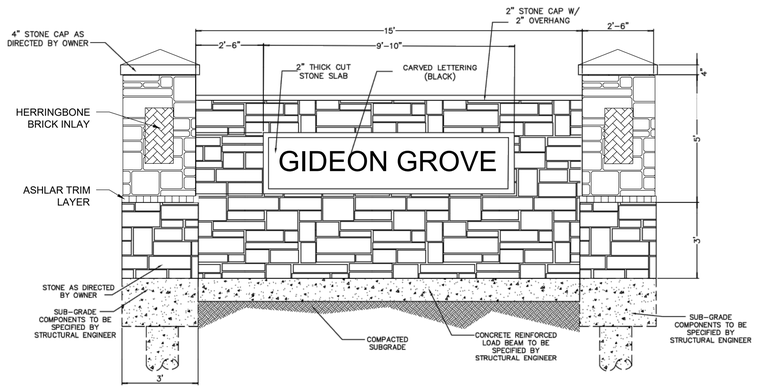
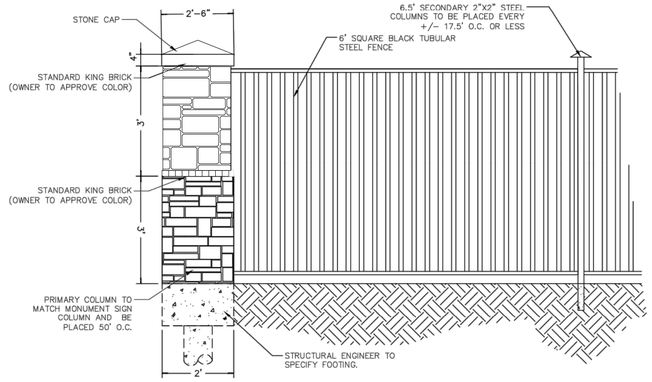


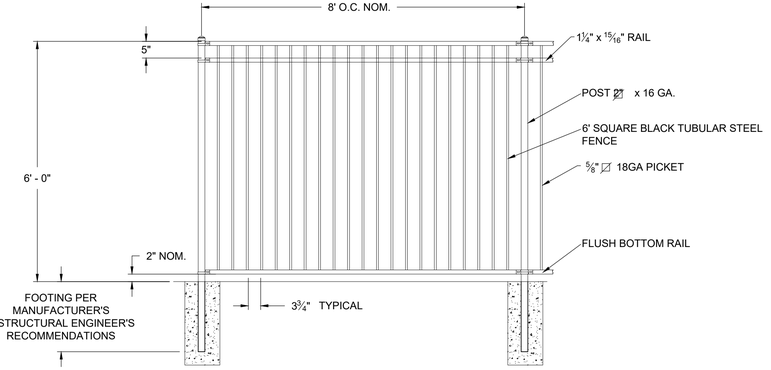
A MONUMENT SIGN DETAIL

NOT TO SCALE



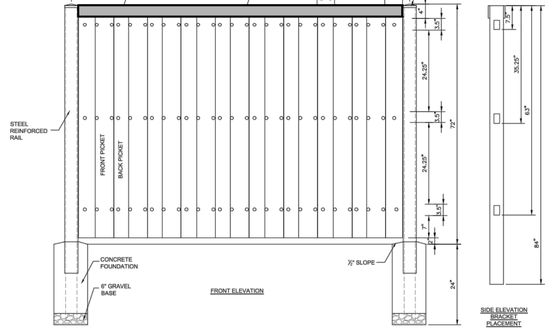
B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN

NOT TO SCALE



C 6' DECORATIVE METAL FENCE

NOT TO SCALE



D 6' WOOD FENCE DETAIL

NOT TO SCALE

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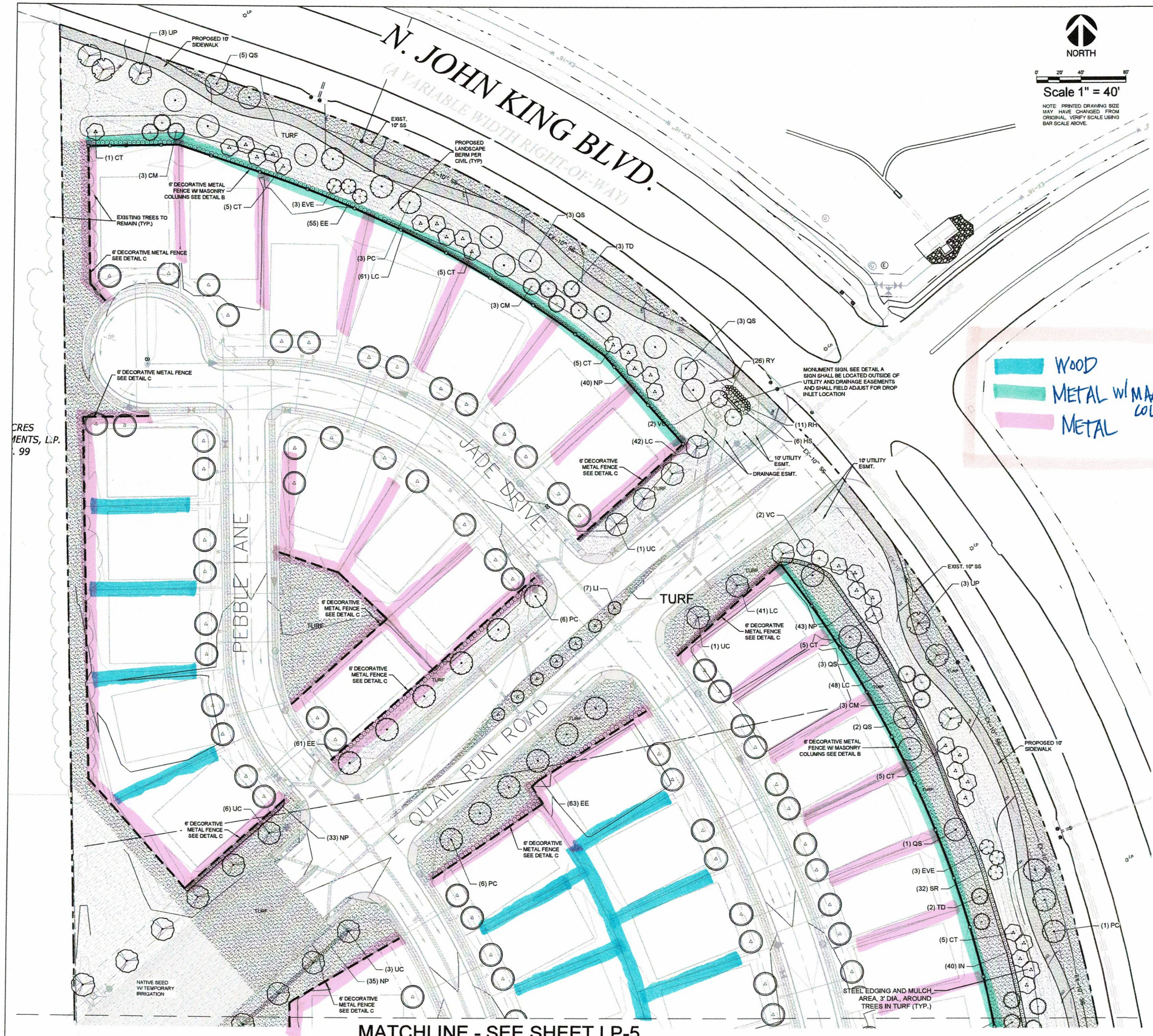
Checked By	MB/RM

LP-3



NORTH

0' 20' 40' 80'

Scale 1" = 40'

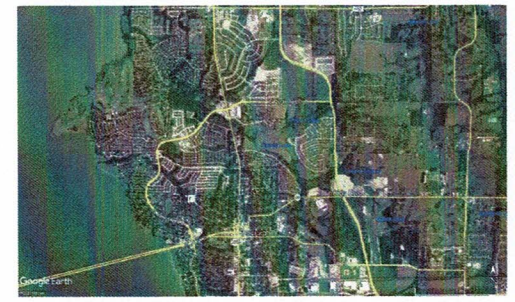
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

WOOD

METAL W/ MAS. COL.

METAL

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE:TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES 184

TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

Planning & Zoning Commission, Chairman *Date*

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL *CITY SECRETARY* *CITY ENGINEER*

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

EVERGREEN DESIGN GROUP
(800) 680-6670
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT — MATTHEW N. BOYLAN — 2613 — STATE OF TEXAS

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

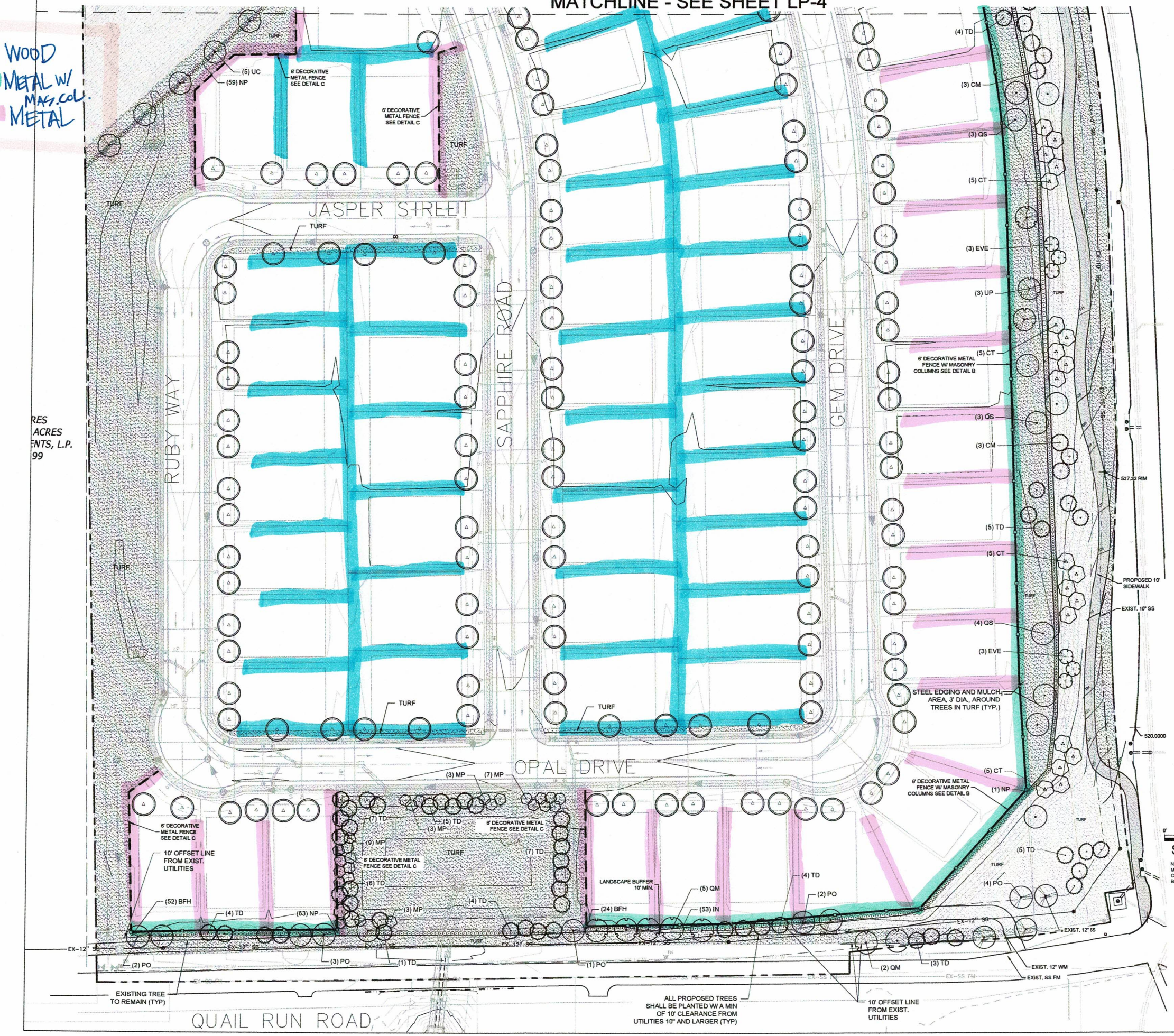
Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-4

WOOD
METAL W/ MAS. COL.
METAL

MATCHLINE - SEE SHEET LP-4



NORTH

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VICINITY MAP

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LOT TREES 184

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-

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SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

Planning & Zoning Commission, Chairman — *Date*

APPROVED:
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WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL — *CITY SECRETARY* — *CITY ENGINEER*

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT MARVIN N. BUTLER 2610 STATE OF TEXAS

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-5

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Bethany Ross, *Planner*
DATE:	March 15, 2022
SUBJECT:	SP2022-008; *Amended Site Plan for EPES Trucking Facility*

The applicant, John Lucia of *JAL Architect Group Inc*., is requesting the approval of an amended site plan for a trucking facility (*i.e. Texas Star Express/EPES Trucking*) for the purpose of adding the *Truck Rental* and *Outside Storage and/or Outside Display* land uses to the subject property. The subject property is located at 2890 S. Goliad Street [*SH-205*] and is zoned Heavy Commercial (HC) District. According to the Rockwall Central Appraisal District (RCAD), the subject property was originally constructed in 1984, with other buildings on the property being constructed in 1994, 2007, and 2013. According to Article 13, *Definitions*, of the Unified Development Code (UDC), these land uses are defined as follows:

(1) *Truck Rental*. The display and rental of new or used heavy commercial vehicles or trucks in operable condition.

(2) *Outside Storage and/or Outside Display*. The permeant or continuous keeping, displaying, or storing of unfinished goods, materials, merchandise, equipment, service vehicles or *heavy vehicles outside of a building on a lot or tract overnight or for more than 24-hours*.

In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) states that both the *Truck Rental* and *Outside Storage and/or Outside Display* land uses are permitted *by-right* on the subject property; however, Section 01.05(E), *Outside Storage*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states that all "(o)utside storage of materials or vehicles shall be screened from all public streets … (t)he screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall … and Canopy Trees on 20-foot centers." The code does allow the Planning and Zoning Commission the authority to approve the use of three (3) tiered screening -- *in accordance with Subsection 05.02(A) of Article 08, Landscape and Fencing Standards, of the Unified Development Code (UDC)* -- in lieu of the masonry wall.

In this case, the applicant is proposing to convert six (6) parking spaces in front of the existing building to outside storage for the proposed *Truck Rental* land use. Since this area is in front of the building and is highly visible from SH-205, staff recommended to the applicant that the three (3) tiered screening method (*i.e. a row of small to mid-sized shrubs, a row of large shrubs or accent tress, and a row of canopy trees*) may be more appropriate and may provide a more appealing aesthetic. Based on staff's suggestion, the applicant has submitted a landscape plan showing the proposed screening; however, the use of three (3) tiered screening to screen outside storage is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *March 15, 2022* Planning and Zoning Commission meeting.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. SP2022-008

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE)
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE)
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE)
- ☐ REPLAT ($300.00 + $20.00 ACRE)
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE)
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE)
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE)
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE)

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00)

NOTES:
1. IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
2. A $1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2890 South Goliad St.
SUBDIVISION: Texas Star Addition — LOT: 1R — BLOCK: 1
GENERAL LOCATION:

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: "HC" Heavy Commercial — CURRENT USE: Penske/EPES Trucking Facility
PROPOSED ZONING: No change Proposed — PROPOSED USE: No change Proposed
ACREAGE: 4.060 — LOTS [CURRENT]: 1 — LOTS [PROPOSED]: 1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	EPE's / PENSKE	☒ APPLICANT	JAL Architect Group Inc.
CONTACT PERSON	Guy Holbert	CONTACT PERSON	John M. Lucio
ADDRESS	5605 N. MacArthur Blvd.	ADDRESS	2695 Villa Creek Dr. Suite 206
CITY, STATE & ZIP	Irving, Tx. 75038	CITY, STATE & ZIP	Dallas, Tx 75234
PHONE	817.674.1513	PHONE	214.435.6257
E-MAIL	Guy.Holbert@Penske.com	E-MAIL	J.Lucio@Jalarchitectgroup.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Guy Holbert [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF Feb, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

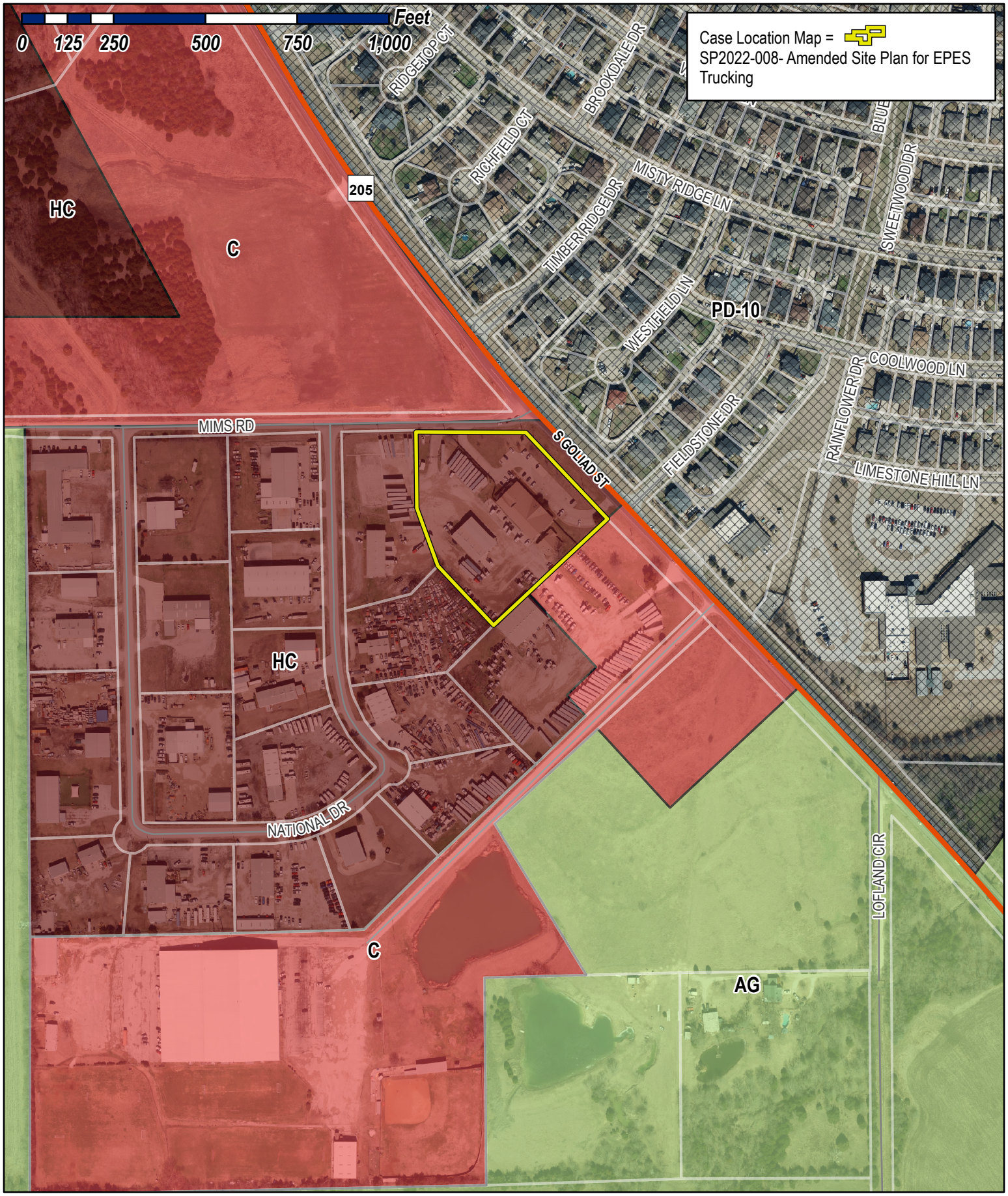
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF Feb, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS DSMcClendon

MY COMMISSION EXPIRES 9.19.2024

DAWN SUZANNE MCCLENDON
Notary ID #8201019
My Commission Expires
September 19, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

PLANNING & ZONING PROPOSED CHANGE(S)

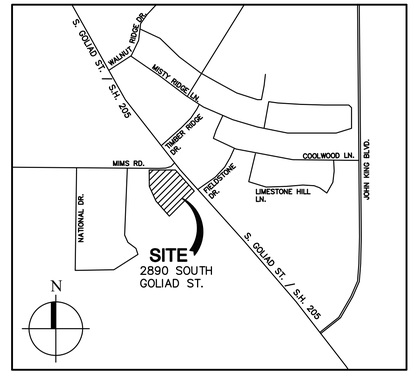
CURRENT FACILITY OWNER IS REQUESTING TO PARK SIX (6) RENTAL TRUCKS IN THE EXISTING FRONT YARD OFF-STRTEET PARKING / DRIVE AREA. THIS PROPERTY IS CURRENTLY ZONED "HC" HEAVY COMMERCIAL. THE EXISTING PROPERTIES ACROSS SOUTH GOLIAD STREET / S.H. 205 ARE "RESIDENTIAL" AND ARE CURRENTLY ZONED "PD-10".

THE NEW LANDSCAPE BUFFER(S) NOTED ALONG THE STREET FRONTAGE OF SOUTH GOLIAD STREET / S.H. 205 AND MIMS ROAD ARE PROPOSED TO ALLOW FOR THE PARKING OF THE PREVIOUSLY NOTED SIX (6) RENTAL TRUCKS.

NOTE:
NO CHANGES ARE PROPOSED TO THE EXISTING ZONING AND OR THE EXISTING TUCKING FACILITY SUPPORT BUILDINGS AND OR ASSOCIATED OFF-STREET PARKING AREAS.

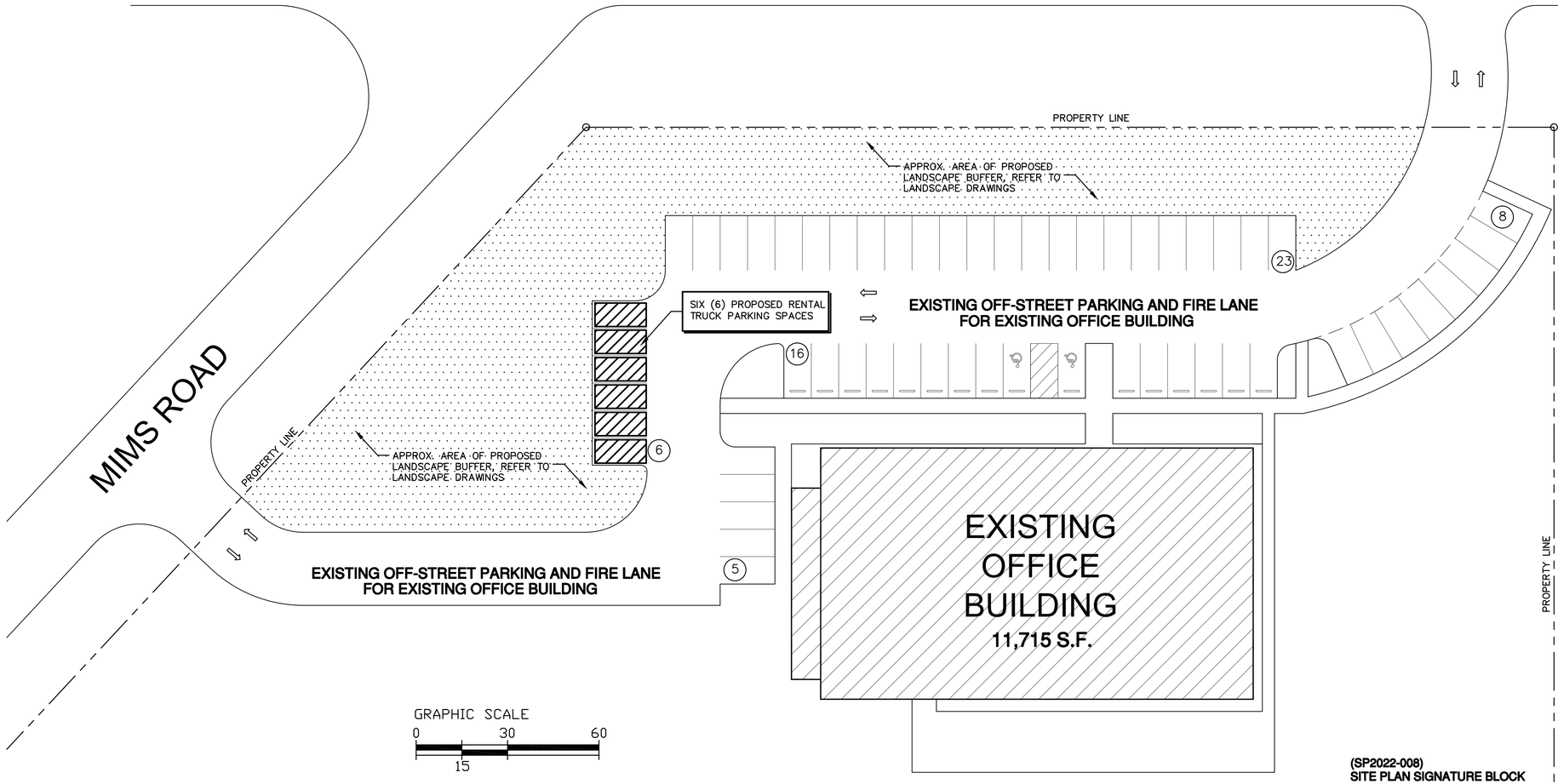
LANDSCAPE BUFFER NOTES

1. NO NEW TREES WILL BE PLANTED WITHIN 10' OF ANY PUBLIC WATER SEWER AND OR STORM DRAIN LINE THAT IS 10" IN DIAMETER OR LARGE.
2. NO NEW TREES WILL BE PLANTED WITHIN 5' OF ANY PUBLIC WATER SEWER AND OR STORM DRAIN LINE THAT IS LESS THAN 10" IN DIAMETER.



VICINITY MAP
N.T.S.

SOUTH GOLIAD STREET / S.H. 205



GRAPHIC SCALE
0 30 60
15

01 PARTIAL ENLARGED SITE PLAN

SCALE: 1/20" = 1'-0"

PROJECT INFORMATION:
EPES / PENSKE
TRUCK FACILITY RENOVATION
2890 SOUTH GOLIAD ST.
ROCKWALL, TEXAS

OWNERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

DEVELOPERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

(SP2022-008)
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the ( ) day of the ( ) month, ( ) year.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PENSKE / EPES TRUCK FACILITY RENOVATION

2890 South Goliad Street, Rockwall, Texas

REGISTERED ARCHITECT
JOHN MICHAEL LUCIO
No. 19491
STATE OF TEXAS

03-04-22

No.	Date	Item

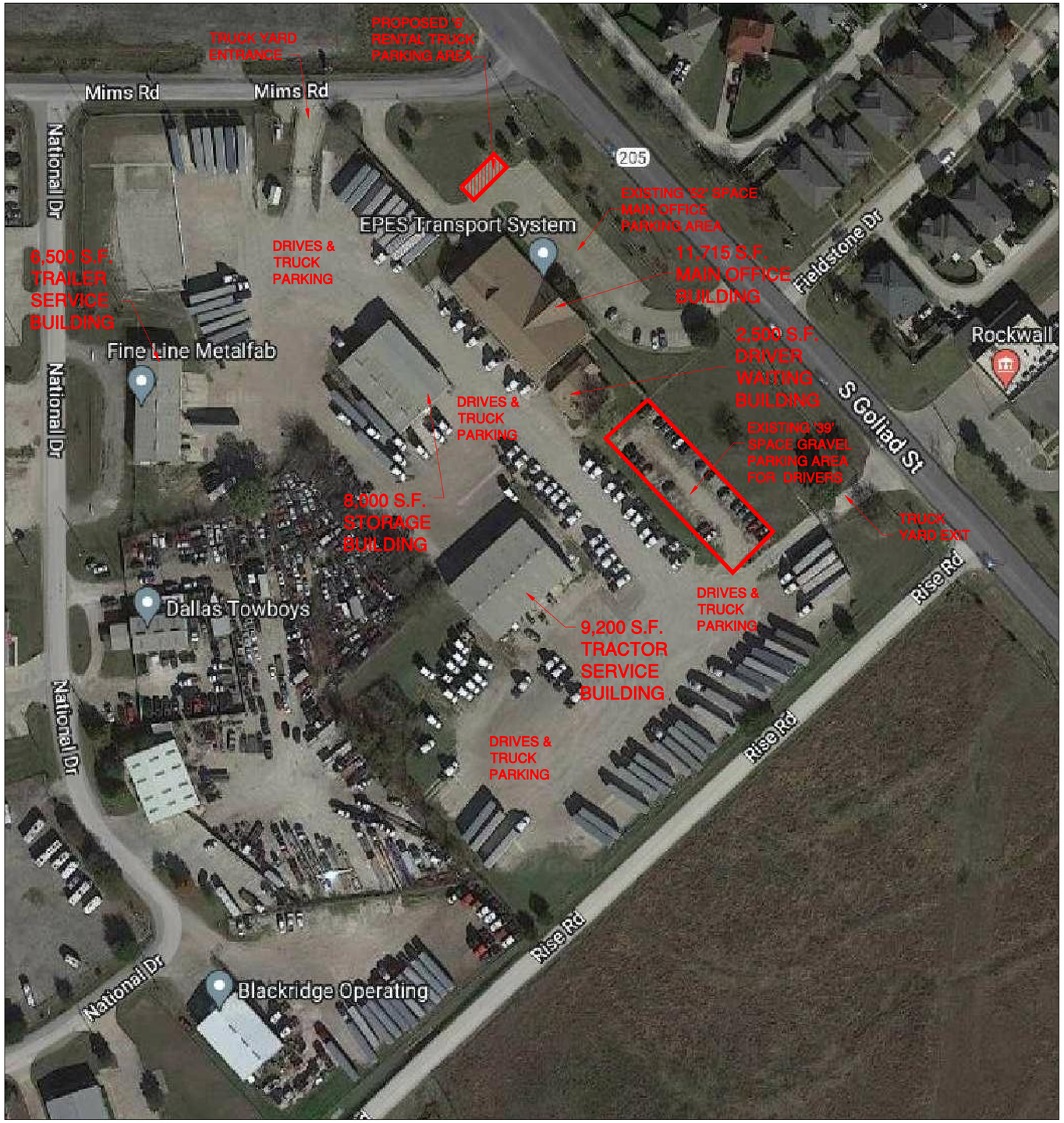
Issued Drawing Log

JAL Architect Group
2695 Villa Creek Dr.
Suite 206
DALLAS, TEXAS 75234
Phone: 972.620.7377
E-Mail: j.lucio@jalarchitectgroup.net

© JAL ARCHITECT GROUP INC. 2022

Drawn
Checked
Project No. 2021006
Issue Date 03-04-22

SHEET
PARTIAL ENLARGED SITE PLAN (SP2022-008)
A1.0



N

01 EPES / PENSKE - OVERALL AERIAL SITE PLAN

GRAPHIC SCALE
0 40 80
20

PARKING ANALYSIS FOR EXISTING MAIN OFFICE / PROPOSED TRUCK RENTAL BLDG. / OFFICE

EXISTING FRONT YARD OFF-STREET PARKING AREA PROVIDES PARKING AREA FOR AN EXISTING 11,715 S.F EXISTING OFFICE BUILDING.

"CITY OF ROCKWALL – TABLE 5: PARKING REQUIRED SCHEDULE, OFFICE BUILDING 1/300 S.F. MIN. PARKING REQUIRED."

EXISTING PARKING REQUIRED FOR EXISTING OFFICE BLDG.: 11,715 S.F. (1/300) = 40

EXISTING STANDARD PARKING SPACES:	= 56
EXISTING HANDICAP PARKING SPACES:	= 02
TOTAL EXISTING PARKING SPACES:	= 58
PROPOSED RENTAL TRUCK PARKING SPACES:	=(06)
TOTAL PARKING REMAINING PARKING SPACES:	= 52

BUILDING AND PARKING INFORMATION FOR EXISTING TRUCKING FACILITY

NOTE: NO CHANGES ARE PROPOSED TO THE EXISTING TUCKING FACILITY SUPPORT BUILDINGS AND OR ASSOCIATED OFF-STREET PARKING AREAS.

EXISTING "TRUCK TRAILER SERVICE BUILDING"	= 6,500 S.F. (APPROX.)
EXISTING "STORAGE BUILDING"	= 8,000 S.F. (APPROX.)
EXISTING "TRUCK TRACTOR SERVICE BUILDING"	= 9,200 S.F. (APPROX.)
EXISTING "TRUCK DRIVER WAITING BUILDING"	= 2,500 S.F. (APPROX.)
EXISTING ON-SITE TRUCK DRIVER PARKING AREA	= 39 PARKING SPACES

PROJECT INFORMATION:

EPES / PENSKE
TRUCK FACILITY RENOVATION
2890 SOUTH GOLIAD ST.
ROCKWALL, TEXAS

OWNERS INFORMATION:

EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

DEVELOPERS INFORMATION:

EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

(SP2022-008)
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the ( ) day of the ( ) month, ( ) year.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PENSKE / EPES TRUCK FACILITY RENOVATION

Rockwall, Texas

2890 South Goliad Street,

REGISTERED ARCHITECT JOHN MICHAEL LUCIO 4949 STATE OF TEXAS

03-04-22

No.	Date	Item

Issued Drawing Log

JAL Architect Group
2695 Villa Creek Dr.
Suite 206
DALLAS, TEXAS 75234
Phone: 972.620.7377
E-Mail: j.lucio@jalarchitectgroup.net

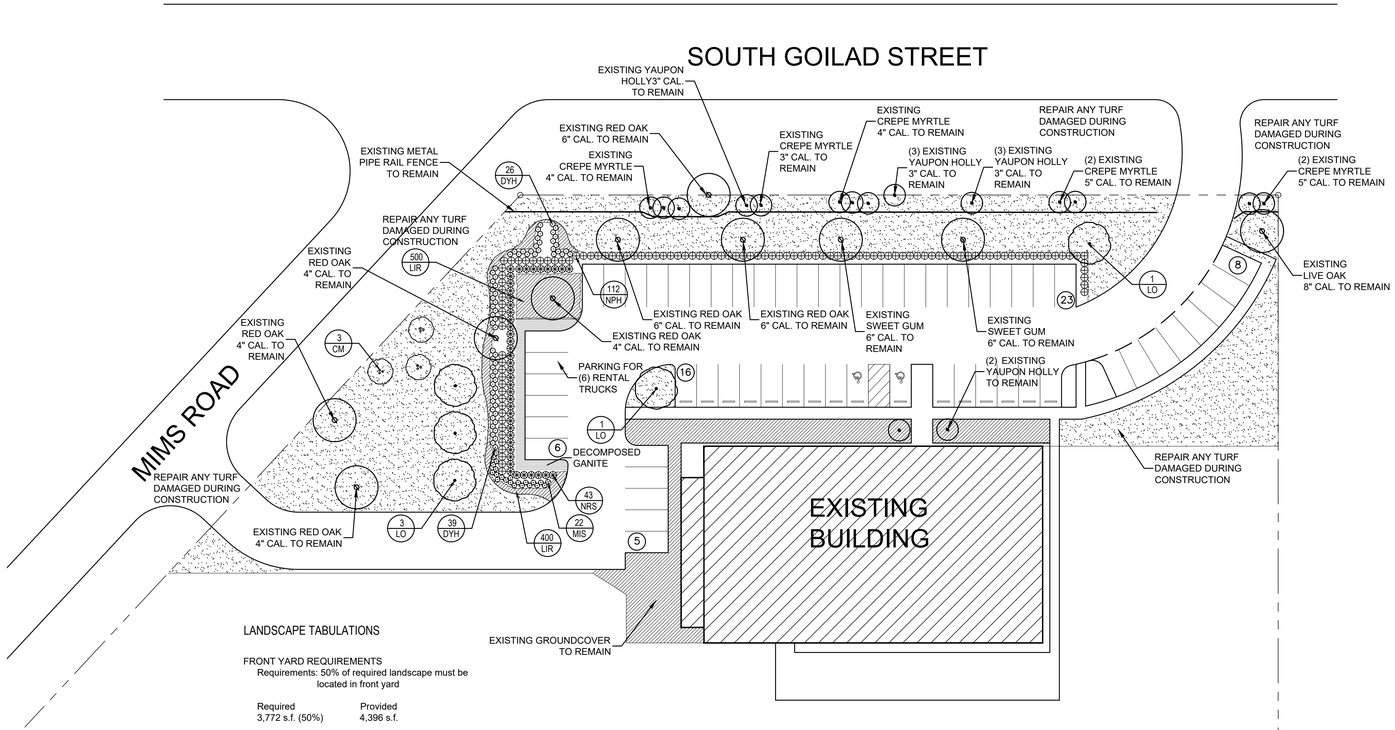
© JAL ARCHITECT GROUP INC. 2022

Drawn
Checked
Project No. 2021006
Issue Date 03-04-22

SHEET

OVERALL AERIAL SITE PLAN (SP2022-008)

A1.1



LANDSCAPE TABULATIONS

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,772 s.f. (50%)	4,396 s.f.

STREET REQUIREMENTS
Requirements: (1) tree 4" cal. per 50 l.f. of frontage
(1) accent tree 4' ht. min per 50 l.f. of frontage

S GOILAD STREET (317 L.F.)

Required	Provided
(6) canopy trees	(1) canopy trees
	(6) existing canopy trees
(6) accent trees	(14 existing accent trees)

MIMS ROAD (166 l.f.)

Required	Provided
(3) canopy trees	(3) existing canopy trees
(3) accent trees	(3) accent trees

PARKING LOT (58 spaces)
Requirements: 5% landscape required for parking lot

Required	Provided
2,515 s.f. (5%)	2,685 s.f.

6- Parking spaces are to be used for rental truck parking. These spaces are screened with 3-tiered screening.

Proposed screening:
6' ht. decorative metal fence
Live Oak trees- 20 l.f. o.c.
Large shrubs (Nellie R. Stevens Holly- 4' ht., 3' o.c.)
Small - Mid size shrubs (Needlepoint Holly- 7 gallon, 36" o.c. and Dwarf Yaupon Holly- 5 gallon, 24" o.c.)

PLANNING & ZONING PROPOSED CHANGE(S)

CURRENT FACILITY OWNER IS REQUESTING TO PARK SIX (6) RENTAL TRUCKS IN THE EXISTING FRONT YARD OFF-STRTEET PARKING / DRIVE AREA. THIS PROPERTY IS CURRENTLY ZONED "HC" HEAVY COMMERCIAL. THE EXISTING PROPERTIES ACROSS SOUTH GOLIAD STREET / S.H. 205 ARE "RESIDENTIAL" AND ARE CURRENTLY ZONED "PD-10".

THE NEW LANDSCAPE BUFFER(S) NOTED ALONG THE STREET FRONTAGE OF SOUTH GOLIAD STREET / S.H. 205 AND MIMS ROAD ARE PROPOSED TO ALLOW FOR THE PARKING OF THE PREVIOUSLY NOTED SIX (6) RENTAL TRUCKS.

NOTE:
NO CHANGES ARE PROPOSED TO THE EXISTING ZONING AND OR THE EXISTING TUCKING FACILITY SUPPORT BUILDINGS AND OR ASSOCIATED OFF-STREET PARKING AREAS.

LANDSCAPE BUFFER NOTES

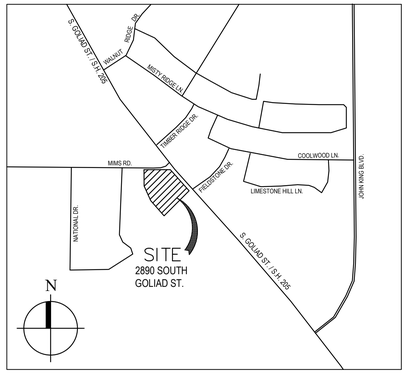
1. NO NEW TREES WILL BE PLANTED WITHIN 10' OF ANY PUBLIC WATER SEWER AND OR STORM DRAIN LINE THAT IS 10" IN DIAMETER OR LARGE.
2. NO NEW TREES WILL BE PLANTED WITHIN 5' OF ANY PUBLIC WATER SEWER AND OR STORM DRAIN LINE THAT IS LESS THAN 10" IN DIAMETER.

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. *ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.*
6. *ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION*
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.



VICINITY MAP

SOLID SOD NOTES

1 FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.

2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT MATERIAL SCHEDULE

TYPE	QTY	COMMON NAME	*BOTANICAL NAME*	SIZE	REMARKS
TREES					
CM	3	Crepe Myrtle	*Lagerstroema indica*	3" cal.	container, 6' ht., 3 or 5 trunks, tree form
LO	2	Live Oak	*Quercus virginiana*	4" cal.	container, 13' ht., 5' spread, 5' clear straight trunk
RO	1	Red Oak	*Quercus shumardii*	4" cal.	container, 13' ht., 5' spread, 5' clear straight trunk
SHRUBS					
DYH	65	Dwarf Yaupon Holly	*Ilex vomitoria 'nana'*	5 gal.	container, 18" ht., 18" spread, 24" o.c.
MIS	22	Adagio Maiden Grass	*Miscanthus sinensis 'Adagio'*	5 gal.	container full, well rooted, 24" o.c.
NPH	112	Needlepoint Holly	*Ilex x cornuta 'Needlepoint'*	7 gal.	container 36" ht., 30" spread, 36" o.c.
NRS	43	Nellie R. Stevens Holly	*Ilex x 'Nellie R. Stevens'*	10 gal.	container, 4' ht., 36" spread, 36" o.c.
GROUNDCOVERS					
LIR	900	Liriope '419' Bermudagrass	*Liriope muscari* *Cynodon dactylon '419'*	3" pots	container full, well rooted, 12" o.c. Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

THE CITY OF ROCKWALL REQUIRES THAT ALL SHRUBS ARE TO BE A MINIMUM OF 5 GALLONS ALL CANOPY TREES ARE TO E A MINIMUM OF 4 INCH CALIPER AND ALL ACCENT TREES ARE TO BE A MINIMUM OF 4 FEET TALL. ANY CHANGES TO THE PLANT MATERIAL OR PLANT SIZES SPECIFIED IN THE PLANT LIST WOULD REQUIRE CITY APPROVAL.

01 LANDSCAPE PLAN
SCALE 1"=30'-0"
0 15 30 60

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR., SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

PROJECT INFORMATION:
EPES / PENSKE
TRUCK FACILITY RENOVATION
2890 SOUTH GOLIAD ST.
ROCKWALL, TEXAS

OWNERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

DEVELOPERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

(SP2022-008)
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the ( ) day of the ( ) month, ( ) year.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PENSKE / EPES TRUCK FACILITY RENOVATION

Rockwall, Texas

2890 South Goliad Street,

REGISTERED LANDSCAPE ARCHITECT
CHRIS TROMBLEY
2042
STATE OF TEXAS
03.02.2022

No.	Date	Item

Issued Drawing Log

JAL Architect Group
2695 Villa Creek Dr.
Suite 206
DALLAS, TEXAS 75234
Phone: 972.620.7377
EMail: jalarch@jalarchitectgroup.net

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Drawn	SB
Checked	CT
Project No.	2021000
Issue Date	03.02.2022

SHEET

(SP2022-008)

L.1

LANDSCAPE PLAN

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
   a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
   b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
   c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball.
Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
   Clay – between 7-27 percent
   Silt – between 15-25 percent
   Sand – less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.

B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.

B. Staking Material for Shade Trees:

1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green.
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color: Black.

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.

1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material

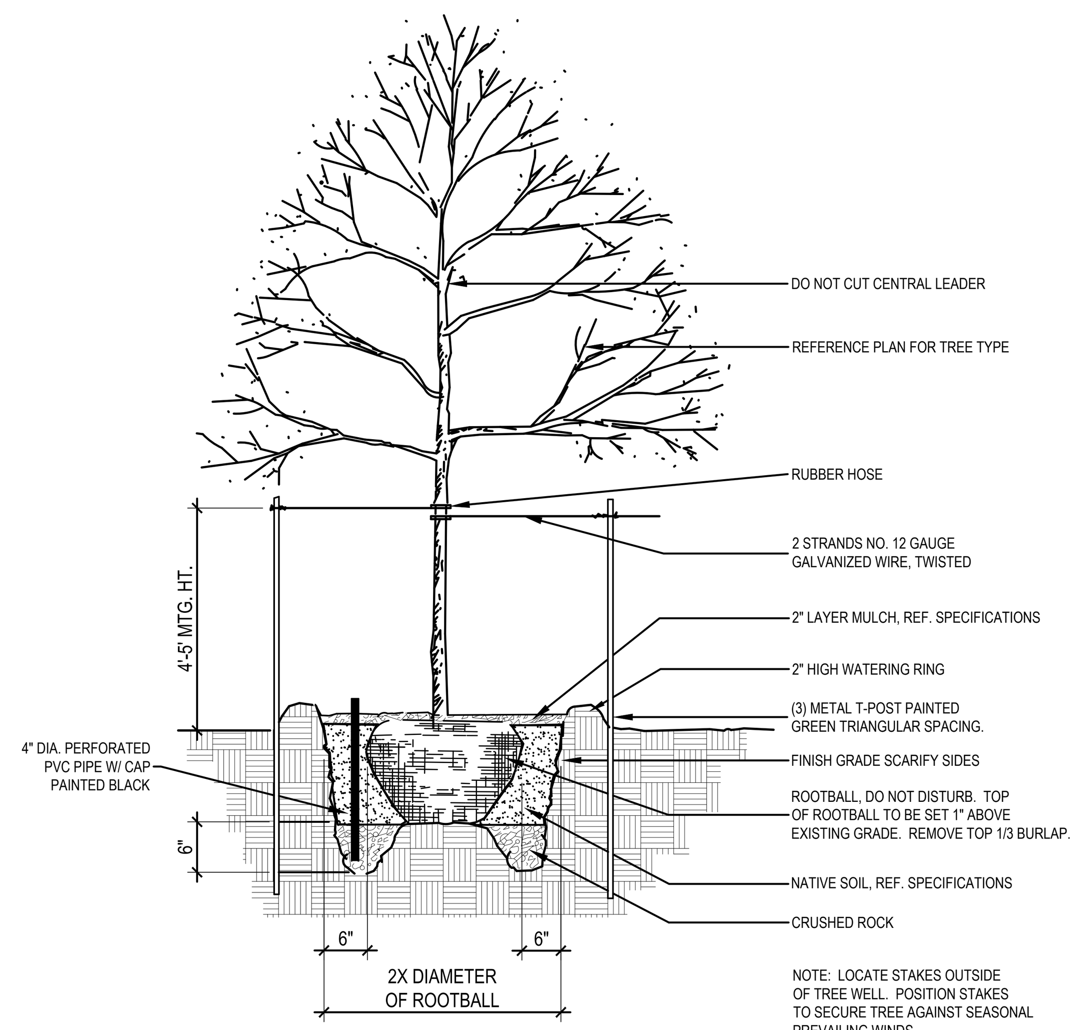
Q. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 3/4" maximum height above grade.
1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
2. Do not install steel edging along sidewalks.
3. Cut steel edging at 45 degree angle where edging meets sidewalk.

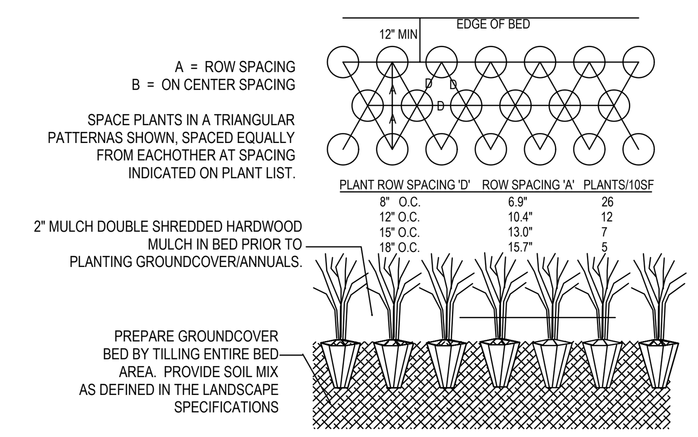
3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

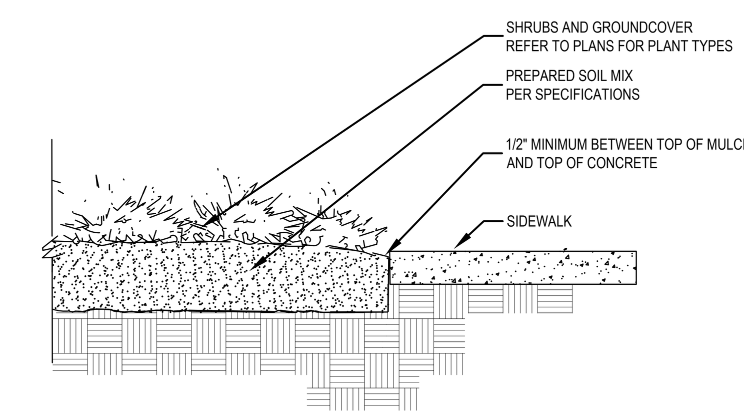
END OF SECTION



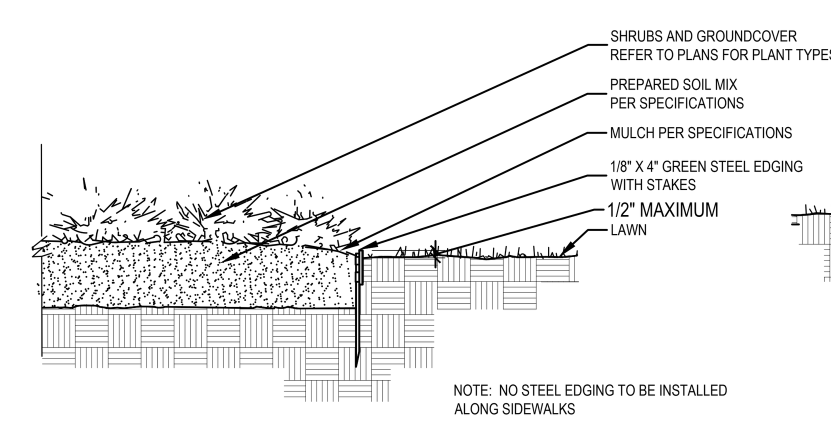
01 TREE PLANTING DETAIL
NOT TO SCALE



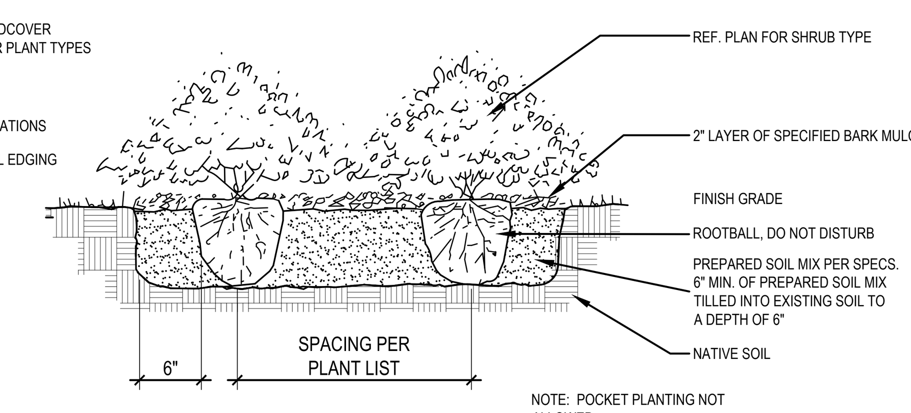
02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
no steel along sidewalks
NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR., SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

(SP2022–008)
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the ( ) day of the ( ) month, ( ) year.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

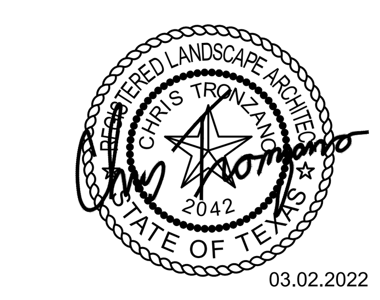
PROJECT INFORMATION:
EPES / PENSKE
TRUCK FACILITY RENOVATION
2890 SOUTH GOLIAD ST.
ROCKWALL, TEXAS

OWNERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

DEVELOPERS INFORMATION:
EPES / PENSKE
CONTACT: GUY HOLBERT
5605 N. MAC ARTHUR BLVD.
IRVING, TX, 75038
PHONE: 817-674-1513

PENSKE / EPES TRUCK FACILITY RENOVATION

2890 South Goliad Street, Rockwall, Texas



03.02.2022

No.	Date	Item

Issued Drawing Log

JAL Architect Group

2695 Villa Creek Dr.
Suite 206
DALLAS, TEXAS 75234

Phone: 972.620.7377
EMail: jalarch@jalarchitectgroup.net

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Drawn SB
Checked CT
Project No. 2021000
Issue Date 03.02.2022

SHEET

(SP2022-008)

L.2

LANDSCAPE SPECIFICATIONS

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Matt Wavering; *Rockwall Economic Development Corporation*
CASE NUMBER:	Z2021-014; *Zoning Change (PD-73 to LI) for Rockwall Technology Park Addition*

SUMMARY

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69* [*Case No. A1985-002*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's *Historic Zoning Maps*, at some point between December 3, 1985 and December 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. The subject property remained zoned Light Industrial (LI) District until March 2, 2009, when the City Council adopted *Ordinance No. 09-09* [*Case No. Z2008-028*] creating Planned Development District 73 (PD-73). Under this Planned Development District, the property was subject to the development requirements of the Commercial (C) District with limited Commercial (C) District land uses being permitted. The subject property remains zoned Planned Development District 73 (PD-73) and has been vacant since annexation.

PURPOSE

On February 18, 2022, the applicant -- *Matt Wavering of the Rockwall Economic Development Corporation* -- submitted an application requesting to change the zoning of the subject property from Planned Development District 73 (PD-73) to a Light Industrial (LI) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at the northwest corner of the intersection of SH-276 and Corporate Crossing (*FM-549*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an 8.035-acre parcel of vacant land (*i.e. Lot 7, Block A, Rockwall Technology Park Addition*). Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 5.131-acre parcel of land (*i.e. Lot 3, Block E, Rockwall Technology Park*), which is currently occupied with an ~49,920 SF office/manufacturing building (*i.e. L3 Communications Integrated Systems*). All of these properties are located within Phase 1 of the Rockwall Economic Development Corporation's Technology Park and are zoned Light Industrial (LI) District.

South: Directly south of the subject property is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 11.076-acre vacant tract of land (*i.e. Tract 5*

of the W. H. Baird Survey, Abstract No. 25). Beyond this is Phase 5B of the Lofland Farms Subdivision, which consists of 75 residential lots on 29.77-acres of land. Both of these properties are zoned Planned Development District 45 (PD-45) for General Retail (GR) District and Single-Family 8.4 (SF-8.4) District land uses.

East: Directly east of the subject property is Corporate Crossing, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the following: [*1*] a 3.853-acre vacant tract of land (*i.e. Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186*), [*2*] a two (2) acre parcel of land (*i.e. Lot 1, Block A, Pannell Subdivision*) with a *House of Worship* (*i.e. Church of His Glory*) situated on it, and [*3*] a 1.9811-acre parcel of land (*i.e. Lot 2, Block A, Subway-Gateway-Health Food Store*) with a *General Retail Store with Gasoline Sales* and a *Restaurant with Drive-Through or Drive-In* (*i.e. Subway-Gateway Health Food Store*) situated on it. These properties are all zoned Planned Development District 46 (PD-46) for limited Commercial (C) District land uses.

West: Directly west of the subject property is a 7.128-acre parcel of vacant land (*i.e. Lot 5, Block A, Rockwall Technology Park Addition*). Beyond this Innovation Drive, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 7.696-acre parcel of vacant land (*i.e. Lot 4, Block B, Rockwall Technology Park*). All of these properties are located within Phase 1 of the Rockwall Economic Development Corporation's Technology Park and are zoned Light Industrial (LI) District.

CONFORMANCE TO THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses … [*and*] is intended for industrial parks and larger, cleaner types of industries." In this case, the subject property is owned by the Rockwall Economic Development Corporation (REDC) and is considered to be a part of Phase 1 of the Rockwall Technology Park. Currently, the REDC is planning to use a portion of this property for a regional detention system to serve adjacent properties and to use the other portion of the property to incorporate it with the property directly north of the subject property (*i.e. Lot 7, Block A, Rockwall Technology Park*) to create a larger parcel of land for a future prospect. If rezoned the property would be subject to the density and dimensional requirements for a property in a Light Industrial (LI) District as specified by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

TABLE 1: LIGHT INDUSTRIAL (LI) DISTRICT STANDARDS

Minimum Lot Area	12,500 SF
Minimum Lot Width	100'
Minimum Lot Depth	125'
Minimum Front Yard Setback [1]	25'
Minimum Side Yard Setback [2] & [3]	15' + ½ Height Over 36'
Minimum Rear Yard Setback [2] & [3]	10'
Minimum Between Buildings [2] & [3]	15' + ½ Height Over 36'
Maximum Building Height [4]	60'
Maximum Building Size	*N/A*
Maximum Lot Coverage	60%
Minimum Landscaping	15%

General Notes:

[1]: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.

[2]: Not to exceed 50-feet.

[3]: ½ Height Over 36-feet with a fire rated wall.

[4]: Building height may be increased up to 120-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

If this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the ***Technology District*** and is designated for ***Commercial/Retail*** land uses on the Future Land Use Plan. According to the Comprehensive Plan, ***Commercial/Retail*** land uses are defined as "…single to multi-tenant commercial retail centers along major arterials at key intersections … (i)n certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance with the *Commercial* land use category on all four (4) corners of an intersection; however, this is not necessary in all cases." If this zoning change is approved it would require the Future Land Use Map to be amended to a ***Technology/Employment Center*** designation, which is defined as a "…land use category [*that*] is characterized by employment-oriented businesses, which are generally situated in larger centers (*i.e. Rockwall Technology Park*) with access to key transportation networks." In addition, according to the ***Technology District*** the subject property is located in the City's Technology Park, and according to the *District Strategies* "(t)hese areas should be preserved for larger clean industrial businesses that can help to diversify the City's tax base." Based on this, even though the proposed zoning change does not conform to the Future Land Use Map designation for the subject property, the case appears to warrant approval; however, any changes to the OURHometown Vision 2040 Comprehensive Plan is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff has included a *Condition of Approval* that would change the Future Land Use Map to show the subject property as designated for ***Technology/Employment Center*** land uses as opposed to ***Commercial/Retail*** land uses should this case be approved.

INFRASTRUCTURE

All infrastructure requirements will be dependent on the future development of the subject property.

STAFF ANALYSIS

The proposed zoning change appears to be consistent with many aspects of the OURHometown Vision 2040 Comprehensive Plan, but is not consistent with the Future Land Use Map. Despite this, the applicant's request does appear to have merit when looking at the location, parcel configuration, and zoning designation of the surrounding areas. This coupled with the idea that this area will be used to provide regional detention for other land uses in the City's Technology Park and provide additional area to increase the size of existing vacant parcels that will be used to attract new prospects, makes the proposed zoning change consistent with the City's Economic Development goals and policies contained in the OURHometown Vision 2040 Comprehensive Plan. With all this being said, all zoning case are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2022, staff mailed 102 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lofland Farms Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from Planned Development District 73 (PD-73) to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the draft ordinance; and,

(2) By approving this *Zoning Change*, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a *Commercial/Retail* designation to a *Technology/Employment Center* designation; and,

(3) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS					
SUBDIVISION	Rockwall Technology Park Phase I	LOT	8	BLOCK	A
GENERAL LOCATION	NWC of State Highway 276 & Corporate Crossing				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-73		CURRENT USE	Vacant	
PROPOSED ZONING	Light Industrial		PROPOSED USE	Regional Detention Pond	
ACREAGE	8.008	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Rockwall Economic Development Corporation	☐ APPLICANT	same as owner
CONTACT PERSON	Matt Wavering	CONTACT PERSON	
ADDRESS	2610 Observation Trl	ADDRESS	
	Suite 104		
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	
PHONE	972-772-0025	PHONE	
E-MAIL	mwavering@rockwalledc.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $320.12 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 16th *DAY OF* February, 2022. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

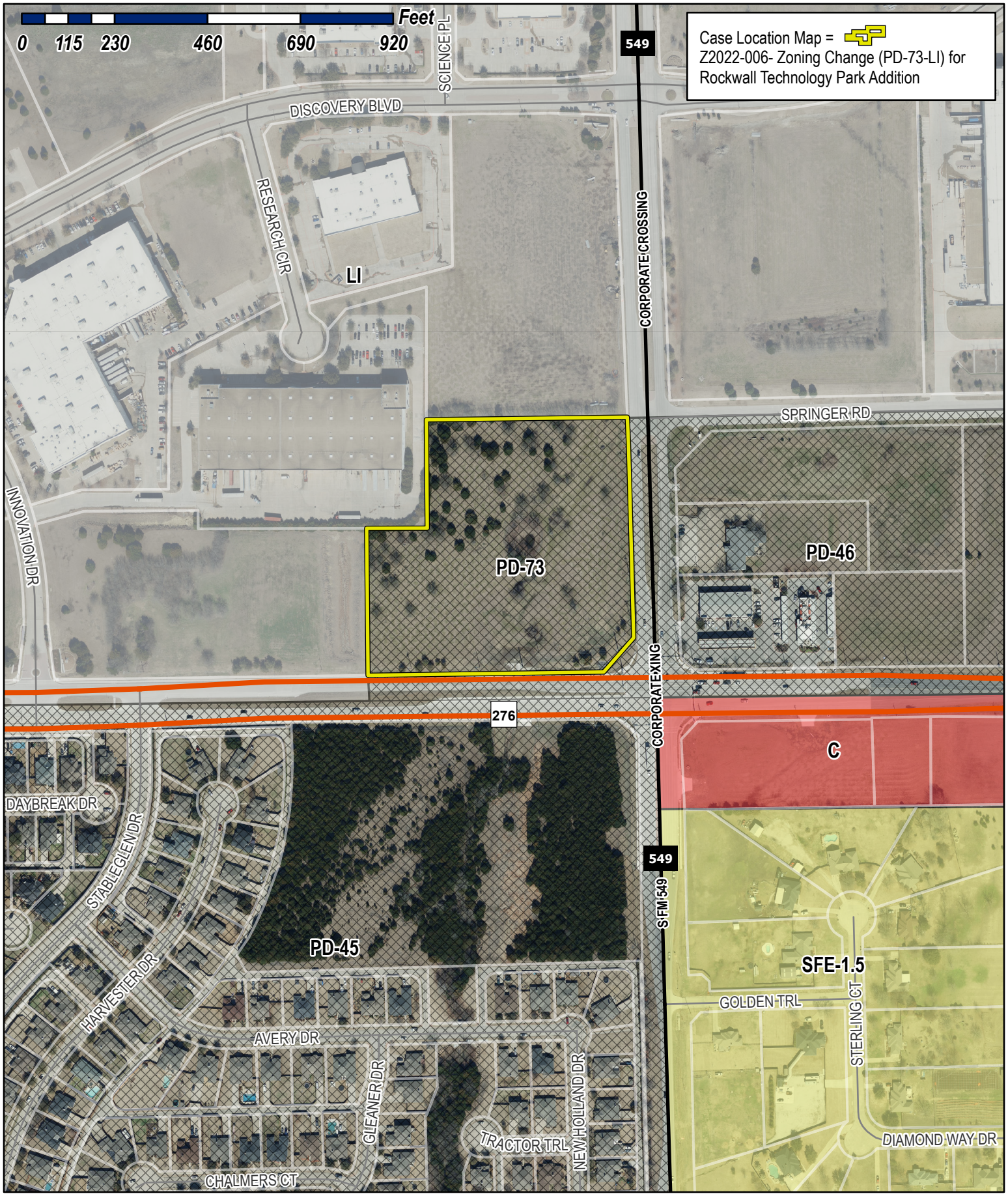
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 *DAY OF* February, 2022

OWNER'S SIGNATURE Matt Wavering

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jennifer Hammonds

JENNIFER L. HAMMONDS
Notary Public, State of Texas
ID # 13230083-8
My Comm. Exp. 06-2024

MY COMMISSION EXPIRES 11/6/24



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

City of Rockwall

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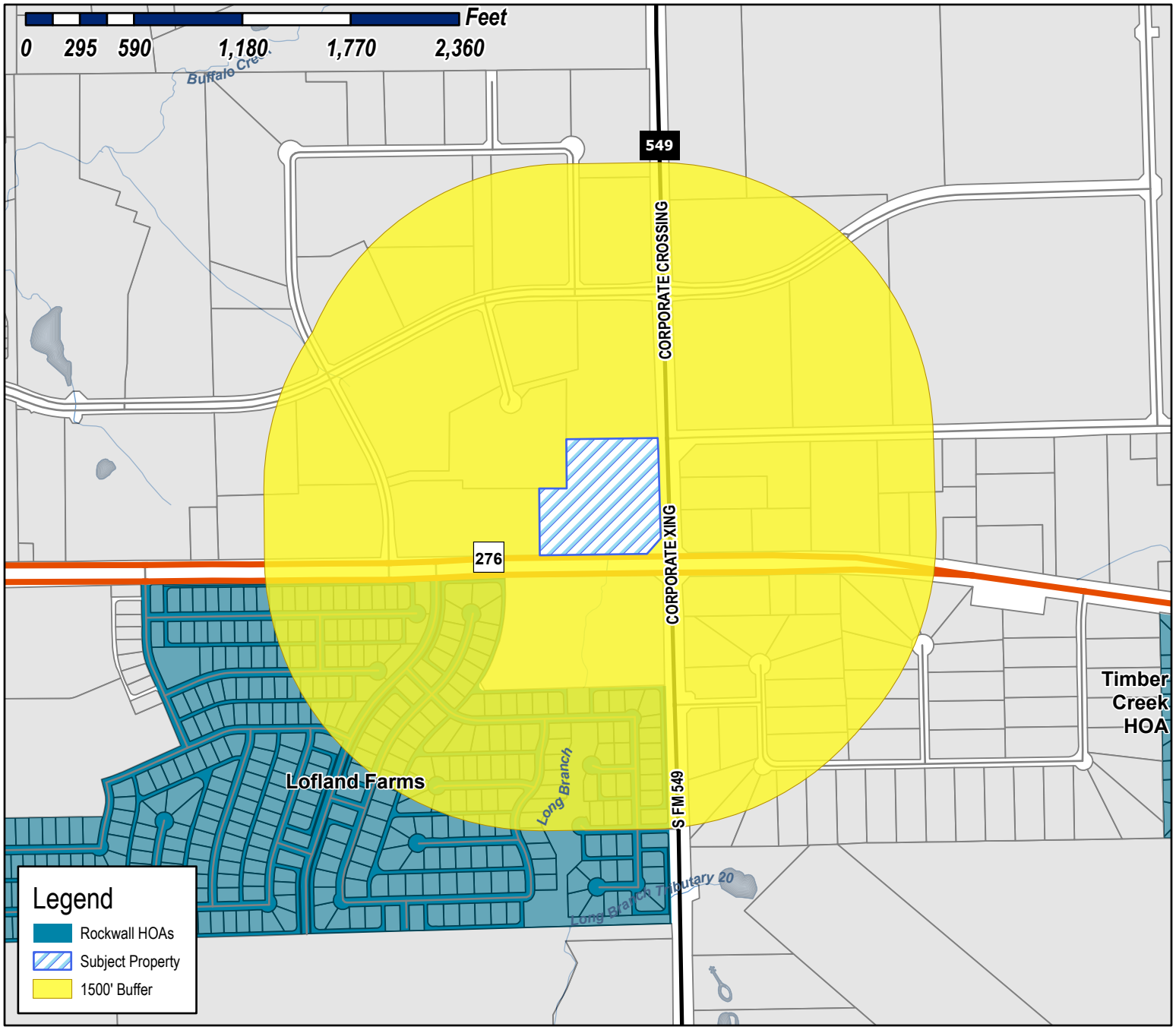
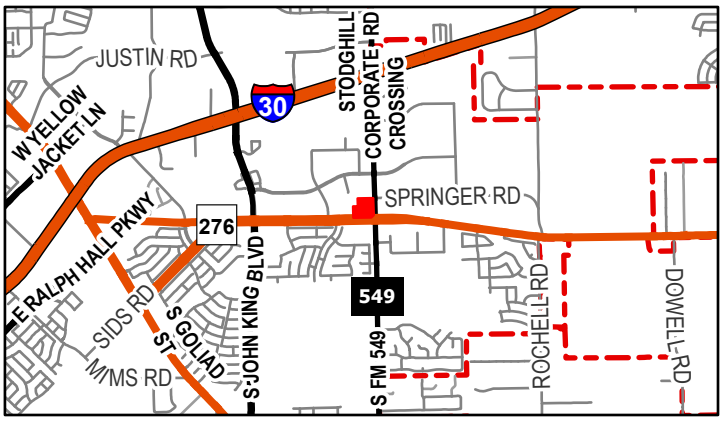


Case Number: Z2022-006
Case Name: Zoning Change from PD-73 to LI
Case Type: Zoning
Zoning: Planned Development District 73 (PD-73)
Case Address: NWC of SH276 & Corporate Crossing



Date Saved: 2/17/2022
For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:25 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-006]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-006 Zoning Change from PD-73 to LI
Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

This email was scanned by Bitdefender

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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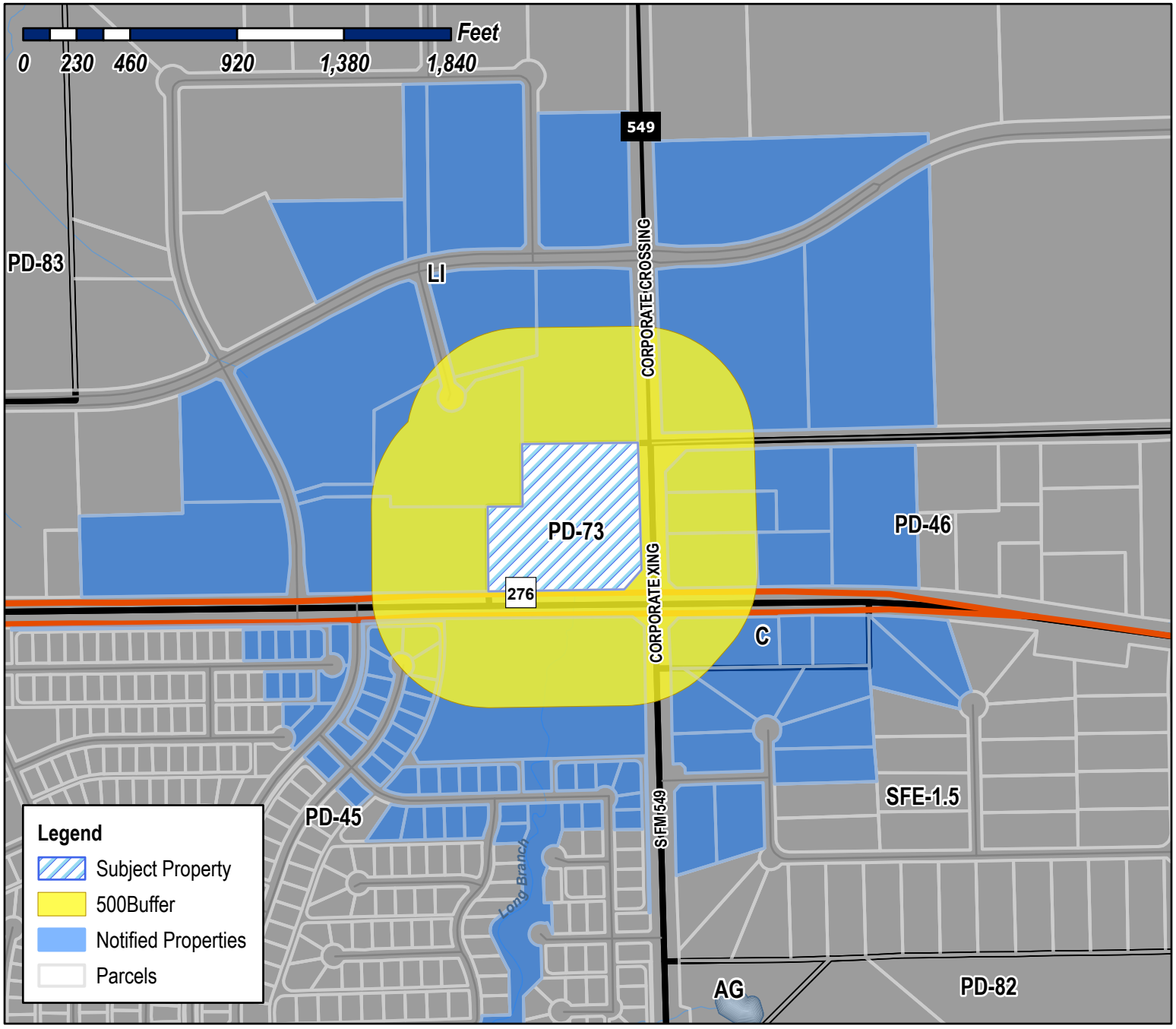

Case Number: Z2022-006
Case Name: Zoning Change from PD-73 to LI
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Zoning: Planned Development District 73 (PD-73)
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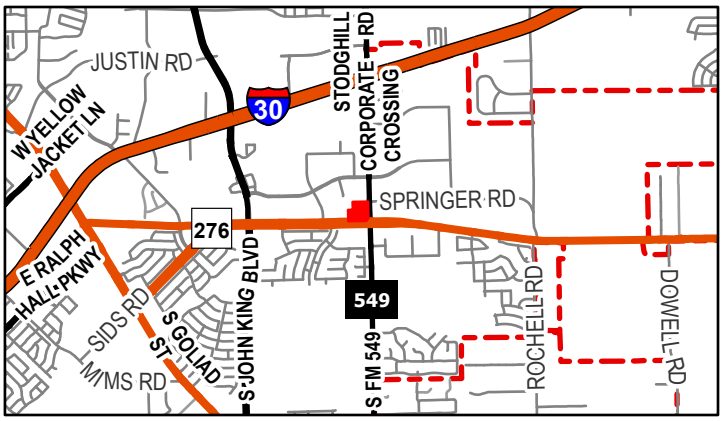


Date Saved: 2/17/2022
For Questions on this Case Call (972) 771-7745

EXETER 2975 DISCOVERY, LP
101 WEST ELM STREET SUITE 600
CONSHOHOCKEN, PA 19428

AINO DALLAS LLC
103 FOULK ROAD, SUITE 900
WILMINGTON, DE 19803

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

JOHNSON ARTHUR JR
1124 CLARENDON CRES
OAKLAND, CA 94610

COAST VILLAGE CAPITAL LLC
1225 COAST VILLAGE ROAD SUITE C
SANTA BARBARA, CA 93108

GOLDBERG MICHAEL
12405 VENICE BLVD #175
LOS ANGELES, CA 90066

STATE OF TEXAS
125 E 11TH STREET
AUSTIN, TX 78701

KELLER JACQUELYN
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

SOON HERALD
14300 CERVANTES AVE
GERMANTOWN, MD 20874

HENG JIA
147 VISTA DR
CEDAR KNOLLS, NJ 75032

SENG TRUST
1602 MONTELLANO CT
SAN JOSE, CA 95120

LAHLOUH FAMILY LIMITED PARTNERSHIP
1605 RESEARCH CIR
ROCKWALL, TX 75032

LINDOP DUSTIN & AMANDA
1672 HOLLOW WAY LN
QUINLAN, TX 75474

BELLE HAVEN REALTY CO
A CALIFORNIA CORPORATION
1690 WOODSIDE RD STE 120
REDWOOD CITY, CA 94061

BELLE HAVEN REALTY CO
A CALIFORNIA CORPORATION
1700 SCIENCE PL
ROCKWALL, TX 75032

BELLE HAV/TEX LP
1701 SCIENCE PLACE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN S ST SUITE 2000
DALLAS, TX 75201

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

BAILEY GARY AND JOY L
1910 HARVESTER DR
ROCKWALL, TX 75032

GARZA CESAR AND ANA MARIE
1913 STERLING CT
ROCKWALL, TX 75032

SANCHEZ JOSE L
1918 STERLING CT
ROCKWALL, TX 75032

LINDOP DUSTIN & AMANDA
1920 HARVESTER DR
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

LARA ANITA
1921 HARVESTER DR
ROCKWALL, TX 75032

DOWDEY RACHEL AND
DAVID DOWDEY
1930 STERLING COURT
ROCKWALL, TX 75032

HUANG CHENGUANG AND
CHEN XIE
1930 HARVESTER DR
ROCKWALL, TX 75032

MCMILLIAN SUSAN S
1931 HARVESTER DR
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
1935 STERLING CT
ROCKWALL, TX 75032

WEAVER GREGORY L & DEBRA RENEE
1940 HARVESTER DRIVE
ROCKWALL, TX 75032

ML VENTURES, LLC
1941 HARVESTER DR
ROCKWALL, TX 75032

HENG JIA
1950 HARVESTER DR
ROCKWALL, TX 75032

YARBROUGH JEFFREY ALLEN & KIMBERLY ANN
1951 HARVESTER DR
ROCKWALL, TX 75032

STANLEY GARY ROSS
1960 HARVESTER DRIVE
ROCKWALL, TX 75032

MALDANIS CHERYL AND MICHAEL
1961 HARVESTOR DRIVE
ROCKWALL, TX 75032

WELK STEPHEN SCOTT
1970 HARVESTER DRIVE
ROCKWALL, TX 75032

GOLDBERG MICHAEL
1980 HARVESTER DR
ROCKWALL, TX 75032

BLOYS SHANE K & MELISSA D
1981 HARVESTER DRIVE
ROCKWALL, TX 75032

JONES DENNIS W AND RANAI L TRUSTEES
JONES FAMILY LIVING TRUST
2000 HARVESTER DR
ROCKWALL, TX 75032

ROCHELLE MICHAEL
2000 NEW HOLLAND DR
ROCKWALL, TX 75032

WILLIAMS ROGER D & SALLY M
2001 HARVESTER DR
ROCKWALL, TX 75032

SMITH BART A & DONNA R
2010 GLEANER DR
ROCKWALL, TX 75032

SPENCE KEATON
2020 GLEANER DR
ROCKWALL, TX 75032

PADILLA ELIZABETH
AND PETE RODRIGUEZ
2020 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

ALMO INVESTMENT II LTD
2205 HWY 276
ROCKWALL, TX 75032

DFW DISTRIBUTOR,
PETROLEUM INC.
2210 STATE HWY 276
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
2245 HWY 276
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHP
2301HWY276
ROCKWALL, TX 75032

HUANG CHENGUANG AND
CHEN XIE
235 BOULEVARD
MOUNTAIN LAKES, NJ 7046

AMH 2014-1 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

HATFIELD AND COMPANY INC
C/O GEORGE HATFIELD
2475 DISCOVERY BLVD
ROCKWALL, TX 75032

BAIN STEVEN & JONI
2550 DAYBREAK DRIVE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
2560 DAYBREAK DR
ROCKWALL, TX 75032

BUNIN DAVID K & BETHANY A
2561 DAYBREAK DR
ROCKWALL, TX 75032

<Null>
2570 DAYBREAK DR
ROCKWALL, TX 75032

CARSON BROOKE
2571 DAYBREAK DRIVE
ROCKWALL, TX 75032

STACY BRYAN COLIN AND HEATHER
2580 DAYBREAK DRIVE
ROCKWALL, TX 75032

JONES HAROLD E III
2580 WAGONWHEEL DR
ROCKWALL, TX 75032

WELMAKER SALLY
2581 DAYBREAK DRIVE
ROCKWALL, TX 75032

HENSON TAYLOR P & ANGELA M
2590 DAYBREAK DRIVE
ROCKWALL, TX 75032

COAST VILLAGE CAPITAL LLC
2590 WAGON WHEEL DR
ROCKWALL, TX 75032

SMITH DANIEL J AND ALLISON LANE
2591 DAYBREAK DR
ROCKWALL, TX 75032

BARKLEY PATRICK D & SHERRI D
2600 DAYBREAK DR
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT CORP
2610 OBSERVATION TRAIL STE 104
ROCKWALL, TX 75032

SPECIAL PRODUCTS REALTY LTD
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

HARDING TERRY W
2750 AVERY
ROCKWALL, TX 75032

LAHLOUH FAMILY LIMITED PARTNERSHIP
2750 E MISSION BLVD
ONTARIO, CA 91761

PIERCE CHRISTOPHER JOSEPH & JENNIFER L
2751 AVERY
ROCKWALL, TX 75032

ARMSTRONG VICKIE
2761 AVERY DR
ROCKWALL, TX 75032

COATS JOSEPH JEROME AND ANNETTE MICHELLE
2770 AVERY DR
ROCKWALL, TX 75032

JOHNSON ARTHUR JR
2771 AVERY DR
ROCKWALL, TX 75032

NICHOLSON NGAI Q AND MELVIN M
2780 AVERY
ROCKWALL, TX 75032

AINO DALLAS LLC
2781 AVERY DR
ROCKWALL, TX 75032

TURCK BETHANY
2790 AVERY DR
ROCKWALL, TX 75032

FAVILA CESAR G II
2791 AVERY
ROCKWALL, TX 75032

KIELBUS PAWEL & KATARZYNA
2800 AVERY
ROCKWALL, TX 75032

TREADWELL FAMILY TRUST AND JANIEKS FAMILY TRUST
2800 DISCOVERY BLVD
ROCKWALL, TX 75032

LUONG SIMON
2810 AVERY DR
ROCKWALL, TX 75032

WILSON TIMOTHY JOHN & STEPHANIN M
2850 AVERY
ROCKWALL, TX 75032

SOON HERALD
2851 AVERY DR
ROCKWALL, TX 75032

SENG TRUST
2860 AVERY DR
ROCKWALL, TX 75032

BAUMANN REBECCA NICOLE AND KAISER LYN
2861 AVERY DRIVE
ROCKWALL, TX 75032

BARTLEET MURRAY PAUL
2870 AVERY DRIVE
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT
2935 OBSERVATION TRAIL
ROCKWALL, TX 75032

EXETER 2975 DISCOVERY, LP
2975 DISCOVERY BLVD
ROCKWALL, TX 75032

SHANE PATRICK RYAN
3055 GOLDEN TRL
ROCKWALL, TX 75032

TARRANT CHRISTOPHER D AND KATHY D
3075 GOLDEN TRAIL
ROCKWALL, TX 75032

LARA ANITA
318 LAKE TEXOMA DRIVE
WYLIE, TX 75098

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

XCELON DEVELOPEMENT LLC
3225 MCLEOD DR SUITE 100
LAS VEGAS, NV 89121

LUONG SIMON
4018 138TH ST SW
LYNNWOOD, WA 98087

TREADWELL FAMILY TRUST AND
JANIEKS FAMILY TRUST
5161 VISTA MIGUEL DR
LA CANADA, CA 91011

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHP
625 SUNSET HILL DR
ROCKWALL, TX 75087

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

LOFLAND FARMS LTD
C/O QHR INC
PO BOX 360399
DALLAS, TX 75336

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-006: Zoning Change from PD-73 to LI

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a Zoning Change from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-006: Zoning Change from PD-73 to LI

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ROCKWALL
Economic Development Corporation

February 16, 2022

Mr. Ryan Miller
Planning Director
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

Re: Zoning Change for Lot 8, Block A Rockwall Technology Park Addition

Mr. Miller:

The Rockwall Economic Development Corporation (REDC) requests a zoning change for Lot 8, Block A of the Rockwall Technology Park Addition ("Lot A-8") from PD-073 to Light Industrial (LI). Lot A-8 was originally zoned LI, but was changed to PD-073 in 2009. The lot is mostly encumbered by an existing floodplain which makes development of the property difficult and cost prohibitive. The REDC plans to build a regional stormwater detention pond on the lot in the near future, which will add developable land and serve the adjacent lots.

The lots within all phases of the Rockwall Technology Park are zoned LI, therefore this request is consistent with the zoning and land use in the surrounding area. This change will facilitate more contiguous LI zoned land coupled with the lot immediately adjacent to the north (Lot A-7), where the REDC is currently courting a corporate relocation.

We respectfully ask that the Planning & Zoning Commission and the Rockwall City Council consider approval of our zoning request.

Sincerely,

Matt Wavering
Director of Project Development

attachments

PIONEER
MAPPING
SURVEYING | CONSULTING | GEOSPATIAL

MAIL: PO BOX 136878,
FORT WORTH, TX 76136
PHONE: 682.233.2550
TXBPLS FIRM 10194188

EXHIBIT A
METES AND BOUNDS DESCRIPTION
8.008 ACRES
J. M. ALLEN SURVEY, A-2
ROCKWALL COUNTY, TEXAS

Being 8.008 acres (348,831 square feet) of land, situated in the J. M. Allen Survey, Abstract Number 2, Rockwall County, Texas, being part of that certain Lot 8, Block A, Rockwall Technology Park, according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas. Said 8.008 acres of land being more particularly described as follows, to wit:

BEGINNING at a 5/8-inch iron rod with a pink TXDOT cap found at the northwest corner of that certain called 0.392 acre tract conveyed to the State of Texas according to the Correction Affidavit recorded under Instrument Number 20160000015279, Official Public Records, Rockwall County, Texas, being in the west line of the above mentioned Lot 8 and the east line of Lot 5, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas, from which a 5/8-inch iron rod with a pink TXDOT cap found at the southwest corner of the above mentioned 0.392 acre tract bears South 00 degrees 00 minutes 59 seconds East, a distance of 15.60 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most southerly west line of said Lot 8 and the east line of the above mentioned Lot 5, a distance of 348.62 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the most westerly northwest corner of said Lot 8, same being the northeast corner of said Lot 5, and being in the south line of Lot 4, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 59 minutes 01 second East, along the most westerly north line of said Lot 8 and the south line of the above mentioned Lot 4, a distance of 146.56 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for an inner ell corner of said Lot 8, same being the southeast corner of said Lot 4, from which a 5/8-inch iron rod found bent bears South 27 degrees 43 minutes 22 seconds East, a distance of 0.52 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most northerly west line of said Lot 8 and the east line of said Lot 4, a distance of 266.21 feet to a 1/2-inch iron rod with plastic cap found for the most northerly northwest corner of said Lot 8, same being the most southerly southwest corner of Lot 7, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 11 minutes 28 seconds East, along the most northerly north line of said Lot 8 and the most southerly south line of the above mentioned Lot 7, a distance of 493.50 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the northeast corner of said Lot 8, same being the southeast corner of said Lot 7, and being in the west Right-of-Way line of Farm to Market Road 549, also known as Corporate Crossing (variable-width Right-of-Way);

THENCE along the east line of said Lot 8 and the west line of Farm to Market Road 549 the following two (2) courses and distances:

South 02 degrees 07 minutes 17 seconds East, a distance of 114.50 feet to a point;

and South 01 degree 37 minutes 39 seconds East, a distance of 428.59 feet to a point for the most easterly southeast corner of said Lot 8, same being at the intersection of Farm to Market Road 549 and State Highway 276 (variable-width Right-of-Way);

THENCE South 42 degrees 15 minutes 45 seconds West, along the southeast line of said Lot 8 and the north line of State Highway 276, a distance of 47.21 feet to a point for the northeast corner of said 0.392 acre State of Texas tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most easterly north line of said 0.392 acre tract, a distance of 243.79 feet to a 5/8-inch iron rod with a pink TXDOT cap found at the most northerly northwest corner of said 0.392 acre tract;

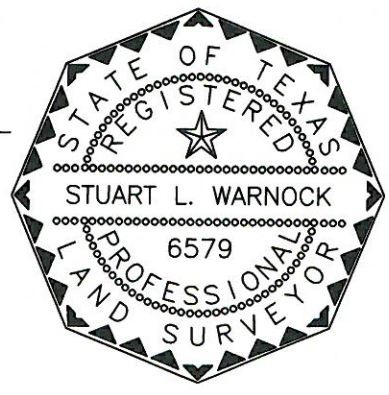
THENCE South 01 degree 03 minutes 11 seconds East, along the most northerly west line of said 0.392 acre tract, a distance of 34.99 feet to a 5/8-inch iron rod with a pink TXDOT cap found for an inner ell corner of said 0.392 acre tract;

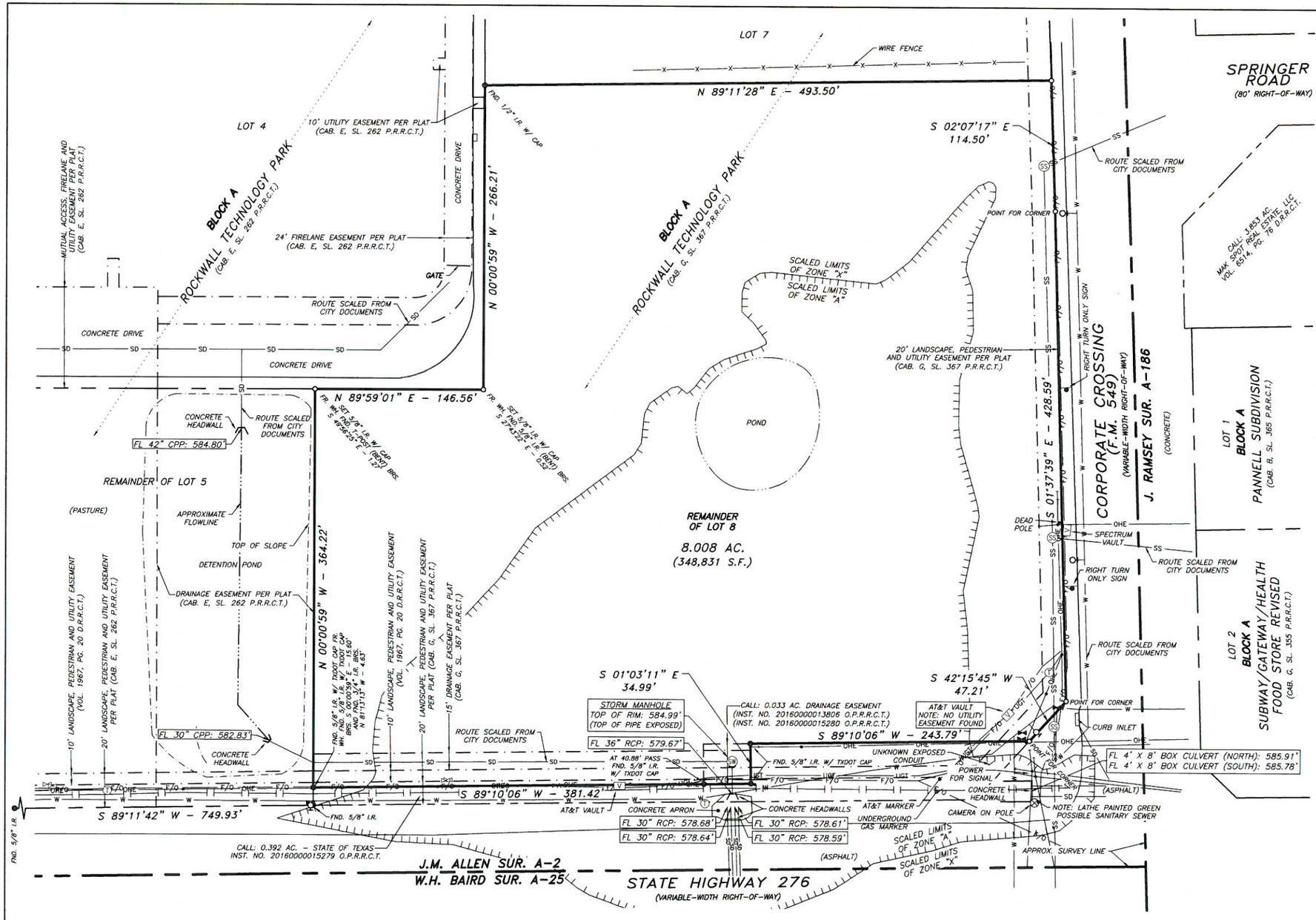
THENCE South 89 degrees 10 minutes 06 seconds West, along the most westerly north line of said 0.392 acre tract, a distance of 381.42 feet to the **POINT OF BEGINNING**, containing 8.008 acres of land, more or less.

Bearings based on the Texas State Plane Coordinate System, NAD83 (2011), Epoch 2010, Texas North Central Zone 4202. Distances are in U.S. Survey feet and decimal parts thereof.

Stuart L. Warnock, RPLS, GISP
Texas Registration Number 6579

12-3-18
Date





NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83 (2011), EPOCH 2010, ZONE 4202 (TX-NC). DIMENSIONS SHOWN ARE GRID AND EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
2. EASEMENTS AND ENCUMBRANCES WHICH ARE NOT RECORDED IN PUBLIC RECORDS AND CANNOT BE DETERMINED BY THIS SURVEY MAY EXIST AND ENCUMBER TRACT SHOWN.
3. THE SUBJECT PROPERTY FALLS WITHIN ZONE A (BASE FLOOD ELEVATION NOT DETERMINED) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397 C 0045 L, DATED SEPTEMBER 26, 2008.
4. NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR.
5. NO ADDRESS FOR SUBJECT TRACT WAS PROVIDED OR OBSERVED.
6. NO PARKING SPACES PRESENT AT TIME OF SURVEY.
7. STATE HIGHWAY 276 UNDER CONSTRUCTION AT TIME OF SURVEY.

LEGEND

- BOUNDARY LINE
- ADJOINING SUBDIVISION
- ADJOINING PROPERTY
- SURVEY LINE
- EASEMENT
- EDGE OF CONCRETE/ASPHALT
- F/O — F/O FIBER-OPTIC LINE
- GAS LINE
- SS — SS SANITARY SEWER
- SD — SD STORM SEWER
- W — W WATERLINE
- OHE — OHE OVERHEAD ELECTRIC
- UGE — UGE BURIED ELECTRIC
- UGT — UGT BURIED TELEPHONE
- GUY ANCHOR
- UTILITY POLE
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SANITARY MANHOLE
- STORM MANHOLE
- VAULT
- SET 5/8" IRON ROD WITH PLASTIC CAP UNLESS OTHERWISE NOTED

60' 0' 60' 120'

THIS SURVEY IS MADE FOR THE BENEFIT OF:
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION AND RANGER TITLE COMPANY

I, STUART L. WARNOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I OR OTHERS UNDER MY DIRECT SUPERVISION, HAVE MADE A CAREFUL SURVEY OF THE TRACT OF LAND DESCRIBED HEREON. I FURTHER CERTIFY THAT:

1. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 13, 16, 17, 19, AND 20 ($1,000,000) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 18TH, 2018.
2. THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

DATED DECEMBER 3, 2018.

STATE OF TEXAS REGISTERED STUART L. WARNOCK 6579 PROFESSIONAL LAND SURVEYOR

STUART L. WARNOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6579

RESEARCH WAS LIMITED TO THE FOLLOWING, PROVIDED BY OTHERS (A COMMITMENT FOR TITLE INSURANCE UNDER G.F. NO. R181978R DATED SEPTEMBER 19, 2018, FROM RANGER TITLE COMPANY)

ITEM	RECORDING	FINDING
10.a	VOL. 75, PG. 571	TOO VAGUE, MAY AFFECT
10.b	VOL. 75, PG. 572	TOO VAGUE, MAY AFFECT
10.c	VOL. 1967, PG. 20	DOES AFFECT, IS SHOWN
10.d	CAB. G, SL. 367	DOES AFFECT, IS SHOWN
10.f	VOL. 36, PG. 370	MINERAL RESERVATION
10.l	INST. NO. 20160000013806	DOES AFFECT, IS SHOWN
10.l	INST. NO. 20160000015280	DOES AFFECT, IS SHOWN

ALTA/NSPS TITLE SURVEY
SHOWING
REMAINDER OF LOT 5, BLOCK A
ROCKWALL TECHNOLOGY PARK
J. M. ALLEN SURVEY A-2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JOB: 18-060	DRAWN BY: GDF	DATE: 12/3/18	REV: 1

PIONEER MAPPING
SURVEYING | CONSULTING | GEOSPATIAL
PO Box 136878 - Fort Worth, TX 76136 - P: 682.233.2550
www.pioneermapping.com - info@pioneermapping.com
TX-FIRM# 10194188

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 73 (PD-73) [*ORDINANCE NO. 09-09*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM PLANNED DEVELOPMENT DISTRICT 73 (PD-73) TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR AN 8.008-ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK A, ROCKWALL TECHNOLOGY PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) [*Ordinance No. 09-09*] to a Light Industrial (LI) District for an 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 73 (PD-73) [*Ordinance No. 09-09*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That the adoption of this ordinance shall supersede *Ordinance No. 09-09*;

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Planned Development District 73 (PD-73) [*Ordinance No. 09-09*] to a Light Industrial (LI) District;

SECTION 3. That the *Subject Property* shall be used only in the manner and for the purposes

DRAFT 08.15.2022

provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings,* of Article 04, *Permissible Uses*; Section 05.01, *General Industrial District Standards*; and Section 05.02, *Light Industrial (LI) District,* of Article 05, *District Development Standards,* of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 7. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

_____
Kevin Fowler, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.15.2022

Exhibit 'A'
Legal Description

BEING 8.008 acres (*348,831 square feet*) of land, situated in the J. M. Allen Survey, Abstract Number 2, Rockwall County, Texas, being part of that certain Lot 8, Block A Rockwall Technology Park, according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas. Said 8.008 acres of land being more particularly described as follows, to wit:

BEGINNING at a 5/8-inch iron rod with a pink TXDOT cap found at the northwest corner of that certain called 0.392 acre tract conveyed to the State of Texas according to the Correction Affidavit recorded under Instrument Number 20160000015279, Official Public Records, Rockwall County, Texas, being in the west line of the above mentioned Lot 8 and the east line of Lot 5, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas, from which a 5/8-inch iron rod with a pink TXDOT cap found at the southwest corner of the above mentioned 0.392 acre tract bears South 00 degrees 00 minutes 59 seconds East, a distance of 15.60 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most southerly west line of said Lot 8 and the east line of the above mentioned Lot 5, a distance of 348.62 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the most westerly northwest comer of said Lot 8, same being the northeast corner of said Lot 5, and being in the south line of Lot 4, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 59 minutes 01 second East, along the most westerly north line of said Lot 8 and the south line of the above mentioned Lot 4, a distance of 146.56 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for an inner ell corner of said Lot 8,same being the southeast corner of said Lot 4,from which a 5/8-inch iron rod found bent bears South 27 degrees 43 minutes 22 seconds East, a distance of 0.52 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most northerly west line of said Lot 8 and the east line of said Lot 4,a distance of 266.21 feet to a 1/2-inch iron rod with plastic cap found for the most northerly northwest corner of said Lot 8, same being the most southerly southwest corner of Lot 7, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet G, Slide 367,Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 11 minutes 28 seconds East, along the most northerly north line of said Lot 8 and the most southerly south line of the above mentioned Lot 7, a distance of 493.50 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the northeast corner of said Lot 8, same being the southeast corner of said Lot 7, and being in the west Right-of-Way line of Farm to Market Road 549, also known as Corporate Crossing (variable-width Right-of-Way);

THENCE along the east line of said Lot 8 and the west line of Farm to Market Road 549 the following two (2) courses and distances:

South 02 degrees 07 minutes 17 seconds East, a distance of 114.50 feet to a point;

and South O 1 degree 37 minutes 39 seconds East, a distance of 428.59 feet to a point for the most easterly southeast corner of said Lot 8, same being at the intersection of Farm to Market Road 549 and State Highway 276 (variable-width Right-of-Way);

THENCE South 42 degrees 15 minutes 45 seconds West, along the southeast line of said Lot 8 and the north line of State Highway 276, a distance of 47.21 feet to a point for the northeast corner of said 0.392-acre State of Texas tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most easterly north line of said 0.392-acre tract, a distance of 243.79 feet to a 5/8-inch iron rod with a pink TXDOT cap found at the most northerly northwest corner of said 0.392-acre tract;

THENCE South 01 degree 03 minutes 11 seconds East, along the most northerly west line of said 0.392-acre tract, a distance of 34.99 feet to a 5/8-inch iron rod with a pink TXDOT cap found for an inner ell corner

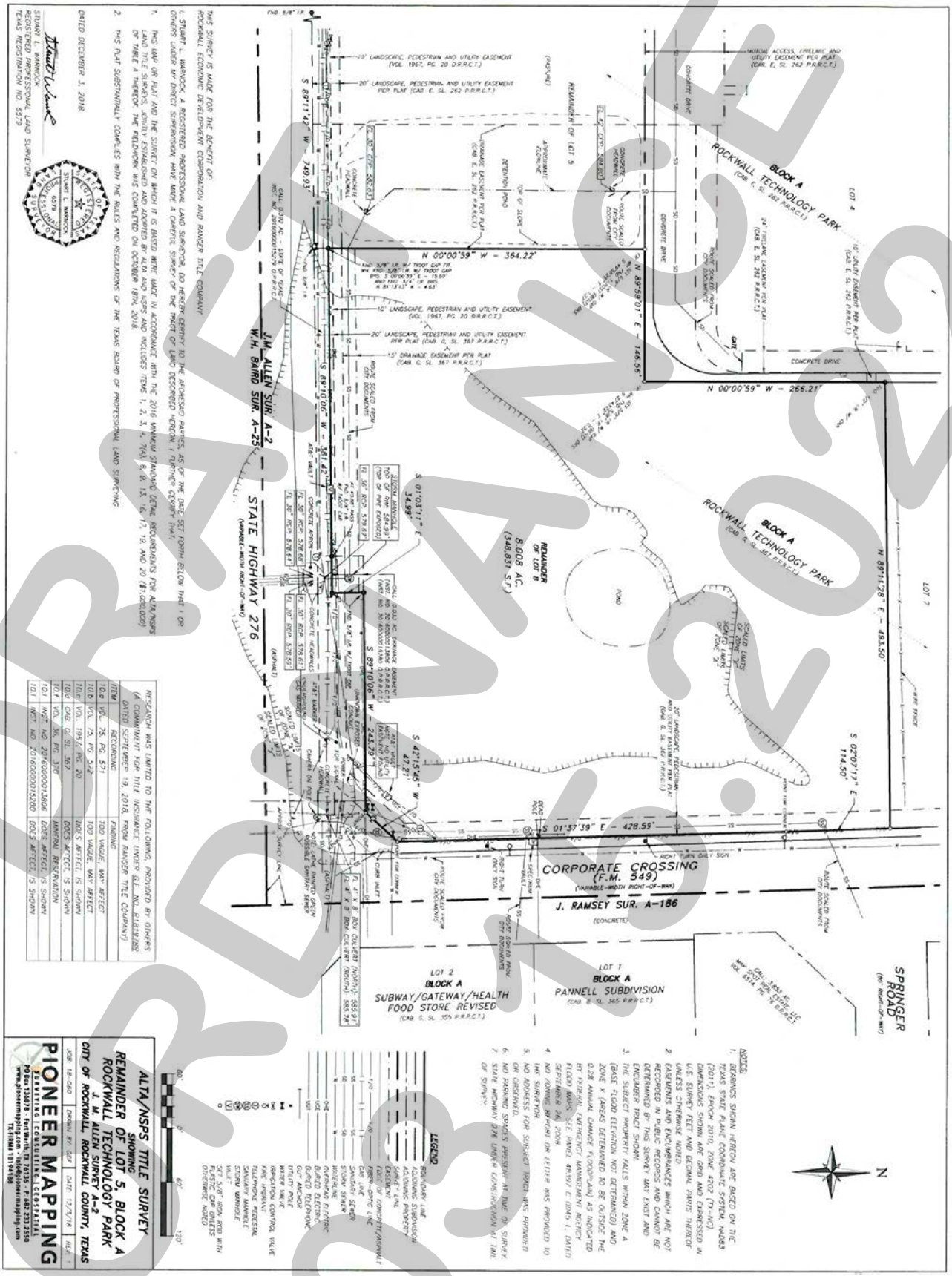
DRAFT ORDINANCE 03.15.2022

of said 0.392-acre tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most westerly north line of said 0.392-acre tract, a distance of 381.42 feet to the ***POINT OF BEGINNING***, containing 8.008 acres of land, more or less.

DRAFT
ORDINANCE
03.15.2022

Exhibit 'B'
Zoning Exhibit



DRAFT 03.02.2021

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Jose A. Contreras; *Black Toro Custom Homes, LLC.*
CASE NUMBER:	Z2022-007; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 1096 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. Based on aerial images, the subject property was vacant at the time of annexation. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 514 Yvonne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Wayne Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Chris Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "…a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, Permissible Uses, of the UDC states that, "…the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing … [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing …" The following is a summary of observations concerning the housing on Yvonne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Yvonne Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented towards Yvonne Drive	The front elevation of the home will face onto Yvonne Drive.
Year Built	1970-2020	*N/A*
Building SF on Property	784 SF – 1,994 SF	2,258 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Brick, Vinyl Siding, and Modular Panels	Brick
Paint and Color	Brown, Tan, Blue, White, Green & Red	*N/A*
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Single-Family Homes without Garages	The garage will be set up approximately two (2) feet behind the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages …" In this case, the applicant is proposing to put the garage approximately two (2) feet behind the front façade of the home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in previous cases.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Yvonne Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request

is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 26, 2022, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:

  (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.

  (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,

  (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

(2) The subject property will be required to replat prior to obtaining any building permits.

(3) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	Z2022-007	CASE MANAGER:	Angelica Gamez
PROJECT NAME:	SUP for Residential Infill at 514 Yvonne Drive	CASE MANAGER PHONE:	972-772-6438
SITE ADDRESS/LOCATIONS:	514 YVONNE DR, ROCKWALL, 75032	CASE MANAGER EMAIL:	agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-007; Specific Use Permit (SUP) for Residential Infill for 514 Yvonne Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650 -acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive.

I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.

M.3 For reference, include the case number (Z2022-007) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision … [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.”

I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is setback approximately two (2) feet from the front façade of the homes. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: Show a 10' utility easement along the front and back property lines.
Property will need to be replatted.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

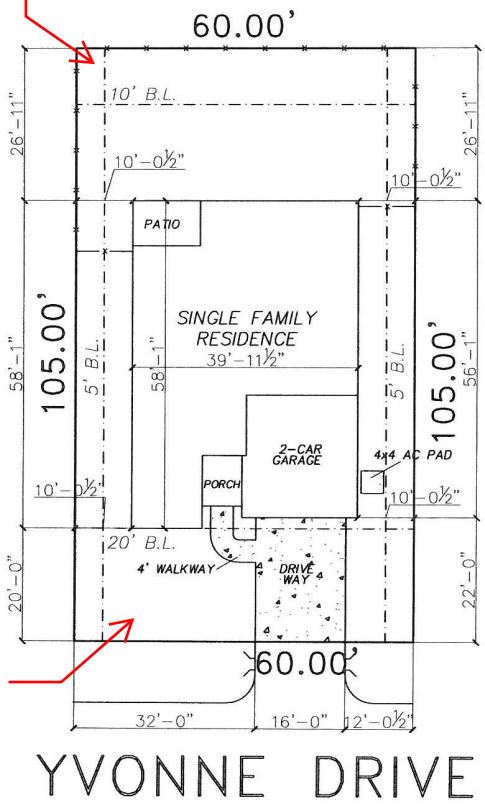
02/22/2022: No comments

NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS		
LOT AREA	6300	SF
SLAB COVERAGE	2252	SF
% BUILDING COVERAGE	35.7	% COVERAGE
TOTAL IMP. COVERAGE	2670	SF
% TOTAL IMP. COVERAGE	42.4	% COVERAGE
DRIVEWAY COVERAGE	351	SF
% DRIVEWAY COVERAGE	5.6	% COVERAGE
WALKWAY COVERAGE	51	SF
% WALKWAY COVERAGE	0.8	% COVERAGE
4'X4' A.C. PAD COVERAGE	16	SF
% 4'X4' A.C. PAD COVERAGE	0.25	% COVERAGE
FLAT WORK	0	SF
SOD GRASS	455	SQ YARD
SIDEWALK COVERAGE	0	SF
APPROACH COVERAGE	183	SF
LOT FRONTAGE	647	SF
FENCE	143	LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.

10' Utility Easement



YVONNE DRIVE

Will need to replat lot

10' Utility Easement

CUSTOMER SIGNATURE:
DATE:
NOTES:

LEGEND
- DRAINAGE FLOW
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- REQUIRED TREE PLANTING
- REQUIRED BUSH

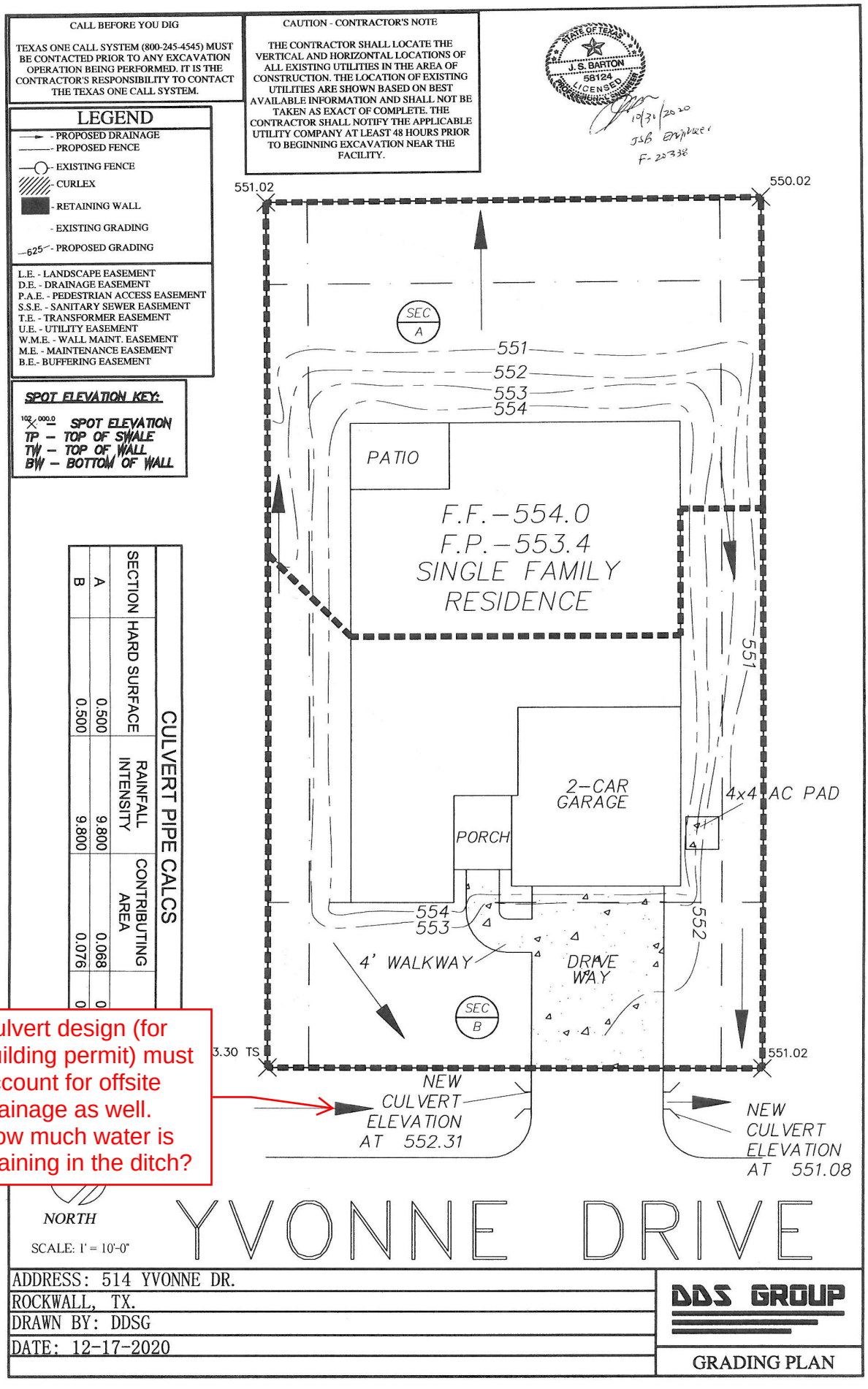
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
-EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN | SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTRUAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL LBUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.


CALL BEFORE YOU DIG
TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.
CAUTION - CONTRACTOR'S NOTE
THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.
STATE OF TEXAS
J. S. BARTON
58124
LICENSED
PROFESSIONAL ENGINEER
10/31/2020
JSB Engineer
F-20338
LEGEND
- PROPOSED DRAINAGE
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- EXISTING GRADING
625 - PROPOSED GRADING
L.E. - LANDSCAPE EASEMENT
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
B.E.- BUFFERING EASEMENT
SPOT ELEVATION KEY:
102 / 000.0 = SPOT ELEVATION
TP – TOP OF SWALE
TW – TOP OF WALL
BW – BOTTOM OF WALL
CULVERT PIPE CALCS
SECTION | HARD SURFACE | RAINFALL INTENSITY | CONTRIBUTING AREA
A | 0.500 | 9.800 | 0.068
B | 0.500 | 9.800 | 0.076
551.02
550.02
SEC A
551
552
553
554
PATIO
F.F.–554.0
F.P.–553.4
SINGLE FAMILY
RESIDENCE
551
2–CAR GARAGE
4x4 AC PAD
PORCH
554
553
552
4' WALKWAY
DRIVE WAY
SEC B
3.30 TS
551.02
NEW CULVERT ELEVATION AT 552.31
NEW CULVERT ELEVATION AT 551.08
Culvert design (for building permit) must account for offsite drainage as well. How much water is draining in the ditch?
NORTH
SCALE: 1" = 10'-0"
YVONNE DRIVE
ADDRESS: 514 YVONNE DR.
ROCKWALL, TX.
DRAWN BY: DDSG
DATE: 12-17-2020
DDS GROUP
GRADING PLAN

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Z2022-007

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☒ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	514 Yvonne Dr.			
SUBDIVISION		LOT	1096	BLOCK
GENERAL LOCATION				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING		CURRENT USE	
PROPOSED ZONING		PROPOSED USE	
ACREAGE	LOTS [CURRENT]		LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Black Toro Custom Homes LLC	☐ APPLICANT	Juan Aguilar
CONTACT PERSON	Jose A Contreras	CONTACT PERSON	
ADDRESS	1210 Creek Valley	ADDRESS	1210 Creek Valley Rd.
CITY, STATE & ZIP	Mesquite TX 75181	CITY, STATE & ZIP	Mesquite TX 75181
PHONE	214-991-2329	PHONE	214-538-6401
E-MAIL	blacktoro customhomes@gmail.com	E-MAIL	blacktoro customhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras Partner / Juan Aguilar Partner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 215.00 *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 16th *DAY OF* February *, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

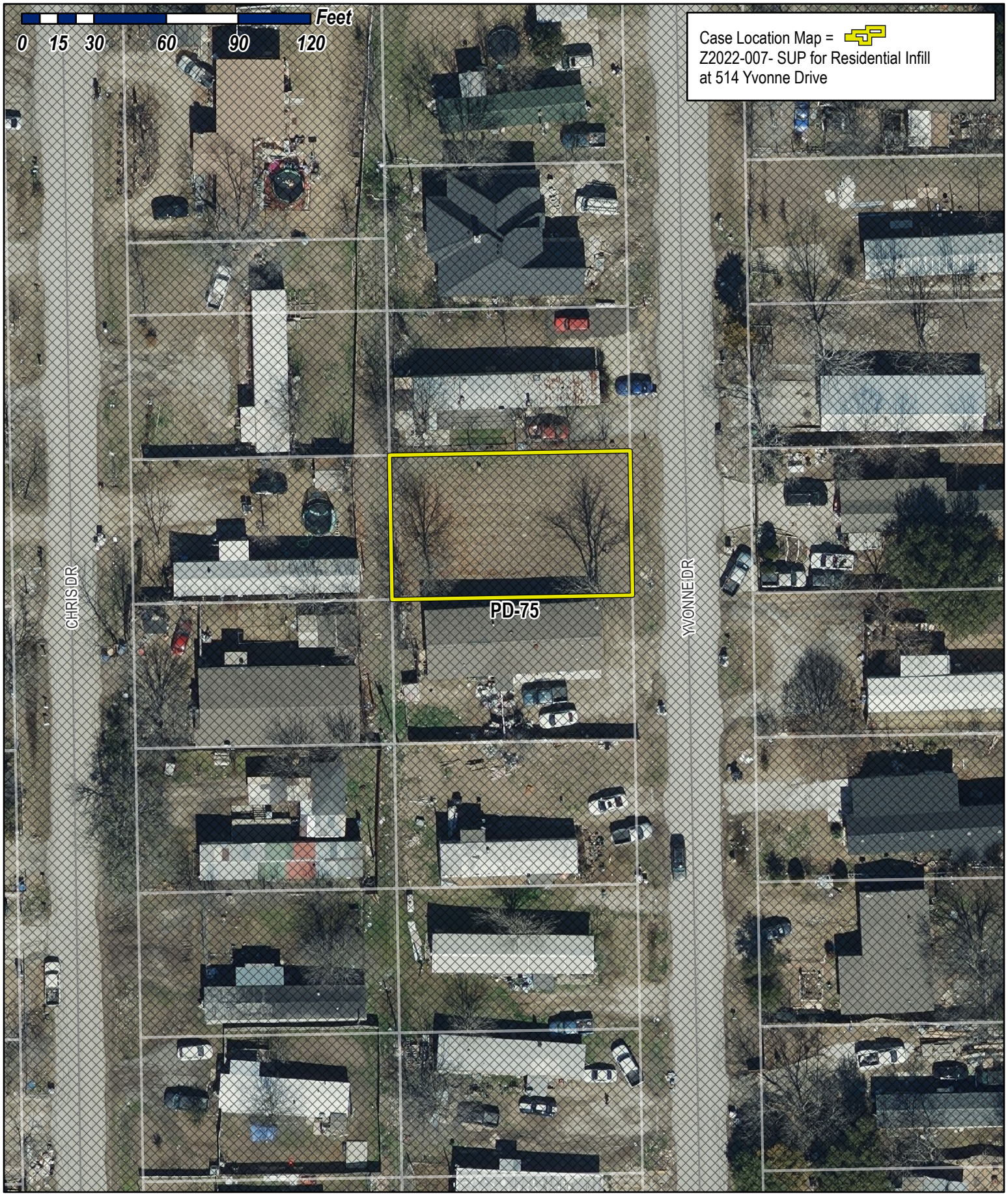
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Tanya Buehler

MY COMMISSION EXPIRES

TANYA BUEHLER
Notary Public
STATE OF TEXAS
ID# 13099192-5
My Comm. Exp. MAR. 10, 2025



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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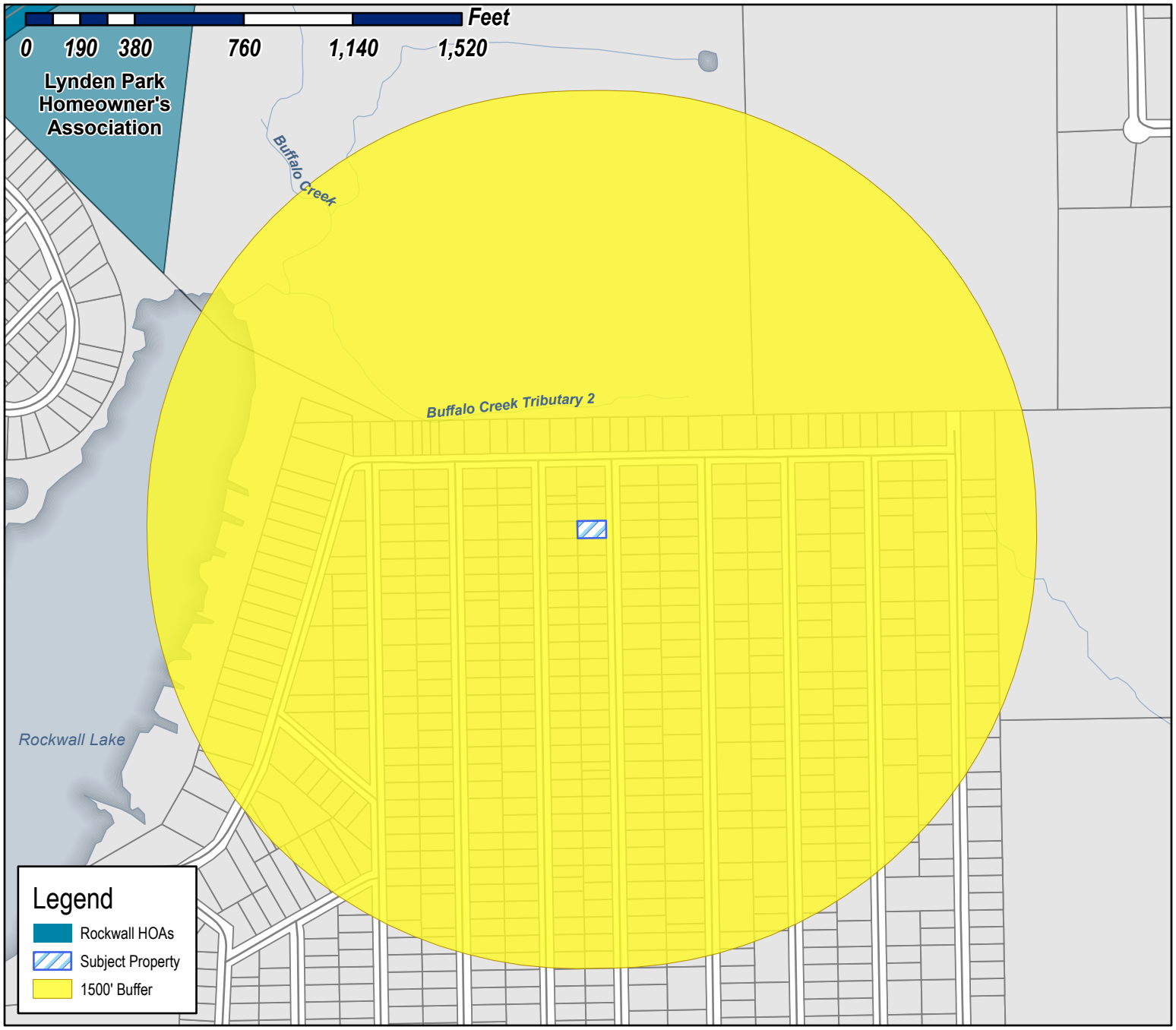
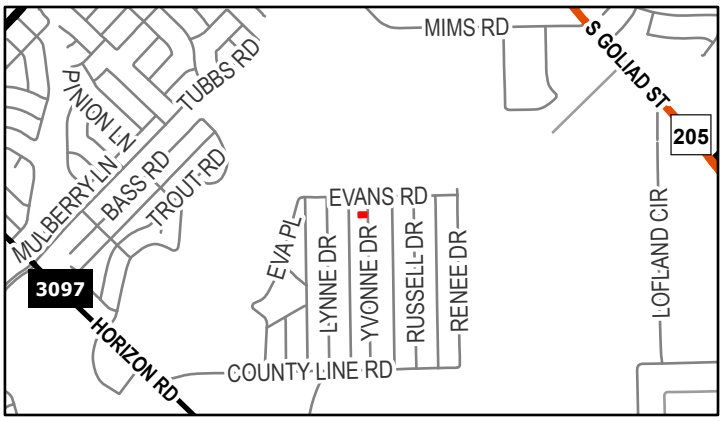


Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
For Questions on this Case Call (972) 771-7745



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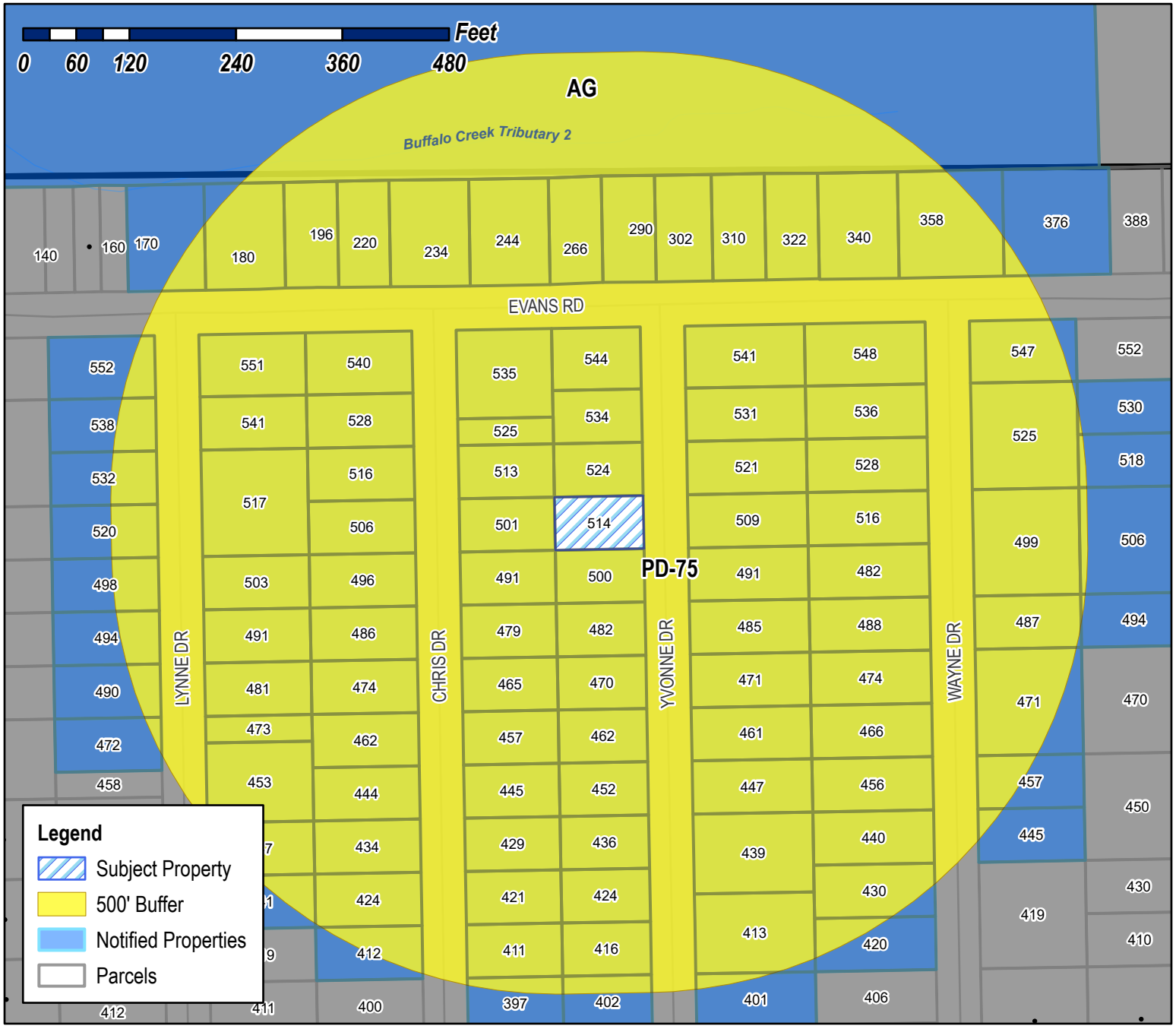

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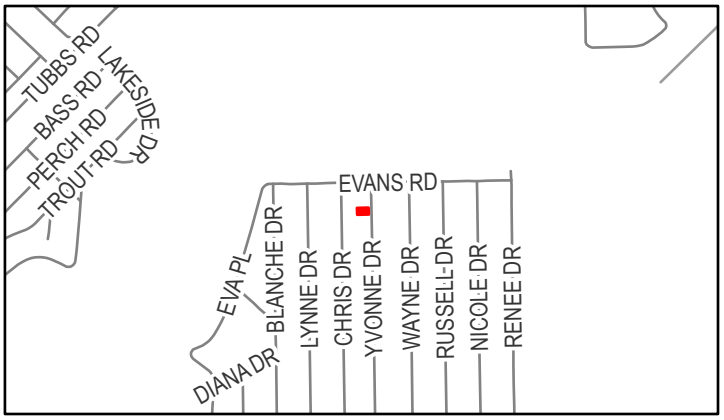

THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
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ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
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ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
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ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

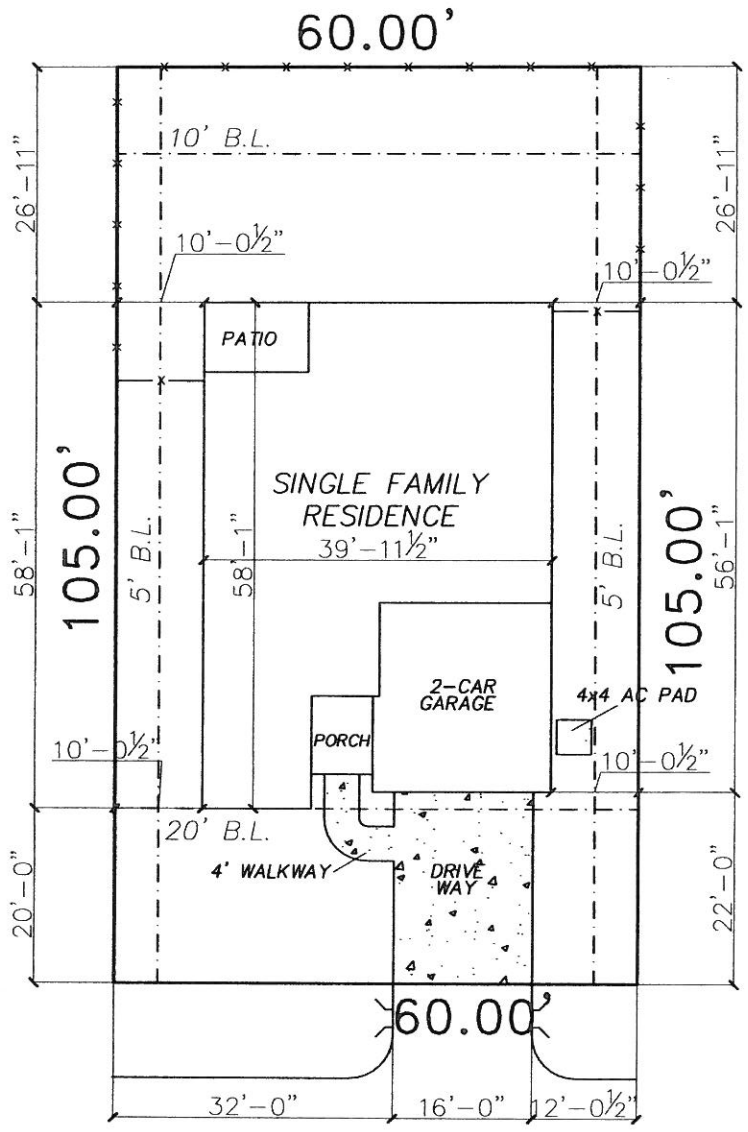
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS		
LOT AREA	6300	SF
SLAB COVERAGE	2252	SF
% BUILDING COVERAGE	35.7	% COVERAGE
TOTAL IMP. COVERAGE.	2670	SF
% TOTAL IMP. COVERAGE.	42.4	% COVERAGE
DRIVEWAY COVERAGE	351	SF
% DRIVEWAY COVERAGE	5.6	% COVERAGE
WALKWAY COVERAGE	51	SF
% WALKWAY COVERAGE	0.8	% COVERAGE
4'X4' A.C. PAD COVERAGE	16	SF
% 4'X4' A.C. PAD COVERAGE	0.25	% COVERAGE
FLAT WORK	0	SF
SOD GRASS	455	SQ YARD
SIDEWALK COVERAGE	0	SF
APPROACH COVERAGE	183	SF
LOT FRONTAGE	647	SF
FENCE	143	LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE:

DATE:

NOTES:

LEGEND

- DRAINAGE FLOW
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- REQUIRED TREE PLANTING
- REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E.- VISIBILITY EASEMENT
-EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN | SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTRUAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL LBUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.

STATE OF TEXAS
J. S. BARTON
58124
LICENSED
PROFESSIONAL ENGINEER

10/30/2020
JSB Engineer
F-20338

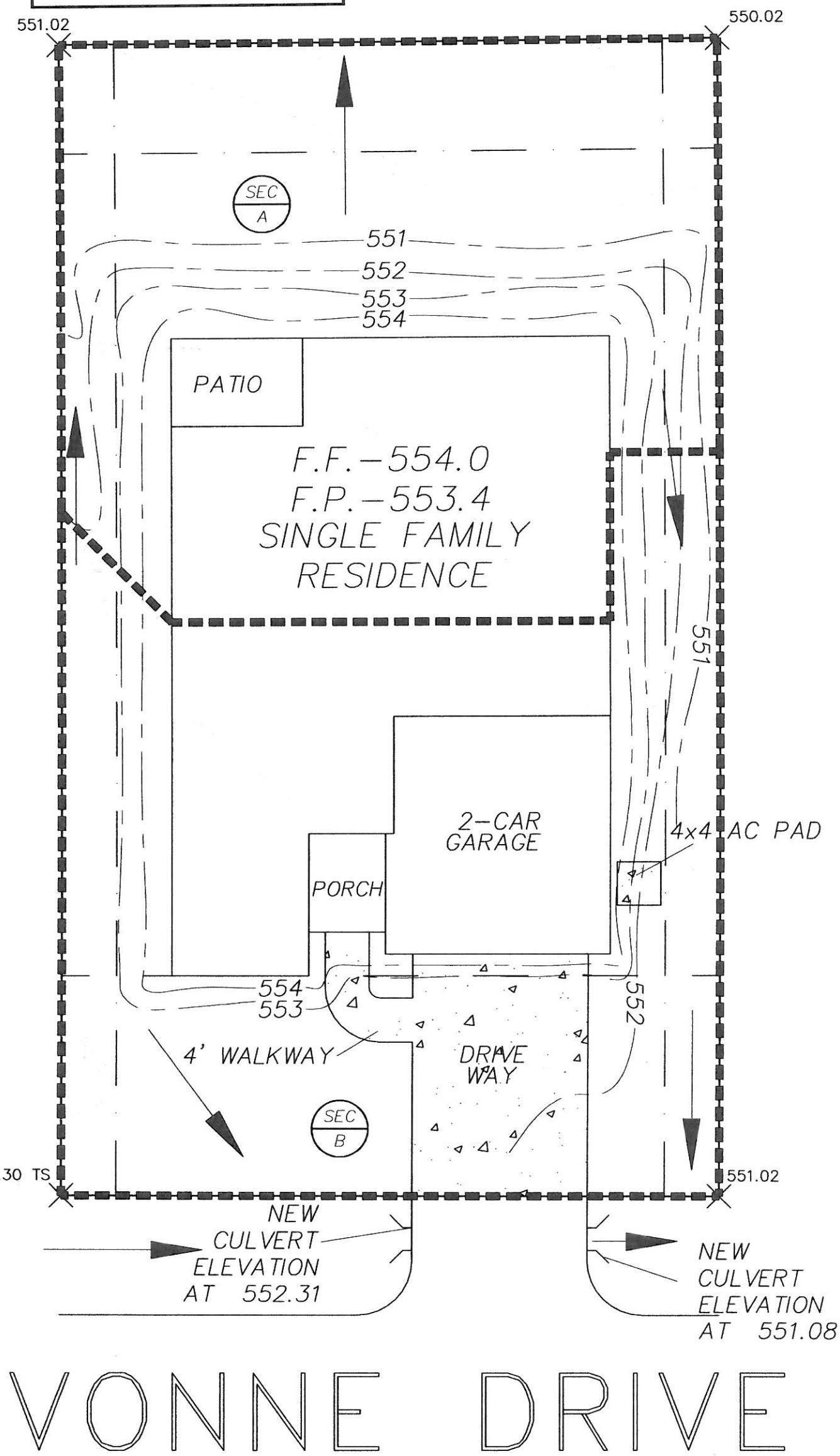
LEGEND

- PROPOSED DRAINAGE
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- EXISTING GRADING
- 625 - PROPOSED GRADING

L.E. - LANDSCAPE EASEMENT
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
B.E.- BUFFERING EASEMENT

SPOT ELEVATION KEY:

102 X 000.0 = SPOT ELEVATION
TP – TOP OF SWALE
TW – TOP OF WALL
BW – BOTTOM OF WALL



CULVERT PIPE CALCS

SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400

NORTH

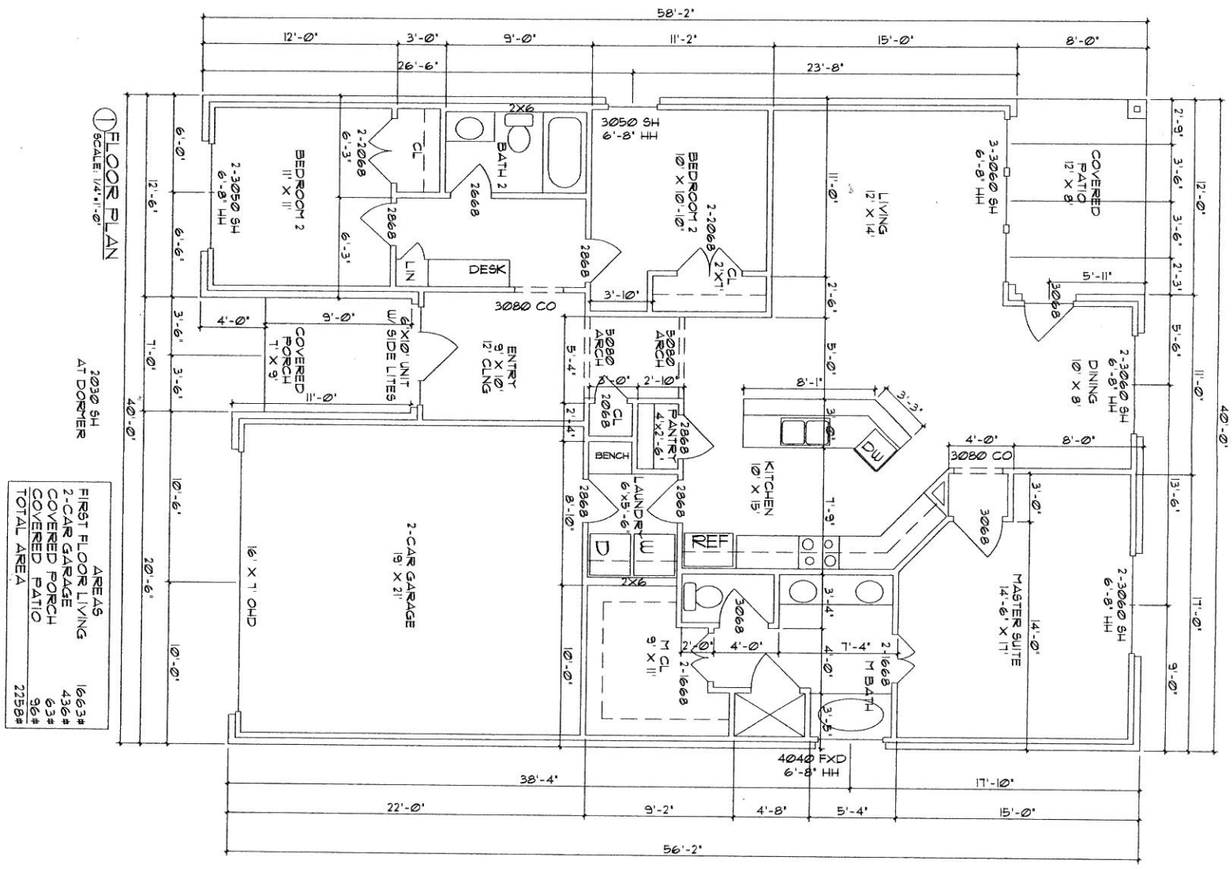
SCALE: 1' = 10'-0"

YVONNE DRIVE

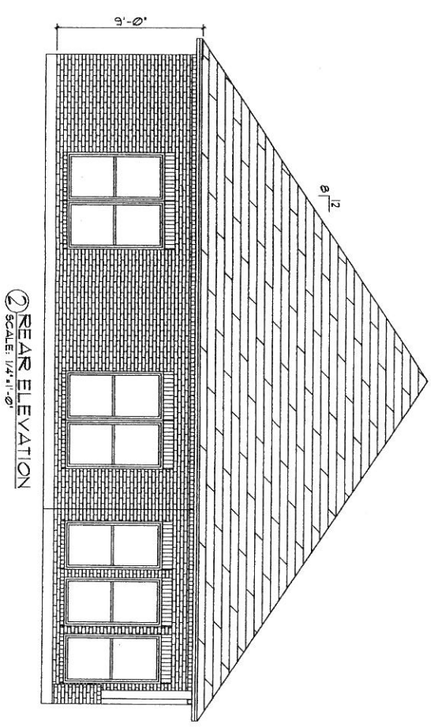
ADDRESS: 514 YVONNE DR.
ROCKWALL, TX.
DRAWN BY: DDSG
DATE: 12-17-2020

DDS GROUP

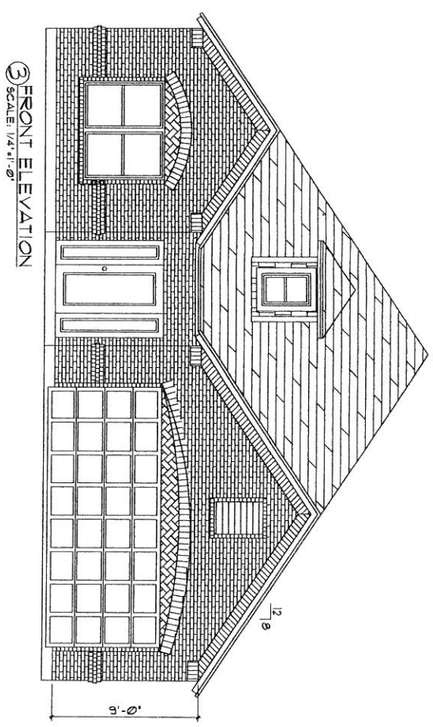
GRADING PLAN



SHEET NUMBER: A2	ELEVATION: A	514 YVONNE DR. ROCKWALL, TX.	PROJECT #:	DESIGNER: DDS GROUP	DDS GROUp 214-966-0550 123 W. MAIN STREET SUITE #121 GRAND PRAIRIE TX. 75050 WWW.DDSG.US 469-999-0800	DDS GROUP



② REAR ELEVATION
SCALE: 1/4"=1'-0"



③ FRONT ELEVATION
SCALE: 1/4"=1'-0"

514 YVONNE DR.
ROCKWALL, TX.

SHEET NUMBER: A3

ELEVATION: A

PROJECT #:

DESIGNER: DDS GROUP

DDS GROUp 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DDS GROUP

1 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

3 LEFT ELEVATION
SCALE: 1/4"=1'-0"

DDS GROUP

DDS GROUp 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A4

CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-007

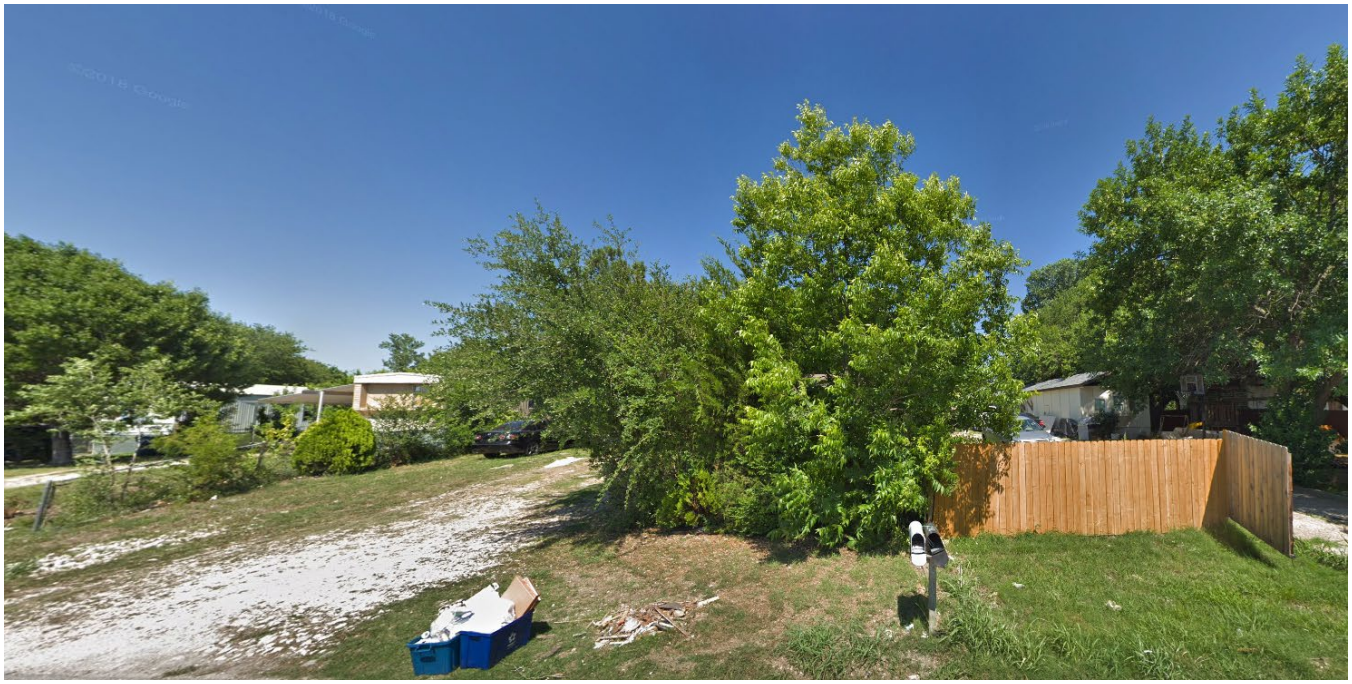
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
500 Yvonne Drive	Modular Home	1993	1,944	N/A	Siding
482 Yvonne Drive	Modular Home	1982	784	*N/A*	Siding
470 Yvonne Drive	Modular Home	1982	924	*N/A*	Siding
471 Yvonne Drive	Modular Home	1980	1,344	*192*	Siding
485 Yvonne Drive	Modular Home	1989	980	544	Siding
491 Yvonne Drive	Modular Home	1998	924	*352*	Siding
509 Yvonne Drive	Modular Home	1983	840	*64*	Siding
521 Yvonne Drive	Modular Home	1983	840	*N/A*	Siding
531 Yvonne Drive	Modular Home	1997	*1,216*	N/A	Siding
541 Yvonne Drive	Modular Home	2003	1,216	168	Siding
544 Yvonne Drive	Modular Home	1970	840	240	Siding
534 Yvonne Drive	Single-Family Home	2020	*1,917*	*N/A*	Brick
524 Yvonne Drive	Modular Home	1979	1,064	*N/A*	Siding
	AVERAGES:	1989	1,141	260	

500 YVONNE STREET

482 YVONNE DRIVE

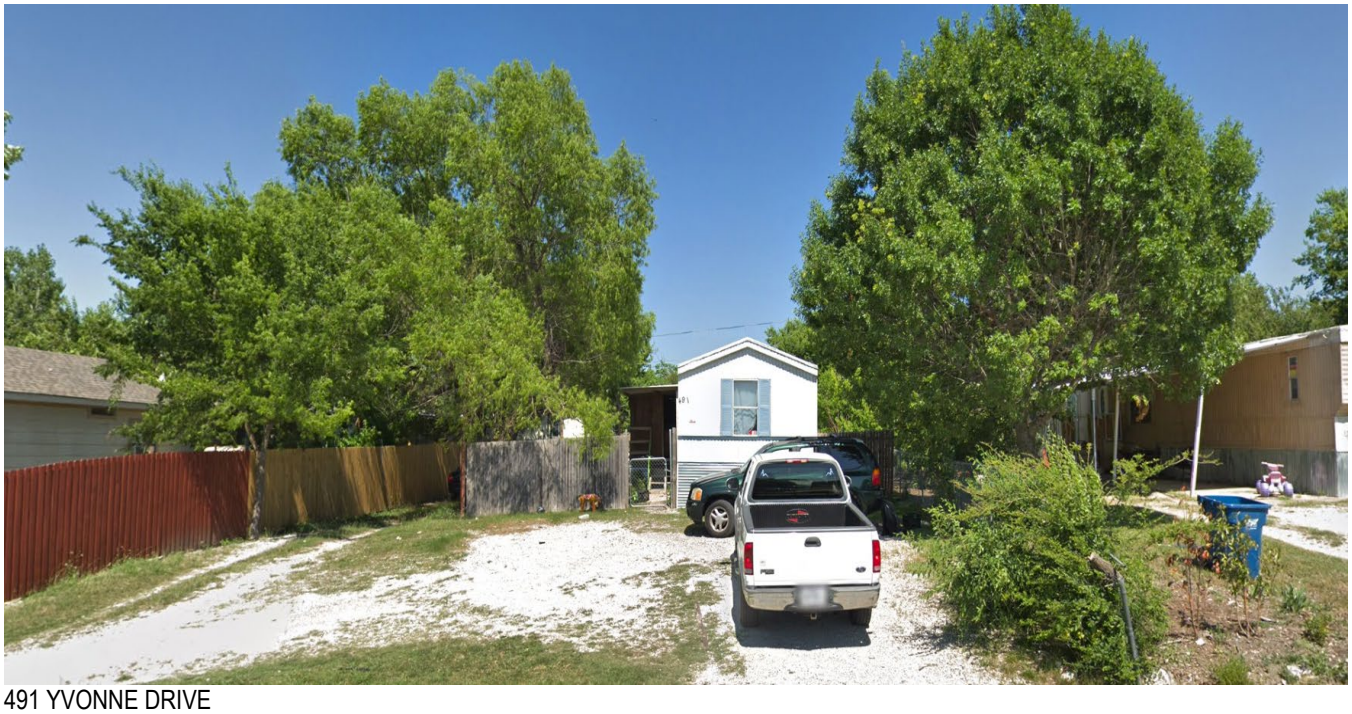
470 YVONNE DRIVE



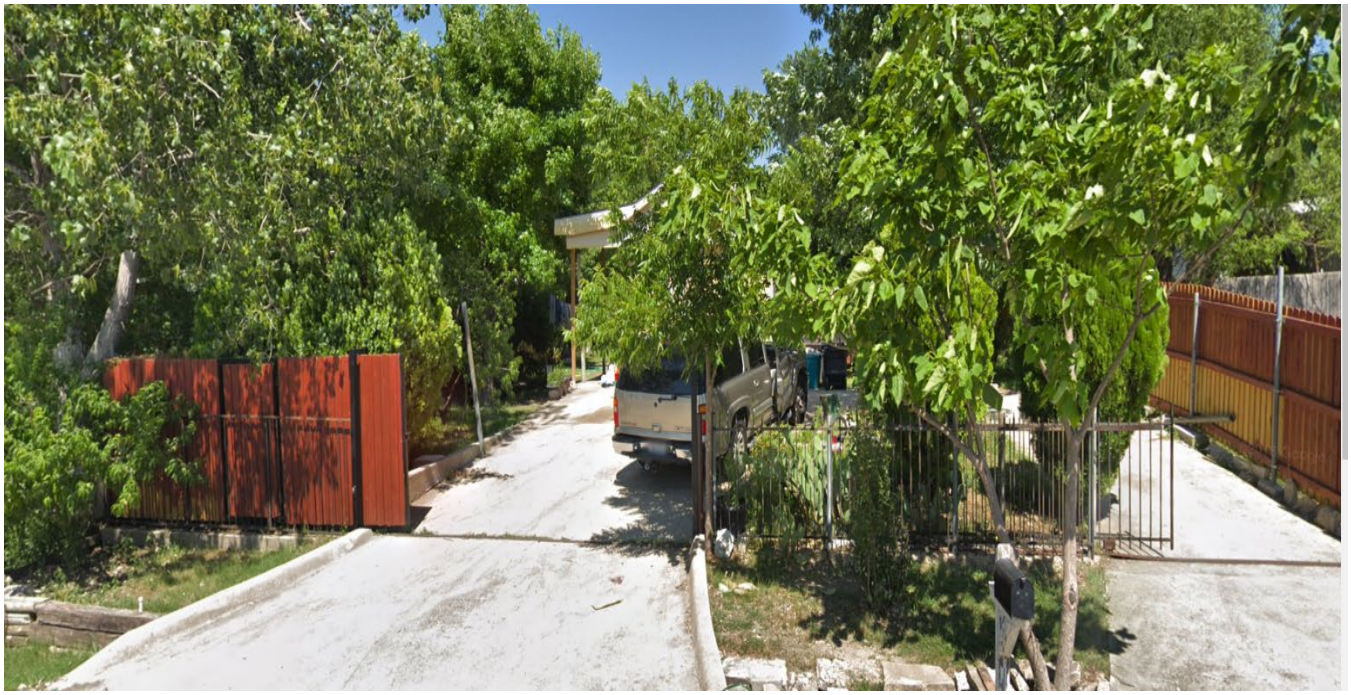
471 YVONNE DRIVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

485 YVONNE DRIVE



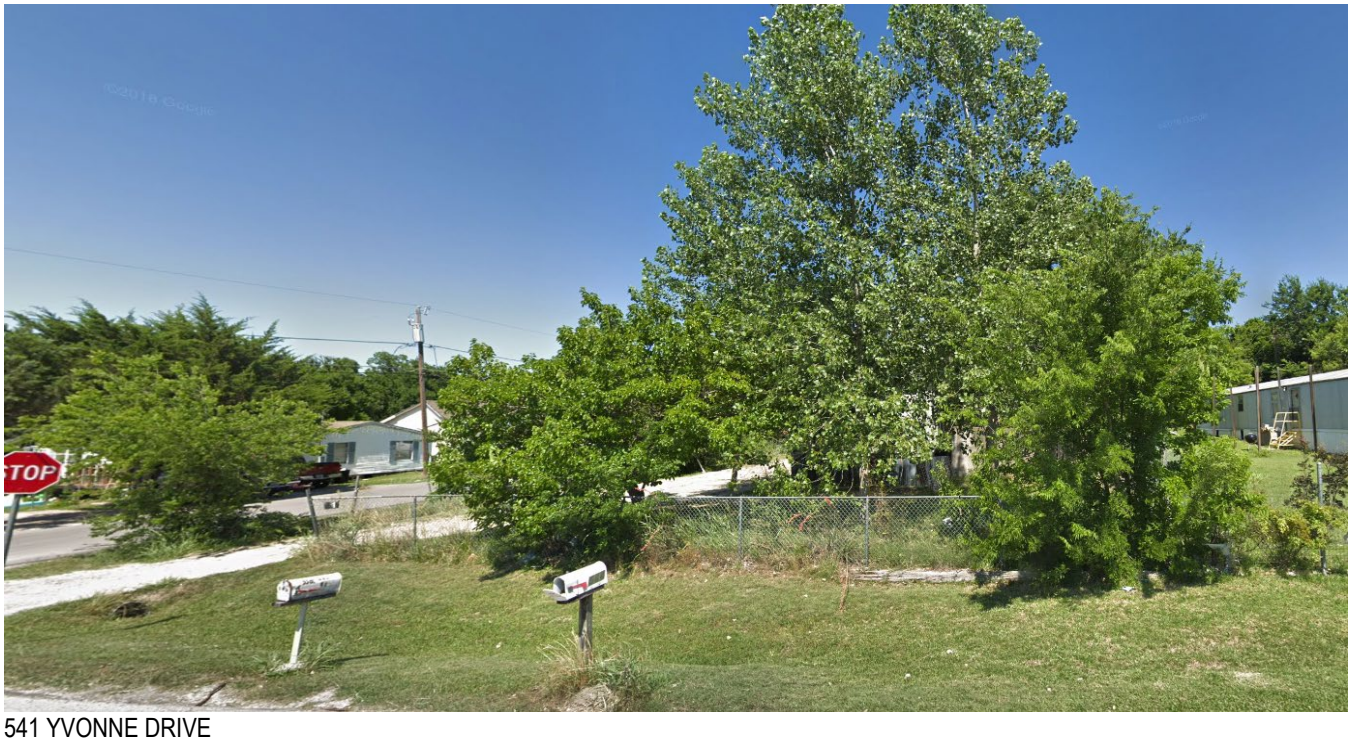
491 YVONNE DRIVE



509 YVONNE DRIVE

521 YVONNE DRIVE

531 YVONNE DRIVE



541 YVONNE DRIVE

544 YVONNE DRIVE

534 YVONNE DRIVE

524 YVONNE DRIVE

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

DRAFT 05.05.2022

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.

2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.

3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

DRAFT ORDINANCE 03-15-2022

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4th DAY OF APRIL, 2022.

_____

Kevin Fowler, *Mayor*

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

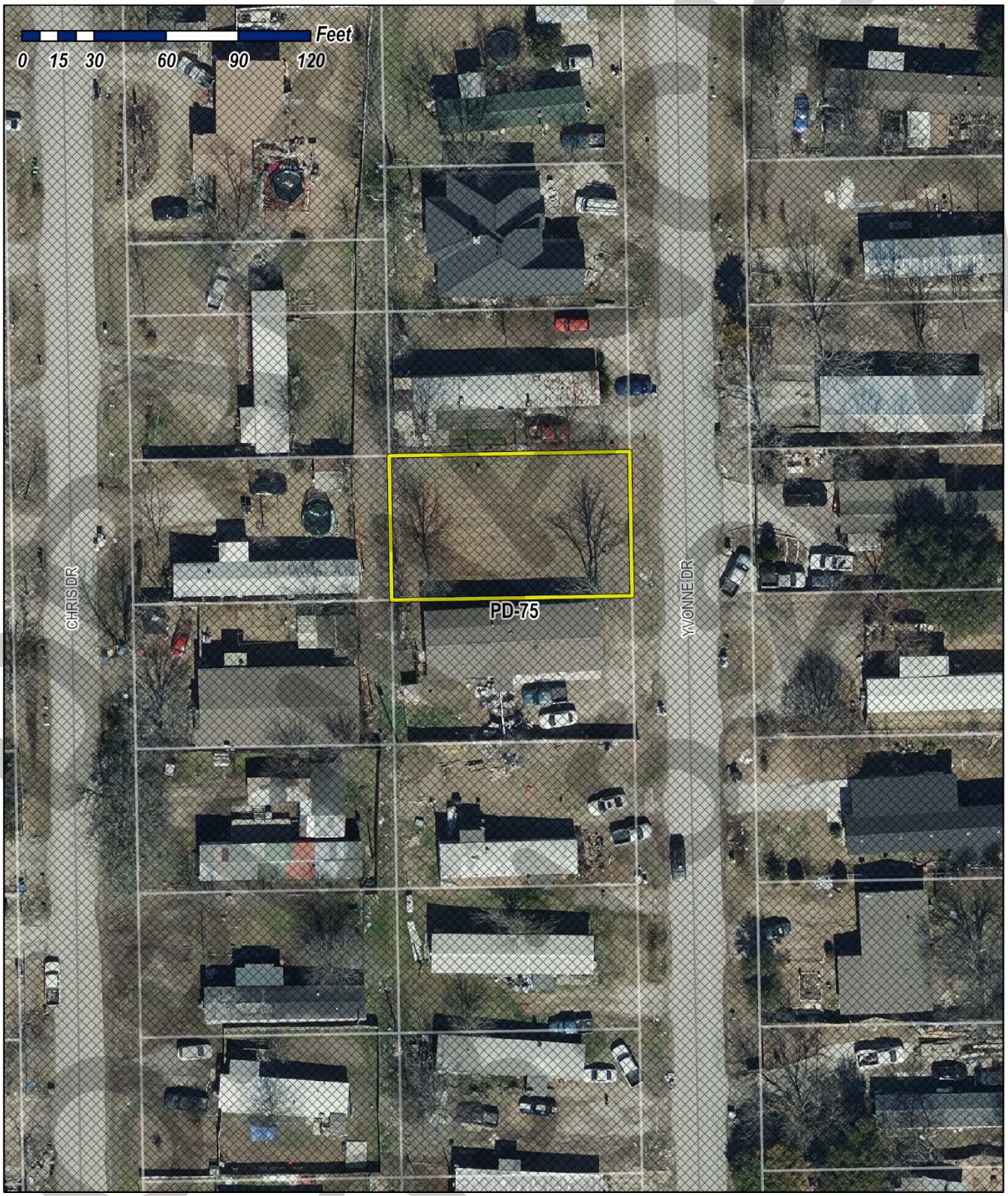
1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.15.2022

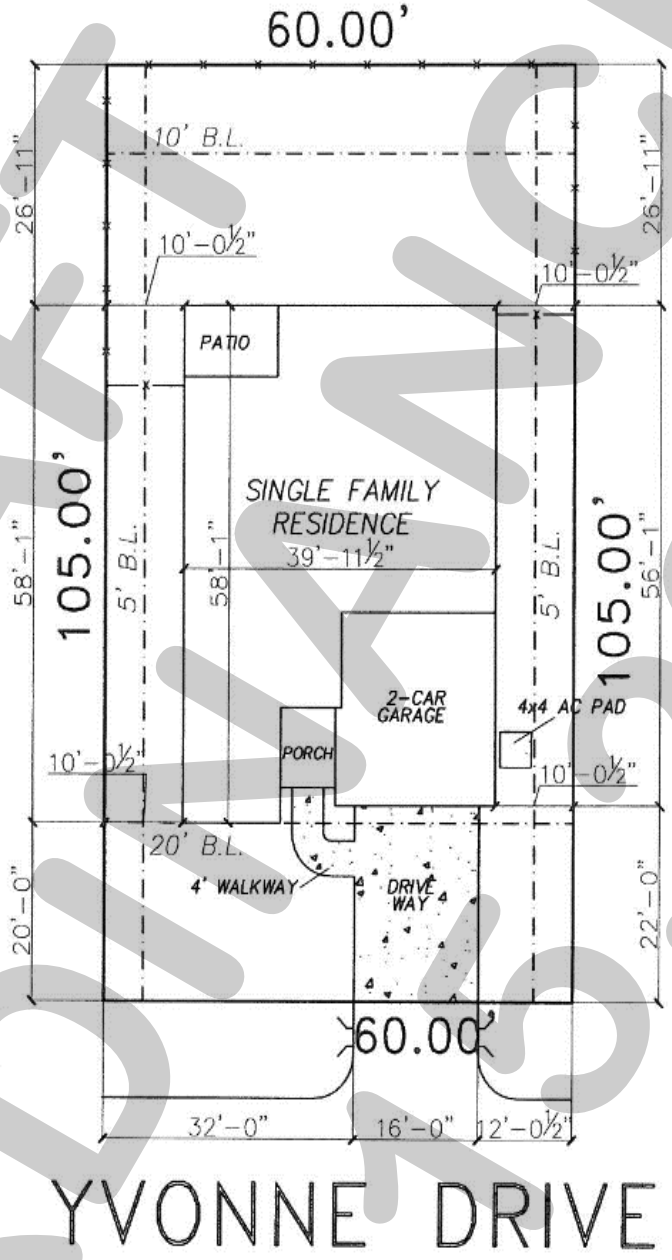
Exhibit 'A'
Location Map and Survey

Address: *514 Yvonne Drive*
Legal Description: *Lot 1096, Rockwall Lake Estates #2 Addition*



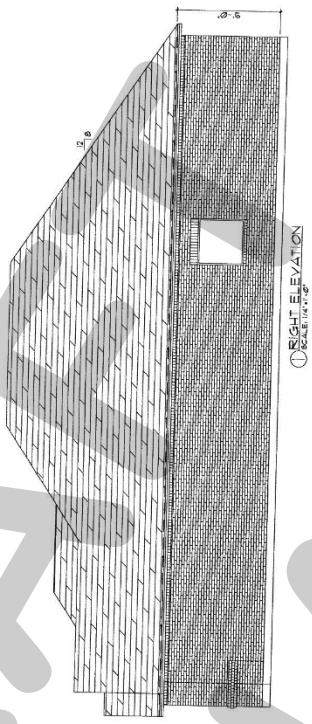
PROOF

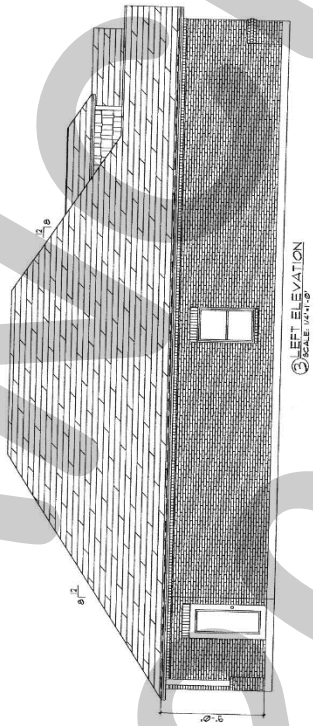
Exhibit 'B':
Residential Plot Plan

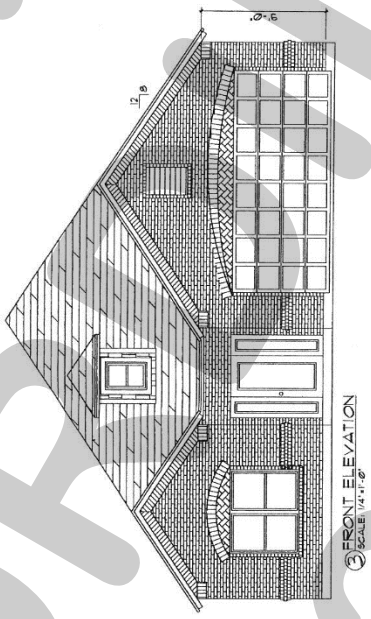


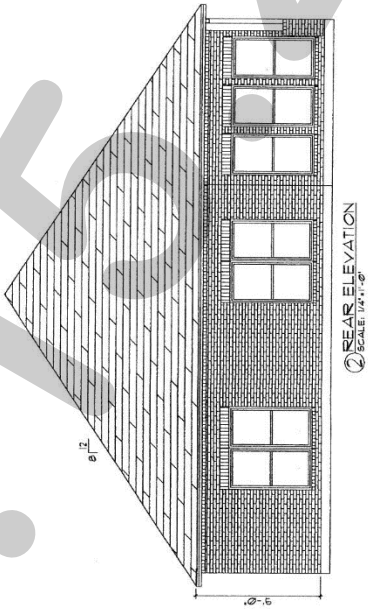
DRAFT ORDINANCE 03.15.2022

Exhibit 'C':
Building Elevations









DRAFT
ORDINANCE
03.15.2022

CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Valerie Valdez; *Design and Drafting Services Group*
CASE NUMBER:	Z2022-008; *Specific Use Permit (SUP) for a Residential Infill within an Established Subdivision at 7106 Odell Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill within an Established Subdivision* on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

BACKGROUND

The subject property was platted as Lot 7, Block A, Heritage Heights Addition on February 1, 1970. On November 7, 1983 the subject property along with the rest of the Heritage Heights Subdivision was annexed into the City of Rockwall by *Ordinance No. 83-57* [*Case No. A1983-002*]. At the time of annexation the Heritage Heights Subdivision was zoned Agricultural (AG) District. On May 7, 1984, the City Council adopted a City initiated zoning case [*Case No. PZ1984-037-01; Ordinance No. 84-23*] changing the zoning of the Heritage Heights Subdivision from Agricultural (AG) District to Single-Family 10 (SF-10) District. Based on aerial imagery, a single-family home was constructed on the subject property in 2005, but was demolished due to a fire that occurred on the property around December of 2009. The subject property remained vacant since this date.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 7106 Odell Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are eight (8) parcels of land (*i.e. Lots 8-14 and 31, Block A, Heritage Heights Addition*). These properties are zoned Single-Family 10 (SF-10) District and have single-family homes situated on them. Beyond this is Hunt Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is one (1) parcel of land with a single-family home situated on it (*i.e. Lot 6 Block A, Heritage Heights Addition*). This property is zoned Single-Family 10 (SF-10) District. Beyond this is McKinzie Place which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond McKinzie Place is one (1) parcel of land with a single-family home situated on it (*i.e. Lot 3, Block A, Heritage Heights Addition*). Beyond this is Dalton Road which is classified as a M4U *(i.e. major collector, four (4) lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is one (1) parcel of land (*i.e. Lot 6, Block A, Heritage Heights Addition*) zoned Single-Family 10 (SF-10) District. Beyond this is Holden Drive which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Odell Avenue, which is classified a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is two (2) parcels of land with single-family homes situated on them (*i.e. Lots 7 and 11, Block B, Heritage Heights Addition*). Beyond this Hunt Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "…a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Heritage Heights Addition, which was established on February 1, 1970 and consists of 78 single-family residential lots. The subject property is one (1) of two (2) vacant parcels of land in the Heritage Heights Subdivision. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision and being zoned Single-Family 10 (SF-10) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "…the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing … [*and*] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing …" The following is a summary of observations concerning the housing on Odell Avenue and Hunt Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Odell Ave & Hunt Lane	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face Odell Avenue
Year Built	1977 - 2005	*N/A*
Building SF on Property	44 SF – 3,281 SF	3026 SF
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 30-Feet and 40-Feet	40-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	Greater than Ten (10) Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	Greater Than Ten (10) Feet
Building Materials	Brick and Siding	Stucco, Stone, and Siding
Paint and Color	White, Tan, Grey, Brown, and Red	White
Roofs	Composite and Asphalt Shingles	Composite and Asphalt Shingles
Driveways/Garages	Driveways all front the same street the single-family home faces, and are oriented in a side entry or a j-swing (traditional swing) configuration	Attached garage situated behind the primary structure in a side entry configuration.

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Odell Avenue, Hunt Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 23, 2022, staff mailed 46 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Harland Park, Rockwall Shores, and The Shores at Lake Ray Hubbard Homeowner's Associations (HOA), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the *Specific Use Permit (SUP)* ordinance and which are detailed as follows:

  (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.

  (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,

  (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

(2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	Z2022-008	CASE MANAGER:	Bethany ross
PROJECT NAME:	SUP for Residential Infill at 7106 Odell Avenue	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:	7106 ODELL AVE, ROCKWALL, 75087	CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-008; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 7106 Odell Avenue
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 7106 Odell Avenue.
I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.
M.3 For reference, include the case number (Z2022-008) in the lower right-hand corner of all pages on future submittals.
I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the last vacant parcel located within the Heritage Heights Subdivision, which consists of 78 lots and was established on February 1, 1970.
I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision … [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
I.6 In this case, the proposed request appears to meet all of the requirements for Residential Infill Adjacent to an Established Subdivision, and the zoning requirements for a property in a Single-Family 10 (SF-10) District.
M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.
I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

ENGINEERING	Amy Williams	02/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: No comments

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Z2022-008

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☒ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	7106 Odell Avenue				
SUBDIVISION	Heritage Heights Addition	LOT	7	BLOCK	A
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	X	CURRENT USE	None
PROPOSED ZONING		PROPOSED USE	
ACREAGE	17,102 sf	LOTS [CURRENT]	LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	JCK Concrete Inc.	☐ APPLICANT	Design & Drafting Serv Group
CONTACT PERSON	Blanca Canales	CONTACT PERSON	Valerie Valdez
ADDRESS	P.O. Box 311	ADDRESS	123 W. Main st
CITY, STATE & ZIP	Fate TX. 75132	CITY, STATE & ZIP	Ground Prairie, TX 75052
PHONE	214 803 9043	PHONE	469 999-0800
E-MAIL	blanca@JCKcorporate.net	E-MAIL	Valerie@ddsg.us

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Blanca Canales [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 215.00 *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 17th *DAY OF* February *, 20* 22 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th *DAY OF* February *, 20* 22

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

TANYA BUEHLER
Notary Public
STATE OF TEXAS
ID# 13099192-5
My Comm. Exp. MAR. 10, 2025

MY COMMISSION EXPIRES

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

City of Rockwall

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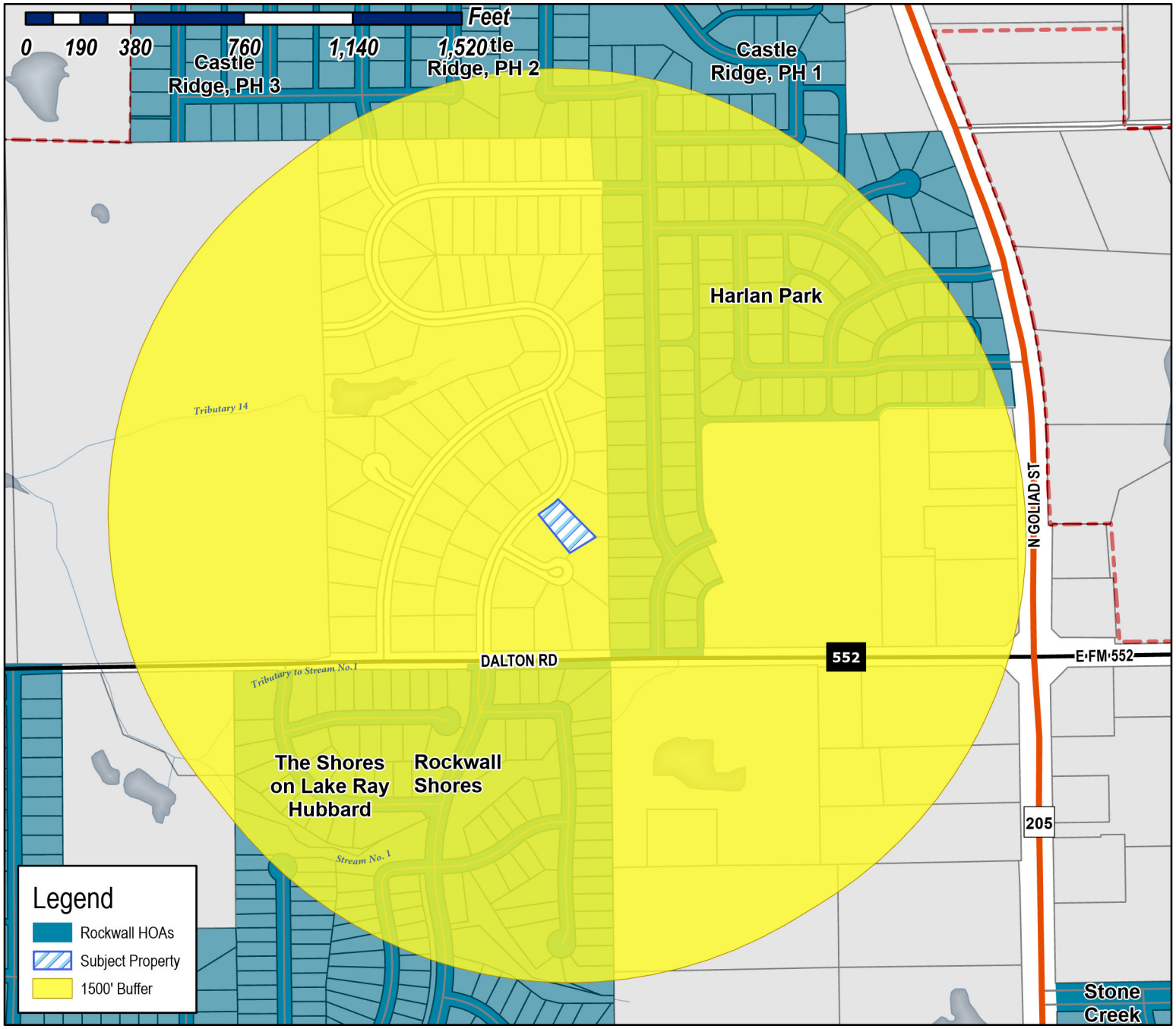
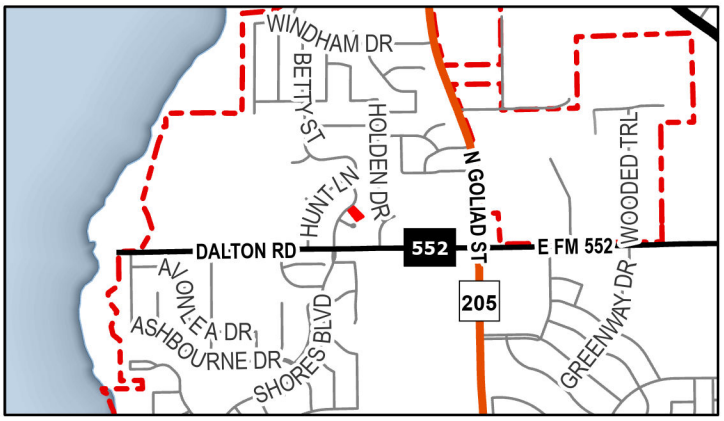


Case Number: Z2022-008
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 7106 Odell Avenue



Date Saved: 2/17/2022
For Questions on this Case Call (972) 771-7745

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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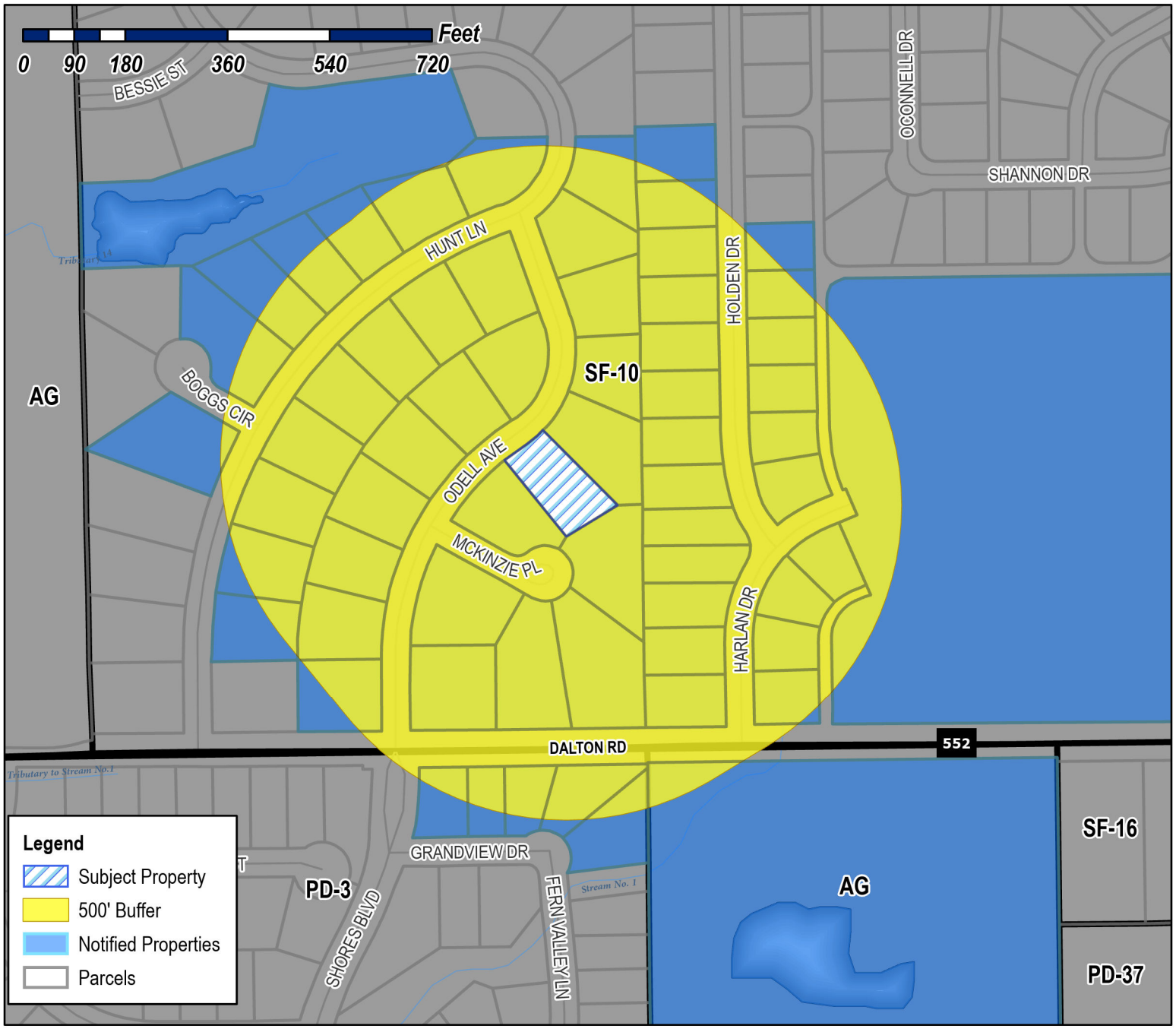

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Zoning: Single-Family 10 (SF-10) District
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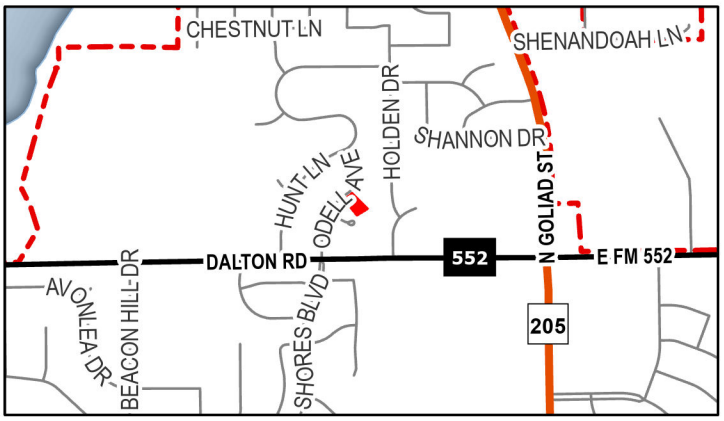


Date Saved: 2/17/2022
For Questions on this Case Call (972) 771-7745

HOLMES NILES W & LINDA F
122 JAMES DR
ROCKWALL, TX 75032

YANG BO AND
YUE HU
1265 GRANDVIEW DR
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1275 GRANDVIEW DR
ROCKWALL, TX 75087

GONZALEZ FERNANDO
1285 GRANDVIEW
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1292 HIGHLAND DR
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
1295 GRANDVIEW DR
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY
139 WAGON TRAIL
ROCKWALL, TX 75032

HOLLAND REBECCA E AND PAUL
2534 CR 3419
HAWKINS, TX 75765

HODGES BARBARA
2800 FERN VALLEY LANE
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON ROAD
ROCKWALL, TX 75087

CARTER RICHARD W AND JODY
406 MCKINZIE PL
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY
408 MCKINZIE PL
ROCKWALL, TX 75087

MASON KEITH AND
ANN MARIE MASON
410 MCKENZIE PLACE
ROCKWALL, TX 75087

TELLKAMP JOHN P AND RAQUEL
505 BOGGS CIR
ROCKWALL, TX 75087

YANG BO AND
YUE HU
707-8633 CAPSTAN WAY
RICHMOND CANADA, 98029

BULLARD JUSTIN
JOLIE DAY
7100 HARLAN DRIVE
ROCKWALL, TX 75087

7100 ODELL
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K
7101 HARLAN DR
ROCKWALL, TX 75087

DOOLEY BRIAN AND MICHELLE
7101 ODELL AVE
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE
7102 HARLAN DR
ROCKWALL, TX 75087

FRINK JOSEPH B & DIANA G
7102 HUNT LN
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST
KIMBERLY DALE LAWRENCE TRUSTEE
7102 ODELL AVENUE
ROCKWALL, TX 75087

MCKINNEY TERRY L
7103 ODELL AVE
ROCKWALL, TX 75087

DOUPHRATE SHARON K
7103 HARLAN DR
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY
7104 HARLAN DR
ROCKWALL, TX 75087

KELSO JAMES P & BLYSON R
7104 HUNT LN
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL
7104 ODELL AVENUE
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J
7105 HARLAN DRIVE
ROCKWALL, TX 75087

DREXLER PAUL E & TAMRA L
7105 ODELL AVE
ROCKWALL, TX 75087

HAMMERS MARIE
7106 HARLAN DRIVE
ROCKWALL, TX 75087

MCWHIRTER SATHINA ANJEANNETTE
7106 HUNT LN
ROCKWALL, TX 75087

JCK CUSTOM HOMES LLC
7106 ODELL AVE
ROCKWALL, TX 75087

SHORES SUSAN RUTH
7107 HARLAN DRIVE
ROCKWALL, TX 75087

CEGELSKI ERIC & ASHLEY DICKENS
7107 ODELL AVENUE
ROCKWALL, TX 75087

ROMERO JOE JR
7108 HUNT LN
ROCKWALL, TX 75087

SCHULTZ FREDERICK JR AND LORI
7108 ODELL AVE
ROCKWALL, TX 75087

THOMPSON THOMAS J &
PAIGE C TILEY
7109 HOLDEN DR
ROCKWALL, TX 75087

ROMANS STEPHEN WAYNE & BROOK CONAWAY
7109 ODELL AVENUE
ROCKWALL, TX 75087

DEWEES JAMES R & CLOMA J
7109 HUNT LN
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE
MARY E GREENLEY REVOC LIVING TRUST
7110 HOLDEN DR
ROCKWALL, TX 75087

CRISWELL BARBARA GORE
7110 HUNT LN
ROCKWALL, TX 75087

VEAZEY KERMIT L JR AND REBECCA M
7110 ODELL AVENUE
ROCKWALL, TX 75087

SMITH DANIEL C AND KASIE I
7111 HUNT LANE
ROCKWALL, TX 75087

COURSON MARTHA SUE
7111 ODELL AVE
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7111 HOLDEN DR
ROCKWALL, TX 75087

EWALD PATRICIA
7112 HUNT LN
ROCKWALL, TX 75087

MCKNIGHT BRIAN KEITH AND CHRISTI A
7112 ODELL AVENUE
ROCKWALL, TX 75087

HOLMES NILES W & LINDA F
7112 HOLDEN DR
ROCKWALL, TX 75087

JONES BRADLEY R
7113 HOLDEN DR
ROCKWALL, TX 75087

KOREN FAMILY TRUST
SHAHAR KOREN AND ORLY KOREN- COTRUSTEES
7113 HUNT LANE
ROCKWALL, TX 75087

HILL HAROLD RAYBURN & NANCY J
7113 ODELL AVE
ROCKWALL, TX 75087

CIMO CAMILLE AND
CHARLES CATTO CHASTAIN JR
7114 HOLDEN DR
ROCKWALL, TX 75087

COUCH PHILLIP R & PATTI J
7114 HUNT LN
ROCKWALL, TX 75087

STEPHENSON RONNIE R & JOHNNA
7114 ODELL AVE
ROCKWALL, TX 75087

LLEWELLYN BRIAN & SUE
7115 HUNT LAND
ROCKWALL, TX 75087

TAYLOR ROBERT C & LINDA J
7115 HOLDEN DR
ROCKWALL, TX 75087

PARISH DANNY JOE & MARI KAY
7116 HOLDEN DR
ROCKWALL, TX 75087

KENNEALY JENNIFER L AND DANIEL R
7116 HUNT LN
ROCKWALL, TX 75087

WORMSBAKER JOSHUA M AND DAWN M
7117 HOLDEN DRIVE
ROCKWALL, TX 75087

COOK JOHN M
7117 HUNT LN
ROCKWALL, TX 75087

VAUGHN FLOSSIE L &
CAROLYN WILLIS COX
7118 HOLDEN DR
ROCKWALL, TX 75087

BIGHAM BRIAN GARRETT & COURTNEY ANN
7118 HUNT LN
ROCKWALL, TX 75087

ROBERTSON RYAN L & MARCI L
7119 HOLDEN DR
ROCKWALL, TX 75087

CITY OF ROCKWALL
7119 HUNT LN
ROCKWALL, TX 75087

BLYTHE PAUL M
7120 HOLDEN DR
ROCKWALL, TX 75087

HOLLAND REBECCA E AND PAUL
7121 HOLDEN DR
ROCKWALL, TX 75087

WALL CHRISTOPHER D AND ROBIN A
7123 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

CITY OF ROCKWALL
7131HUNTLN
ROCKWALL, TX 75087

PETERSEN SANDRA E
803 DALTON RD
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
P. O. BOX 2379
CHANDLER, AZ 85244

TAYLOR ROBERT C & LINDA J
PO BOX 236
ROCKWALL, TX 75087

DOUPHRATE SHARON K
PO BOX 2561
ROCKWALL, TX 75087

JCK CUSTOM HOMES LLC
PO BOX 311
FATE, TX 75132

DEWEES JAMES R & CLOMA J
PO BOX 609
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-008: SUP for a Residential Infill at 7106 Odell Avenue

Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-008: SUP for a Residential Infill at 7106 Odell Avenue

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

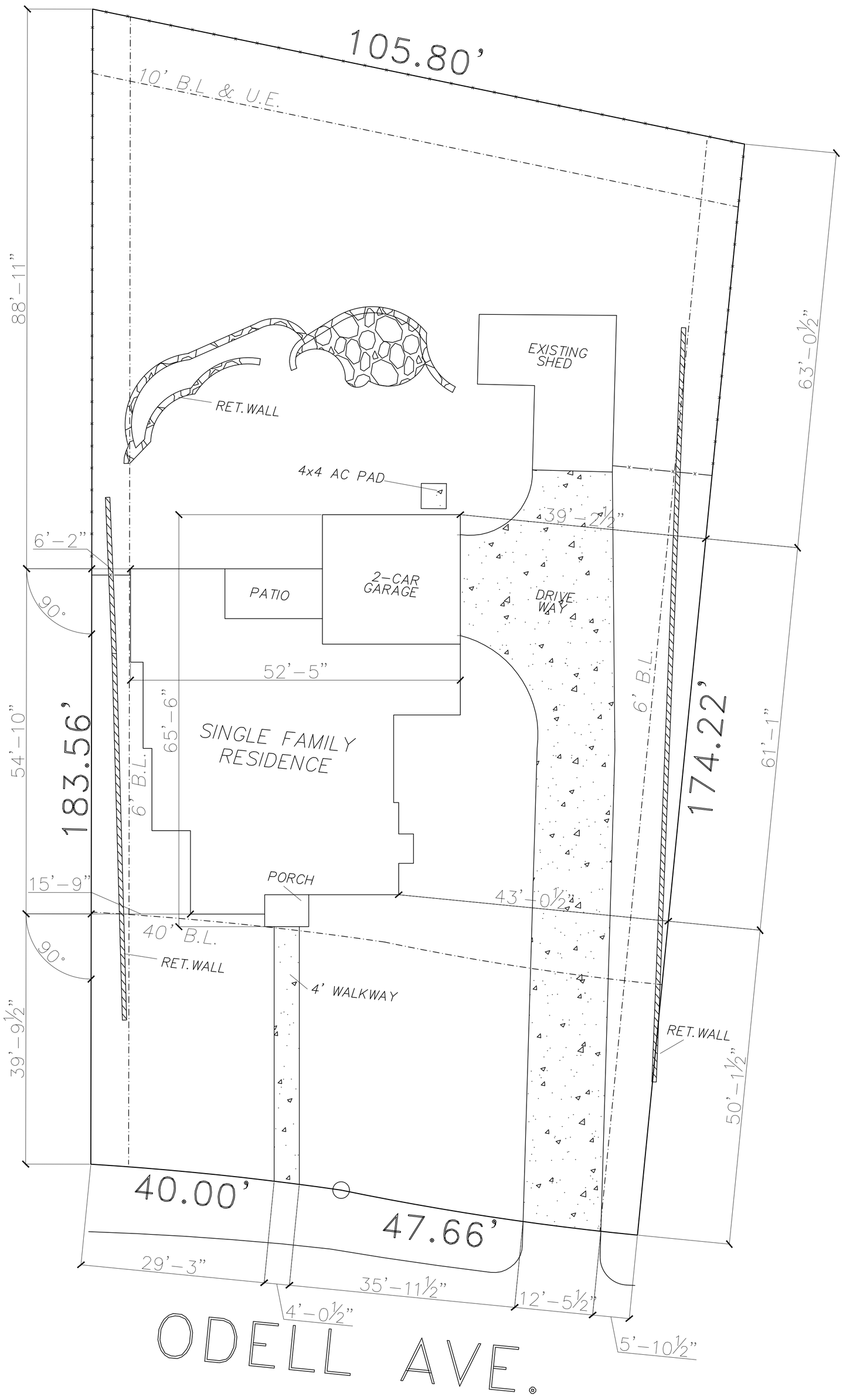
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NORTH
SCALE: 1' = 10'-0"



LOT SF: 17102 SF
TOTAL EXISTING IMPERVIOUS COVERAGE: 2,165 SF
TOTAL EXISTING IMPERVIOUS COVERAGE %: 12.6%

LOT SF: 17102 SF
PROPOSED SINGLE FAMILY DUELING SF: 2,526 SF
TOTAL PROPOSED BUILDING COVERAGE %: 14.7%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 4,854 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 28.3%

CASE NUMBER ZZ2022-008

CUSTOMER SIGNATURE:

DATE:

NOTES:

LEGEND

- DRAINAGE FLOW
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- REQUIRED TREE PLANTING
- REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E.- VISIBILITY EASEMENT
-EXPOSED AGGREGATE CONCRETE

BUILDER: HOME C & C	DATE: 01-12-2021
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 7106 ODELL AVE.	CITY: ROCKWALL
LOT: 7 BLOCK: A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN | SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE OF THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.

2. ALL SITE PAVING TO BE DONE IN ACCORDANCE WITH THE APPROVED PAVING PLAN BY THE CITY FOR THE PROJECT.

3. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THE SITE.

4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF PERMITTING. AT THE REQUEST OF THE CLIENT, GRADING PLAN WAS ASKED TO BE PREPARED BASED ON PUBLIC TOPOGRAPHIC INFORMATION OBTAINED FROM NCTCOG MAP. OKM ENGINEERING, INC. CANNOT BE HELD LIABLE FOR ANY INCONSISTANCIES ASSOCIATED WITH THE USAGE OF SUCH TOPOGRAPHIC MAP. CONTRACTOR SHALL ENGAGE THE SERVICES OF A REGISTERED PROFFESIONAL SURVEYOR TO VERIFY ALL SPOT ELEVATIONS REFLECTED ON THIS DRAWING, INCLUDING THE TOP OF CURB, TOP OF ASPHALT OR PAVEMENT AND EXISTING GRADES. DESIGN ENGINEER SHALL BE CONTACTED IF THERE IS ANY INFORMATION OBTAINED FROM THE ABOVE MENTIONED SURVEY THAT IN THE OPINION OF THE CONTRACTOR WOULD AFFECT THE RECOMMENDED DESIGN ON THIS PLAN FOR CLARIFICATION, PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

5. THE CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY.

6. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. MINOR ADJUSTMENTS OF FINISHED GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.

7. PRIOR TO PLACING FILL, THE SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES AND RECOMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR AT OR SLIGHTLY ABOVE THE MOISTURE CONTENT AS DETERMINED BY ASTM D-698. FILL MATERIAL SHALL BE PLACED IN SIX TO NINE INCH LIFTS AND COMPACTED IN A SIMILAR MANNER.

8. COLLECT ROOF STORMWATER AND DISCHARGE WITH ROOF PERIMETER DRAIN AND DOWN SPROUT THROUGH THE EAST SIDE OF THE BLDG.

9. MAXIMUM EARTH GRADE = 25%. MINIMUM EARTH GRADE = 1%.

10. NO TREE SHALL BE PLANTED WITHIN 20 FEET OF THE BUILDING FOUNDATION.

11. SERVICES OF STRUCTURAL ENGINEER MUST BE ENGAGED FOR DESIGN OF RETAINING WALL WITH OVER FOUR FEET IN HEIGHT, BASED ON ALL HEIGHT AS MEASURED FROM BOTTOM OF WALL (B.W.) TO TOP OF WALL (T.W.).

EXISTING UTILITY NOTES:

1. THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. OKM ENGINEERING, INC. (OKM) ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.

4. NOTIFY IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.

5. ANY EXISTING UTILITY APPURTENANCES (MH, VALVES, METER BOXES, ETC.) TO BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES AS INDICATED ON THESE PLANS. NOTIFY IF THERE IS A PROBLEM MAKING SAID ADJUSTMENTS.

SPOT ELEVATION KEY:

102.000.0 — SPOT ELEVATION
TP — TOP OF SWALE
TW — TOP OF WALL
BW — BOTTOM OF WALL

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

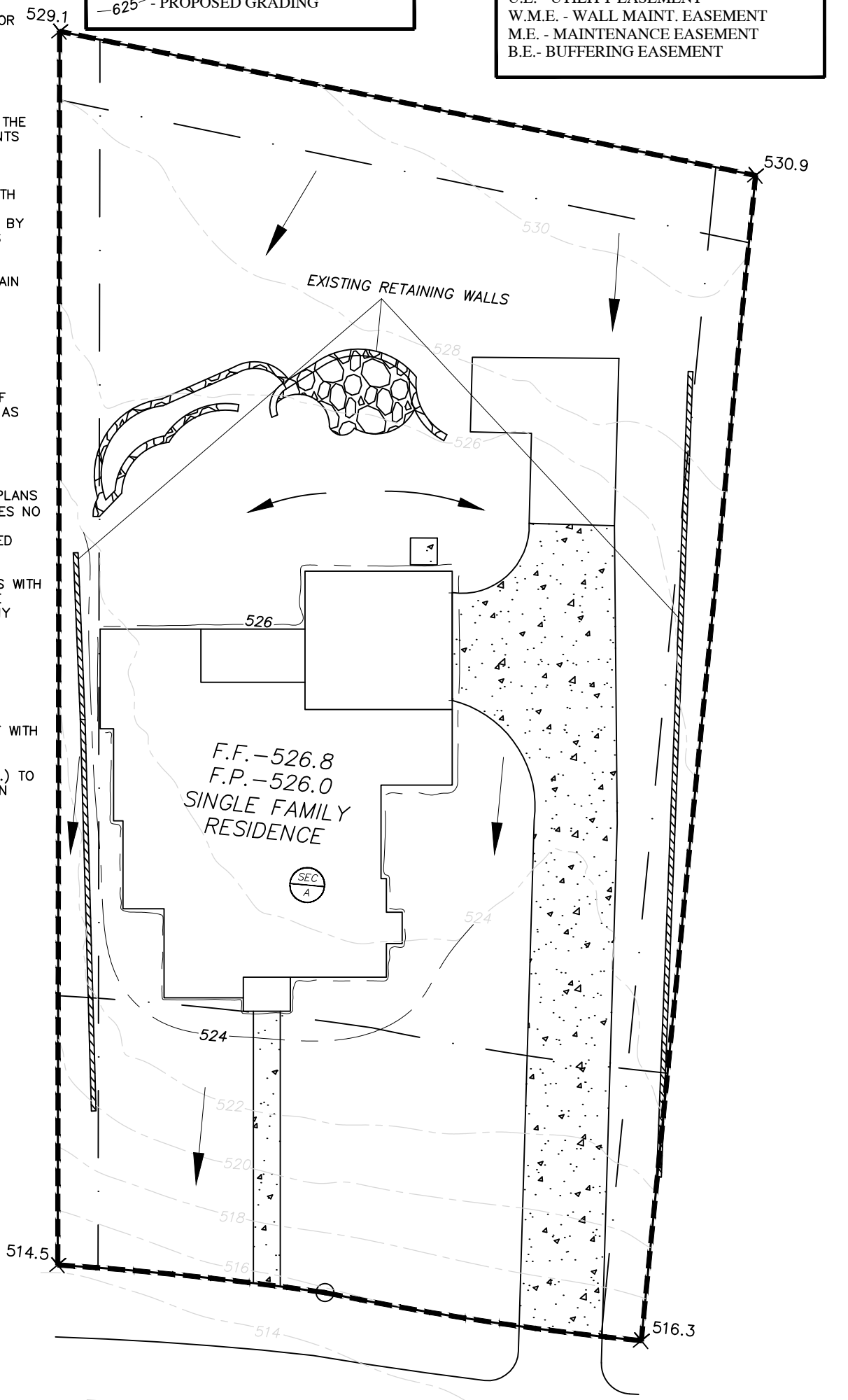
CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.

LEGEND

- PROPOSED DRAINAGE
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- 625 - EXISTING GRADING
- 625 - PROPOSED GRADING

L.E. - LANDSCAPE EASEMENT
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
B.E.- BUFFERING EASEMENT



ODELL AVE

GRADING TYPE "A"

CASE NUMBER ZZ2022-008

STATE OF TEXAS
J. S. BARTON
58124
LICENSED
PROFESSIONAL ENGINEER

JSB Engineer
F-20338

NORTH

SCALE: 1' = 20'-0"

STORM WATER CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.392	1.920800

ADDRESS: 7106 ODELL AVE.
ROCKWALL, TX.
DRAWN BY: DDSG
DATE: 01-13-2022

DDS GROUP

GRADING PLAN

GENERAL NOTES

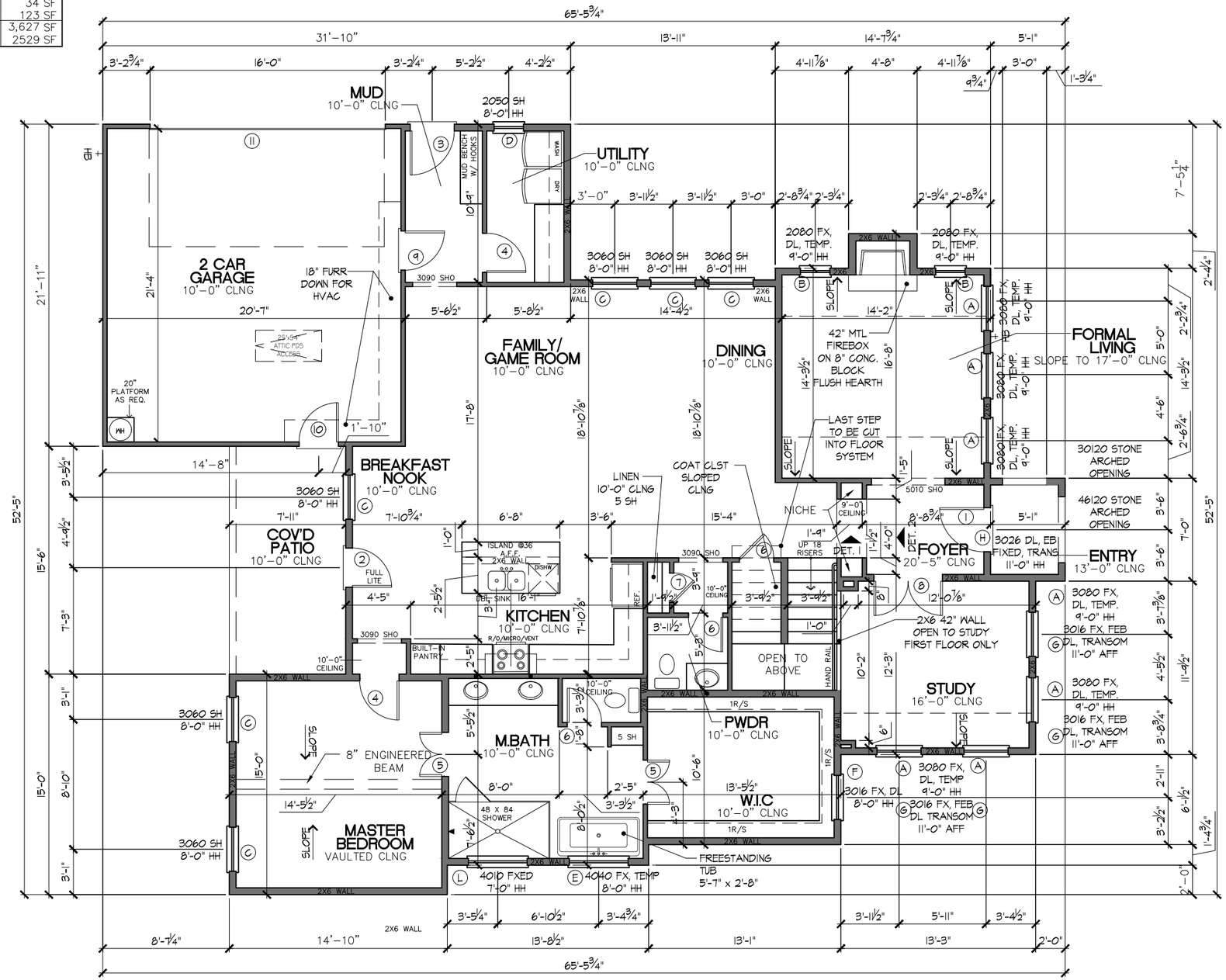
1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45' DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED)TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

SQUARE FOOTAGE TABLE

AREA	MASONRY
FIRST FLOOR	1,928 SF
SECOND FLOOR	1,098 SF
TOTAL LIVING	3,026 SF
GARAGE	444 SF
FRONT PORCH	34 SF
COVERED PATIO	123 SF
TOTAL COMBINED	3,627 SF
TOTAL SLAB	2529 SF

MASONRY LEGEND

STONE BRICK



DOOR SCHEDULE - FIRST FLOOR

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR W/ HALF DIVIDED LIGHT
2	1	2880	EXTERIOR 1 LT DOOR
3	1	2880	EXTERIOR W/ HALF DL
4	2	2880	INTERIOR
5	2	2-1680	INTERIOR
6	3	2480	INTERIOR
7	1	2080	INTERIOR
8	1	2-2480	INTERIOR - FRENCH DOORS
9	1	2880	INTERIOR SOLID CORE DOOR
10	1	2880	EXTERIOR SOLID CORE DOOR
11	1	16080	GARAGE OVERHEAD

WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	7	3080	VINYL 3 STAR ENERGY - FIXED, DL, TEMPERED
B	2	2080	VINYL 3 STAR ENERGY - FIXED, DL, TEMPERED
C	6	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2050	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	4040	VINYL 3 STAR ENERGY - FIXED, TEMPERED
F	1	3016	VINYL 3 STAR ENERGY - FIXED, DL
G	5	3016	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
H	1	3026	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
J	5	3050	VINYL 3 STAR ENERGY - SINGLE HUNG, DL
K	2	2030	VINYL 3 STAR ENERGY - FIXED, DL, EB
L	1	4010	VINYL 3 STAR ENERGY - FIXED
M	2	3050	VINYL 3 STAR ENERGY - SH, DIVIDED LIGHT

1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

CASE NUMBER ZZ2022-008

DDS GROUP
DDS GROUP 469-999-0800
123 W. MAIN ST. 214-966-0550
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

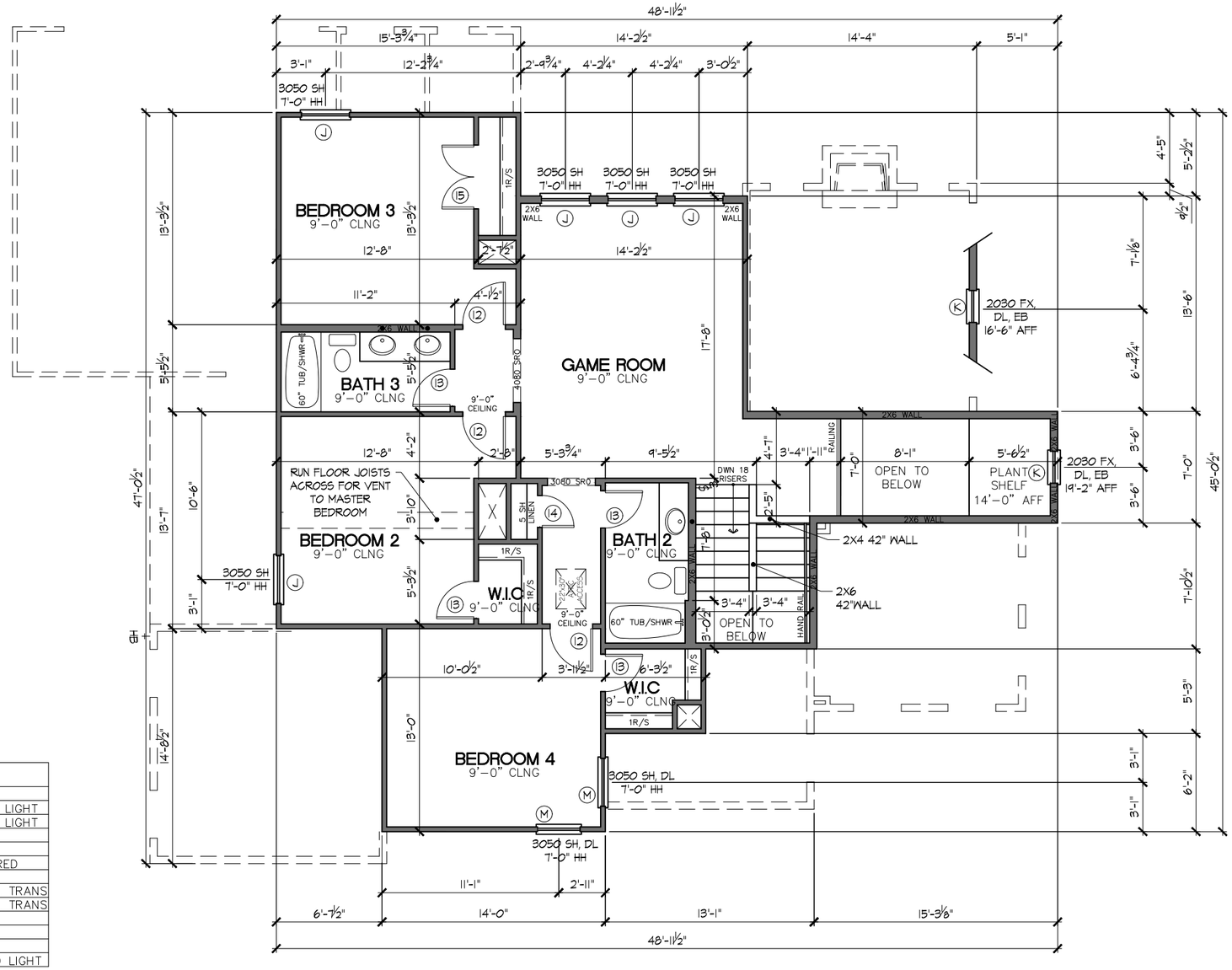
DESIGNER: DDS GROUP

PROJECT #: ZZ2022-008

7106 ODELL AVENUE ROCKWALL, TX

ELEVATION: A

SHEET NUMBER: A2



DOOR SCHEDULE - SECOND FLOOR			
NUMBER	QUANTITY	TYPE	DESCRIP.
12	3	2868	INTERIOR
13	4	2468	INTERIOR
14	1	2068	INTERIOR
15	1	2-2068	INTERIOR

WINDOW SCHEDULE			
LETTER	QUANTITY	TYPE	DESCRIP.
A	7	3080	VINYL 3 STAR ENERGY – FIXED, DIVIDED LIGHT
B	2	2080	VINYL 3 STAR ENERGY – FIXED, DIVIDED LIGHT
C	6	3060	VINYL 3 STAR ENERGY – SINGLE HUNG
D	1	2050	VINYL 3 STAR ENERGY – SINGLE HUNG
E	1	4050	VINYL 3 STAR ENERGY – FIXED, TEMPERED
F	1	3018	VINYL 3 STAR ENERGY – FIXED, DL
G	5	3216	VINYL 3 STAR ENERGY – FIXED, DL, EB, TRANS
H	1	3023	VINYL 3 STAR ENERGY – FIXED, DL, EB, TRANS
J	6	3050	VINYL 3 STAR ENERGY – SINGLE HUNG
K	2	2030	VINYL 3 STAR ENERGY – FIXED, DL, EB
L	1	4010	VINYL 3 STAR ENERGY – FIXED
M	1	3050	VINYL 3 STAR ENERGY – FIXED, DIVIDED LIGHT

1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

CASE NUMBER ZZ2022-008

DDS GROUP
123 W. MAIN ST.
GRAND PRAIRIE TX. 75050
469-999-0800
214-966-0550
WWW.DDSGROUP.COM

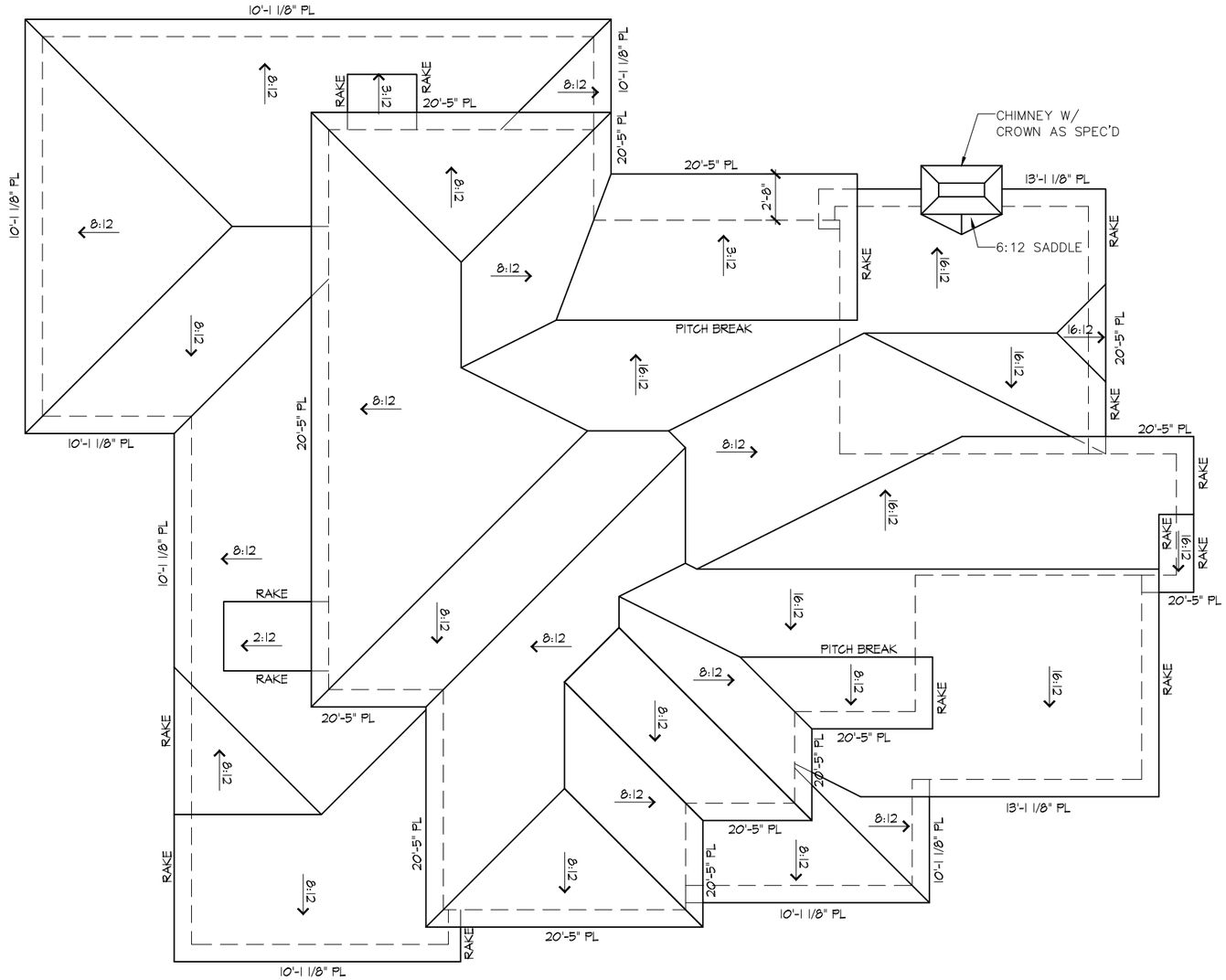
DESIGNER:
DDS GROUP

PROJECT #:
ZZ2022-008

7106 ODELL AVENUE ROCKWALL, TX

ELEVATION:
A

SHEET NUMBER:
A3



ATTIC VENT CALCULATIONS –(MINIMUM)

TOTAL ROOF AREA (INCLUDING OVERHANG)	2,784 SF
TOTAL FREE AREA VENT REQD. (ROOF AREA / 300.00)	9 SF
TOTAL # OF ROOF VENTS REQD. (TOTAL FREE AREA / 2 / 1.0 SF)	5 VENTS
TOTAL # OF SOFFIT VENTS REQD. (TOTAL FREE AREA / 2 / .39 SF)	12 VENTS

ROOF NOTES

1. ARROWS INDICATE DOWNWARD SLOPE.
2. VERIFY FREE AREA OF VENTS REQUIRED.
3. OVERHANGS 12" MIN. FROM OUTSIDE FACE OF FRAME (UNLESS OTHERWISE NOTED ON ROOF PLAN.)

1 ROOF PLAN

SCALE: 1/8" = 1'–0"

CASE NUMBER ZZ2022-008

DDS GROUP
DDS GROUP 469-999-0800
123 W. MAIN ST. 214-966-0550
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

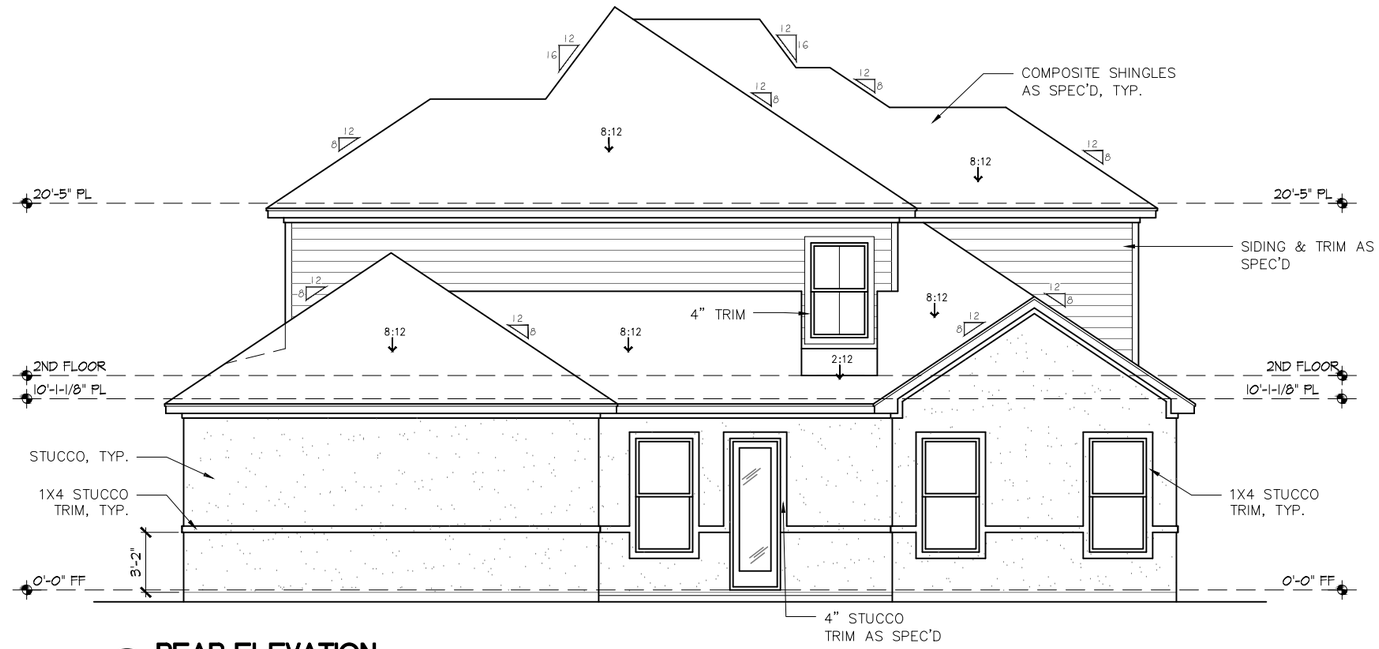
DESIGNER:
DDS GROUP

PROJECT #:
ZZ2022-008

7106 ODELL AVENUE ROCKWALL, TX

ELEVATION:
A

SHEET NUMBER:
A7



1 REAR ELEVATION

SCALE: 1/8" = 1'-0"

2 FRONT ELEVATION

SCALE: 1/8" = 1'-0"

CASE NUMBER ZZ2022-008

MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	153 SF	25.3%	451 SF	74.7%
FRONT	0 SF	0.0%	780 SF	100.0%
LEFT	51 SF	6.8%	696 SF	93.2%
RIGHT	72 SF	10.3%	630 SF	89.7%
TOTAL	276 SF	9.7%	2,557 SF	90.3%
TOTAL THIN STONE VENEER 180 SF				
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				

DDS GROUP
DDS GROUP 469-999-0800
123 W. MAIN ST. 214-966-0550
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

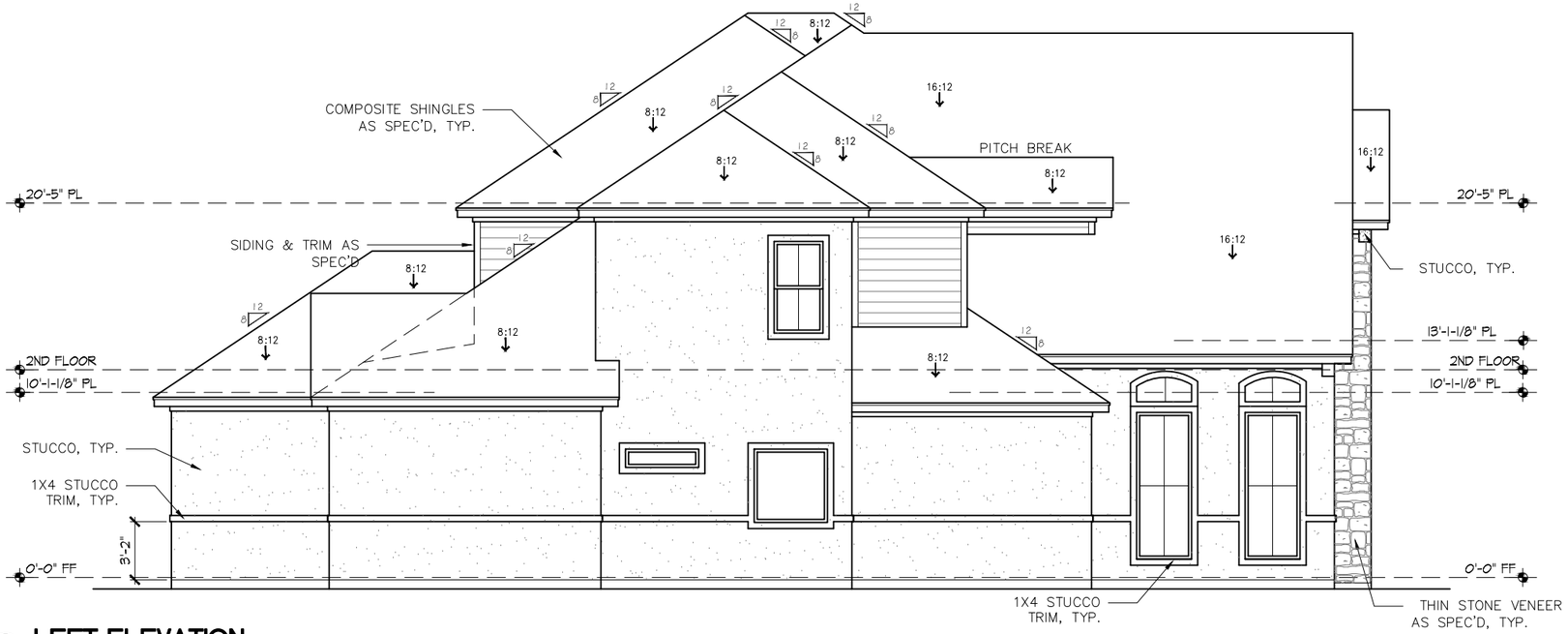
DESIGNER:
DDS GROUP

PROJECT #:
ZZ2022-008

7106 ODELL AVENUE
ROCKWALL, TX

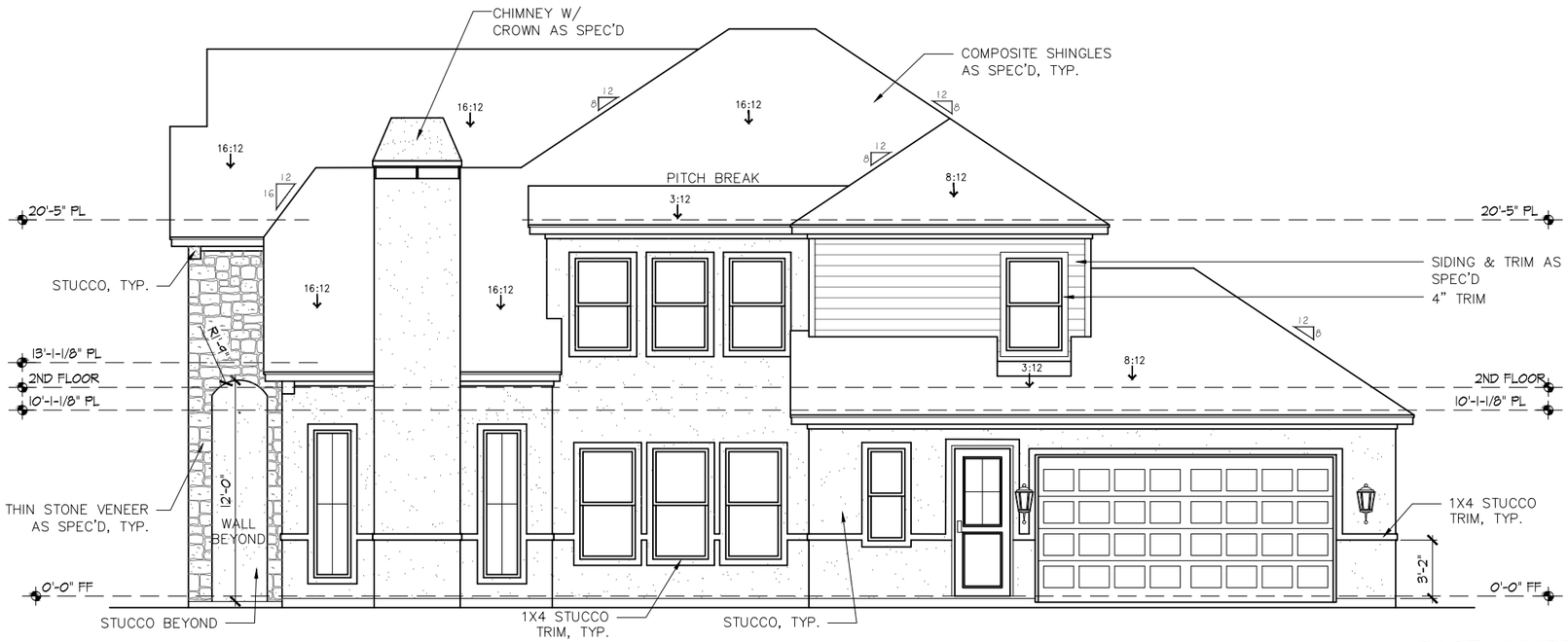
ELEVATION:
A

SHEET NUMBER:
A4



1 LEFT ELEVATION

SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

CASE NUMBER ZZ2022-008

DDS GROUP
469-999-0800
123 W. MAIN ST. 214-966-0550
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

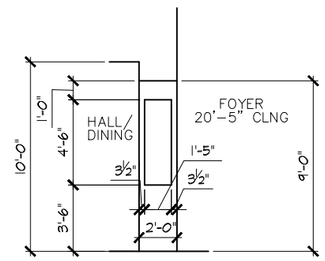
DESIGNER:
DDS GROUP

PROJECT #:
ZZ2022-008

7106 ODELL AVENUE ROCKWALL, TX

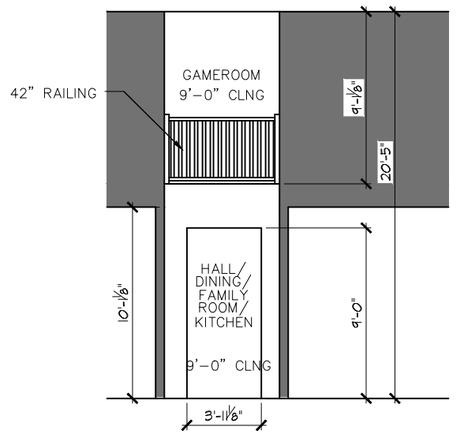
ELEVATION:
A

SHEET NUMBER:
A5



1 NICHE ELEVATION, TYP.

SCALE: 1/8" = 1'-0"



2 FOYER/SECOND STORY LANDING

SCALE: 1/8" = 1'-0"

CASE NUMBER ZZ2022-008

DDS GROUP

DDS GROUP
123 W. MAIN ST.
GRAND PRAIRIE TX. 75050
469-999-0800
214-966-0550
WWW.DDSGROUP.COM

DESIGNER:
DDS GROUP

PROJECT #:
ZZ2022-008

7106 ODELL AVENUE
ROCKWALL, TX

ELEVATION:
A

SHEET NUMBER:
A6

7100 ODELL AVE

7101 ODELL AVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

7102 ODELL AVE

7103 ODELL AVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

7104 ODELL AVE

7105 ODELL AVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

7106 ODELL AVE

7107 ODELL AVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

7108 ODELL AVE

7109 ODELL AVE

7110 ODELL AVE

7111 ODELL AVE

7112 ODELL AVE

7113 ODELL AVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

7114 ODELL AVE

7116 HUNT LANE

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.3990-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK A, HERITAGE HIEGHTS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent in an Established Subdivision* to allow the construction of a single-family home on a 0.3990-acre parcel of land being described as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family*

DRAFT 03.16.2022

10 (SF-10) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the futu*re -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

(1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.

(2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.

(3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

DRAFT
05.25.2022

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

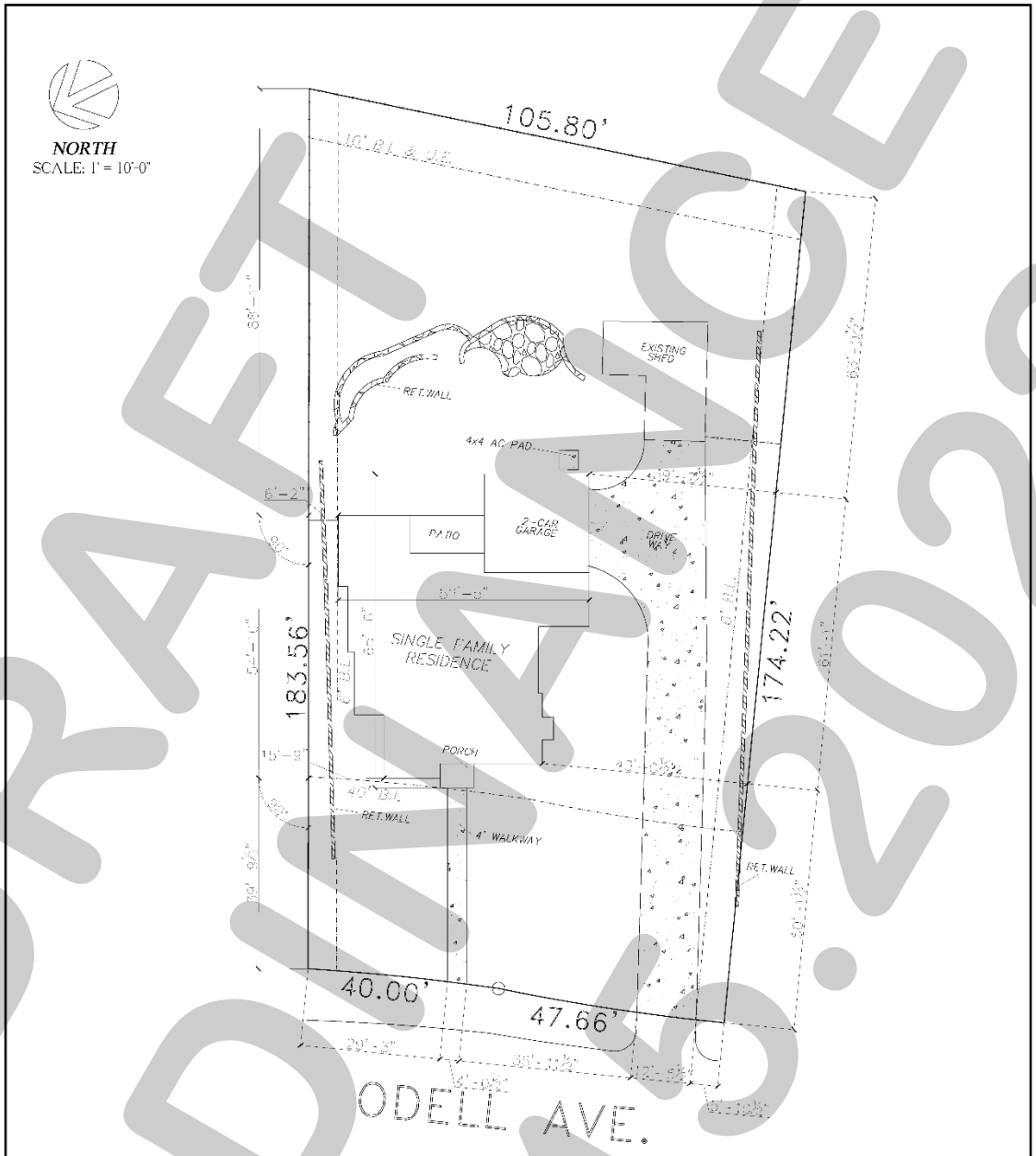
DRAFT ORDINANCE 03.15.2022

Exhibit 'A'
Location Map and Legal Description

Address: *7106 Odell Ave*
Legal Description: *Lot 7, Block A, Heritage Heights Addition*

DRAFT 03.15.2022

Exhibit 'B':
Residential Plot Plan



LOT SF: 17102 SF
TOTAL EXISTING IMPERVIOUS COVERAGE: 2,165 SF
TOTAL EXISTING IMPERVIOUS COVERAGE %: 12.6%

LOT SF: 17102 SF
PROPOSED SINGLE FAMILY DUELING SF: 2,526 SF
TOTAL PROPOSED BUILDING COVERAGE %: 14.7%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 4,854 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 28.3%

CASE NUMBER ZZ2022-008

CUSTOMER SIGNATURE:
DATE:
NOTES:

LEGEND
- DRAINAGE FLOW
- PROPOSED FENCE
- EXISTING FENCE
- CURBEX
- RETAINING WALL
- REQUIRED TREE PLANTING
- REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
-EXPOSED AGGREGATE CONCRETE

BUILDER: HOME C & C	DATE: 01-12-2021
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 7106 ODELL AVE.	CITY: ROCKWALL
LOT: 7 BLOCK: A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

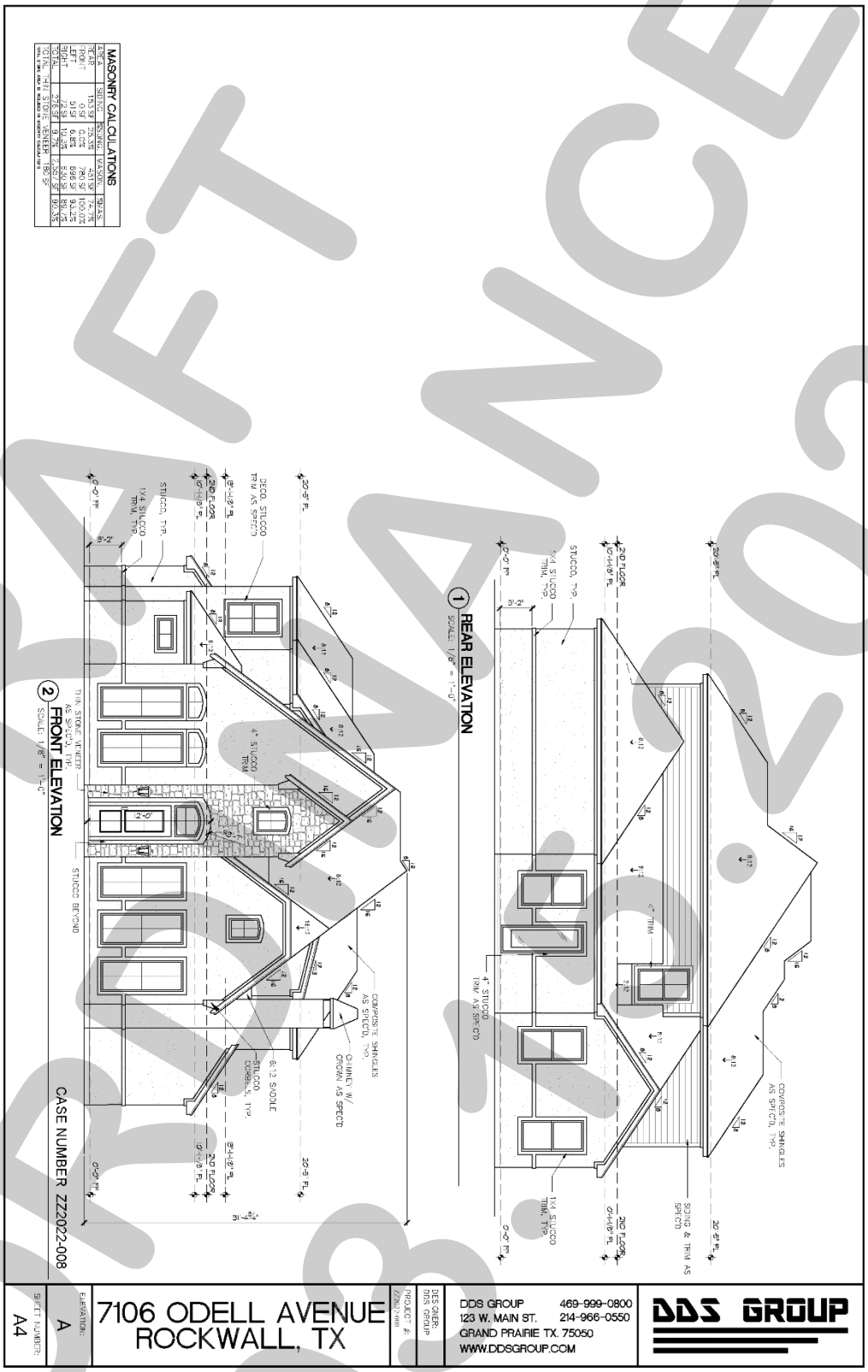
DDS GROUP

PLOT PLAN | SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES, FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.

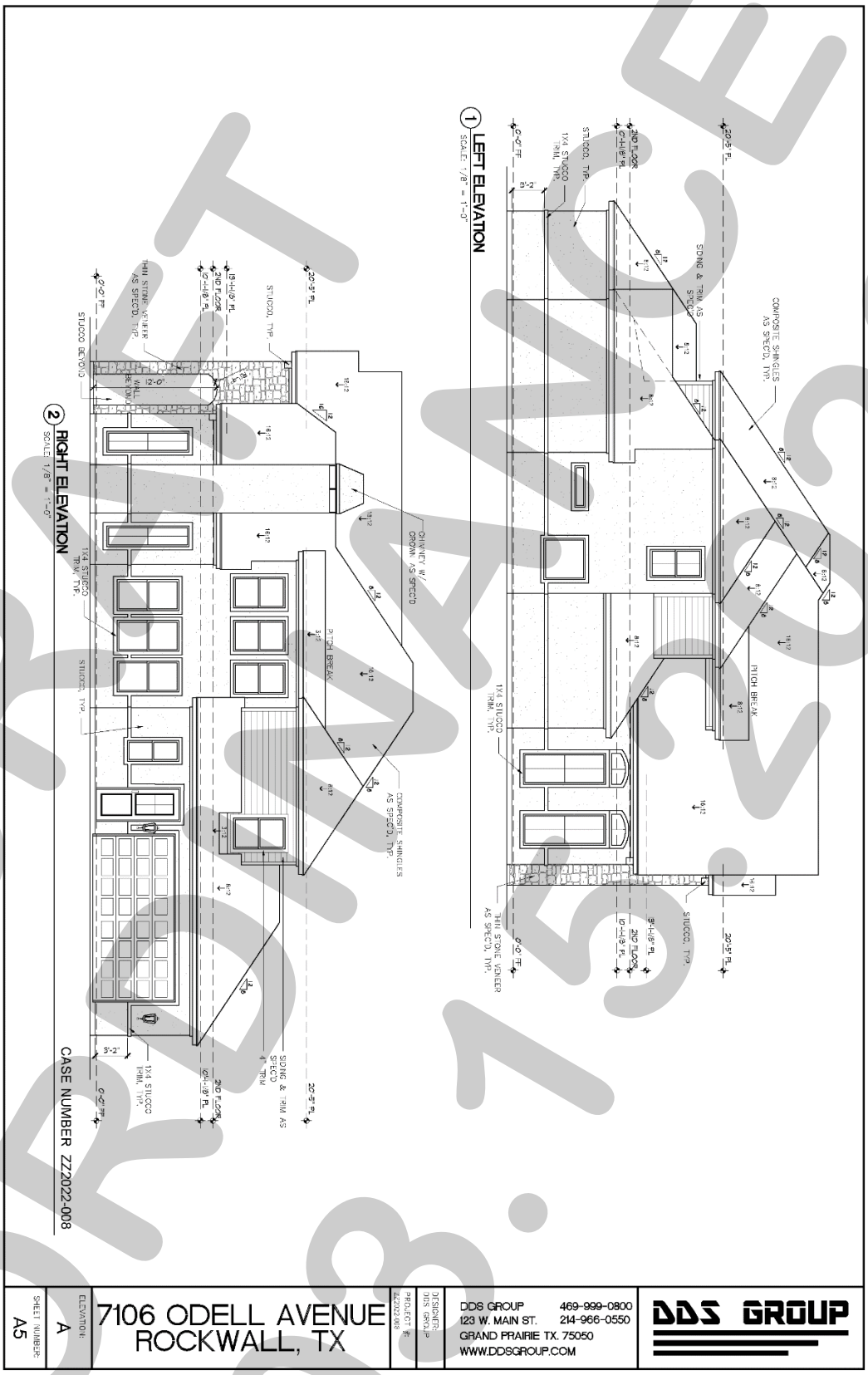
DRAFT OF DIAGRAM 03.15.2022

Exhibit 'C':
Building Elevations



DRAFT ORDINANCE 08.16.2022

Exhibit 'C':
Building Elevations



DRAFT
ORDINANCE
08.15.2022

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Jack Kurz, *RSDGP, LLC*
CASE NUMBER:	Z2022-009; *Specific Use Permit for a Restaurant, 2,000 SF or Less, with a Drive-Through at 902 & 906 S. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 10 (SF-10) District according to the 1983 zoning map. The subject property retained the Single-Family 10 (SF-10) District zoning designation until September 6, 2005 when the City Council approved Planned Development District 62 (PD-62) by adopting *Ordinance No. 05-42* [*Case No. Z2005-031*]. This Planned Development District re-designated the subject property for General Retail (GR) District land uses. In addition, the Planned Development District also re-designated the 0.7329-acre tract of land directly west of the subject property for Zero Lot Line (ZL-5) District land uses. At the time of the zoning change, situated on the 0.7329-acre tract of land was an existing 2,773 SF single-family home that was constructed in 1980. This tract of land, along with the subject property, were platted into Lots 1-3, Block A (*i.e. the 0.7329-acre tract of land*) and Lot 1, Block B (*i.e. the subject property*), Jack Canup Addition (*Case No. P2006-040*), which was filed with Rockwall County on April 11, 2007. The two (2) undeveloped lots west of the subject property (*i.e. Lots 1 & 2, Block A*) were developed with single-family homes in 2016. The subject property was vacant at the time the area was rezoned to Planned Development District 62 (PD-62), and has remained vacant since.

Staff is obligated to note that on September 21, 2020 the City Council granted a request to withdraw a Specific Use Permit (SUP) [*Case No. Z2020-035*] requesting to establish a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the subject property. This request came after the Planning and Zoning Commission unanimously denied the case by a vote of 6-0, with Commissioner Conway absent.

PURPOSE

The applicant -- *Jack Kurz of RSDGP, LLC* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or Less with a Drive-Through/Drive-In* to allow the development of a drive-through restaurant (*i.e. 7 Brew*) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 & 906 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W, Bourn Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway is a 1.8046-acre parcel of land (*i.e. Lot 14, Block M, Sanger Addition*) that serves as an overflow parking lot for the First Baptist Church of Rockwall. The parking lot is zoned General Retail (GR) District. West of this land use, and northwest of the subject property, are eight (8) single-family homes (*i.e. Lots 6-13, Block M, Sanger Addition*) that are zoned Zero Lot Line (ZL-5) District.

South: Directly south of the subject property is a 15-foot undeveloped alleyway. Beyond this are 13 single-family residential lots (*i.e. Lots 1-6, Block 1 and Lots 1-7, Block 2, L&W Addition*) with 12 single-family homes situated on them. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the beginning of the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split, where a portion of S. Goliad Street proceeds south and a portion of the street splits and turns into Ridge Road. Ridge Road is identified as a M4D (*i.e. major collector, four [4] land, divided roadway*) and S. Goliad Street is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. Lots 1-5, Block A, Canup Addition*) that have two (2) buildings situated on them (*i.e. Mattress Depot and Rockwall Floor Covering*). These five (5) parcels of land are zoned Commercial (C) District.

West: Directly west of the subject property is a 20-foot alleyway that is partially developed. Beyond this are three (3) single-family, residential lots (*i.e. Lots 1-3, Block A, Jack Canup Addition*) with three (3) single-family homes situated on them. These properties are zoned Planned Development District 62 (PD-62) for Zero Lot Line (ZL-5) District land uses. Beyond these parcels of land is S. Alamo Street, which is designated as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family residential lots (*i.e. Lots 1-4, Block A and Lots 1-2, Block B, John Spong Subdivision #1*) with five (5) single-family homes situated on them. These lots are followed by the Lake Meadows Subdivision, which consists of 26 residential lots that were established in 1968. All of these properties are zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan depicting the layout of a 510 SF restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented so that the three (3) drive-through lanes will face onto S. Goliad Street. The applicant has stated that there will be no point of order, rather employees will take the orders from the drive-through lines (*i.e. similar to Chick-fil-A*). The *food delivery/payment window* will be oriented toward the residential properties adjacent to the southern property line. To provide landscape screening for the residential adjacencies the applicant has indicates a masonry screening wall with canopy trees adjacent to the residential alleyway located on the west property line. Landscape screening is also being depicted around the dumpster enclosure to screen it from S. Goliad Street [*SH-205*] and the adjacent residential properties.

Ingress and egress for the property will be provided via a driveway off of S. Goliad Street [*SH-205*] and a driveway off of W. Bourn Street. Staff should note that the subject property currently has a driveway off of S. Goliad Street that is located in approximately the center of the subject property. The parking requirement for a *Limited-Service Restaurant* (*i.e. a restaurant that does not provide indoor ordering, seating, and dining*) is one (1) parking space per 250 SF of floor area. In this case, the parking requirement for the proposed restaurant would be three (3) parking spaces. The concept plan shows the provision of 21 parking spaces and is over parked by 19 spaces per the parking requirements.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant with 2,000 SF or Less with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a General Retail (GR) District is tied to the fact that this zoning designation is typically located directly adjacent to or in close proximity to single-family residentially zoned districts. According to the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide *limited* retail and service uses for one (1) or more neighborhoods … [*it*] is not a major

commercial/retail district and should try to avoid intensive commercial land uses that carry large volumes of retail traffic." Based on the potential ability of the *Restaurant with 2,000 SF or Less with a Drive-Through or Drive-In* land use to generate higher traffic volumes, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may *not* be appropriate on all properties zoned General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

(1) Drive-through lanes shall not have access to a local residential street.
(2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
(3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements; however, the proposed concept plan does not provide landscape screening adjacent to drive-through lanes and the business is making use of W. Bourn Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. These non-conformities should be considered as part of this request due to the close proximity of the adjacent residential homes. According to the *Screening from Residential* standards contained in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential…land use…that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." In this case, the subject property is directly adjacent to residentially zoned and used property on the southern and western boundaries and would be required to meet the *Screening from Residential* standards along the entire length of the southern and western property lines.

According to the City's *Engineering Standards of Design Manual*, the proposed driveway along W. Bourn Street does not meet the minimum driveway spacing requirements. The applicant's plan shows this driveway being located just east of the existing residential alley way. The *Engineering Standards of Design Manual* requires that first driveway on W. Bourn Street be 200-feet off of S. Goliad Street [*SH-205*] and the spacing between driveways on W. Bourn Street be 100-feet. In this case the proposed driveway does not meet either of these driveway spacing requirements. This is an important consideration due to the intensity of the proposed land use and the number of trips per day generated by a drive-through restaurant with three (3) drive-through lanes.

STAFF ANALYSIS

When this request was originally reviewed, staff recommended to the applicant that they provide a letter outlining the proposed business operations and the proposed hours of operation. The applicant indicated that they would provide this information; however, at the time this report was drafted staff had not received a letter outlining this information. Staff also informed the applicant about the residential screening and landscaping requirements and that: [*1*] a six (6) foot masonry wall with canopy trees planted on 20-foot centers will be required along the southern and western property line, [*2*] a landscape buffer with a berm, canopy trees, accent trees, and a shrub row will be required along S. Goliad Street [*SH-205*] and W. Bourn Street, and [3] landscape screening must be provided around the dumpster enclosure and the remote cooler. Based on these comments from staff the applicant provided landscaping around the dumpster enclosure and the masonry wall and canopy trees along the adjacent residential alleyway to the west of the subject property; however, failed to extend the wall along the entire residential adjacency and did not show the required headlight screening.

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval requiring a Traffic Impact Analysis (TIA), requiring additional landscaping at the intersection of and along S. Goliad Street and W. Bourn Street, and requiring a six (6) foot masonry wall with canopy trees on 20-foot centers along the entire south and west property lines. With all this being said, a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2022, staff mailed 109 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stonebridge Meadows Homeowners Association (HOA), which is the only HOA's or

Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program (*the Highridge Estates Homeowners Association [HOA] is listed on the notification map, but has not provided contact information*). Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received ten (10) returned notices from nine (9) property owners in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or Less, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. 7 Brew*), then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

(a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.

(b) A minimum of a six (6) foot masonry wall (constructed with materials matching the primary structure) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.

(c) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive-through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street. Additional landscaping may also be required at the time of site plan at the corner of W. Bourne Street and S. Goliad Street to impair the visibility of headlights from the drive-through lane.

(2) A Traffic Impact Analysis (TIA) shall be submitted and reviewed by the City of Rockwall prior to accepting a site plan application for the subject property.

(3) Additional trees, bushes, and shrubs will be required at: [*1*] the corner of and along S. Goliad Street and W. Bourn Street; [*2*] adjacent to the masonry wall along the southern and western property boundaries (*i.e. adjacent to the residential adjacency*), and [*3*] south of the *restaurant ordering board*. These will be required to be shown on the landscape plan submitted with the site plan.

(4) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."

(5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☒ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1&2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	906 S Goliad St, Rockwall, TX				
SUBDIVISION	Jack Carey Addition	LOT	1	BLOCK	B
GENERAL LOCATION	Goliad St + Bourn St.				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	GR/PD-62	CURRENT USE	Vacant		
PROPOSED ZONING	GR w/SUP	PROPOSED USE	Drive thru coffee		
ACREAGE	.43	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	ADLOR ENTERPRISES LLC	☒ APPLICANT	Jack Kurz - RSDEP, LLC
CONTACT PERSON	ALLEN ANDERSON	CONTACT PERSON	Jack Kurz
ADDRESS	1208 S. LAKESHORE DR	ADDRESS	1510 N Dollar Pkwy Ste 440
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	Dallas TX 75248
PHONE	214-538-2209	PHONE	(314) 578-8484
E-MAIL	AA1NTX@MSN.COM	E-MAIL	jkurz@redskyholdings.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALLEN ANDERSON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

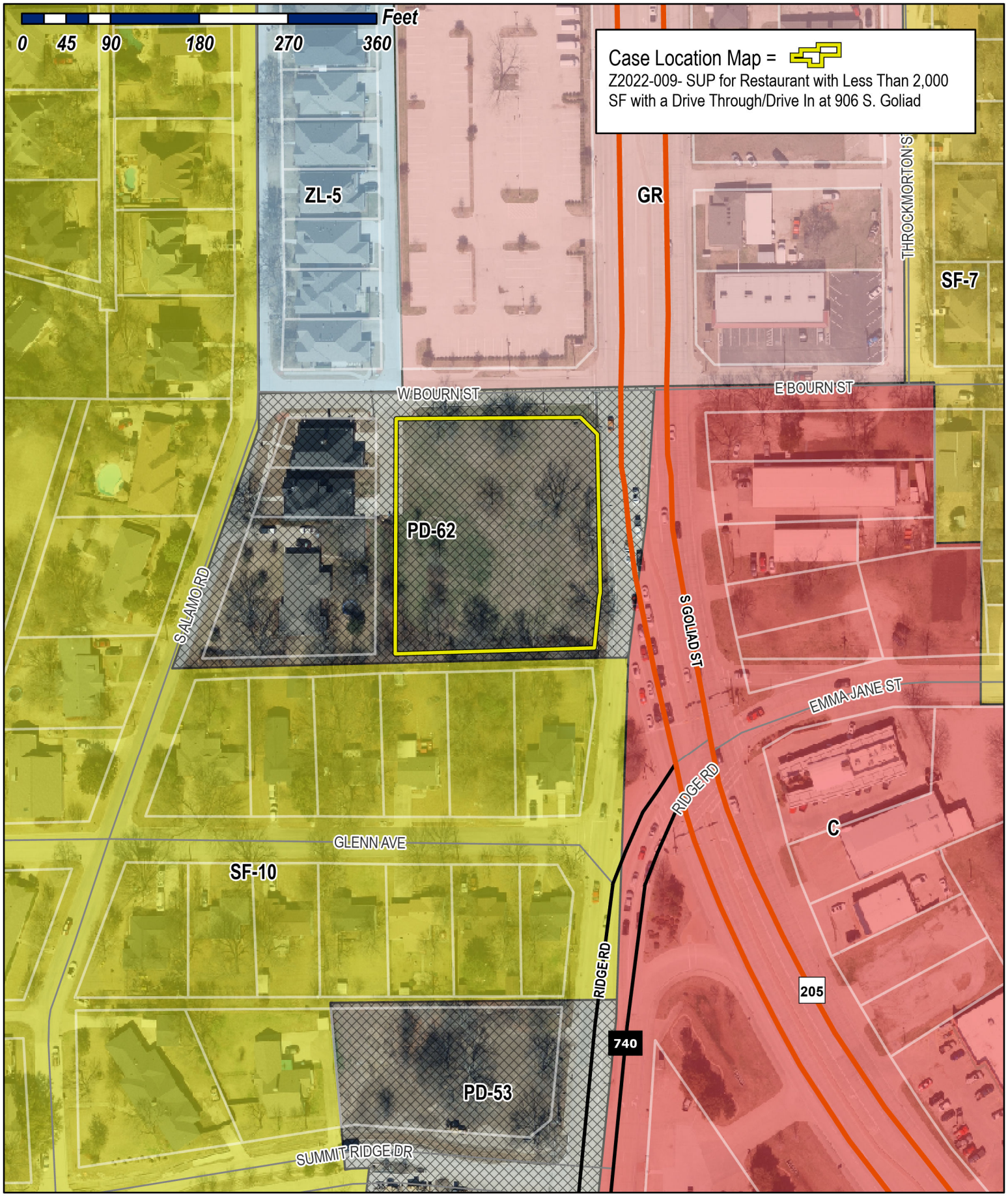
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 *DAY OF* February, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Christine N. Brandy

MY COMMISSION EXPIRES 12/03/2023

NOTARY PUBLIC STATE OF TEXAS
Christine Noel Brandy
My Commission Expires
12/03/2023
ID No. 130457290



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

City of Rockwall

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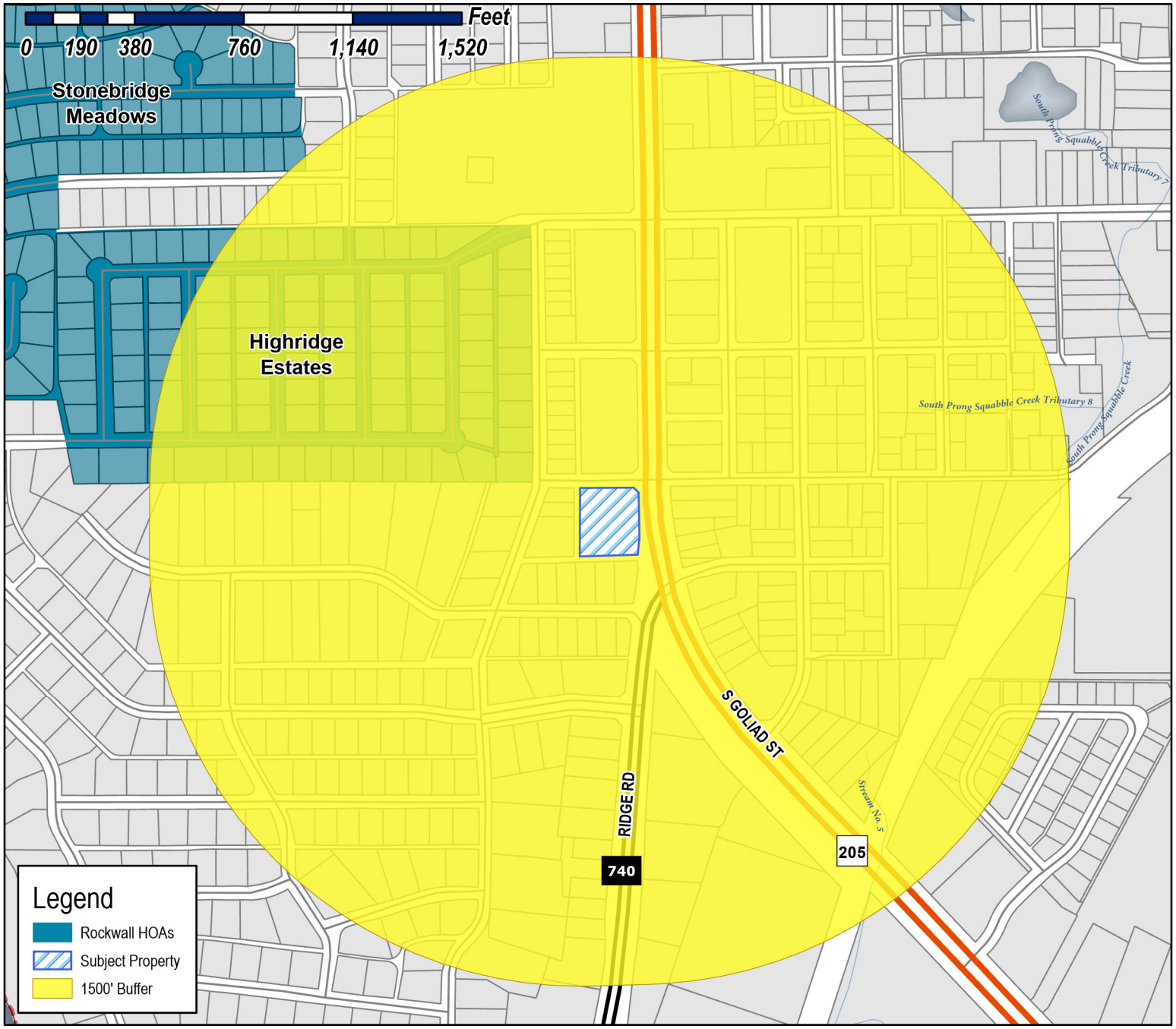


Case Number: Z2022-009
Case Name: SUP for Restaurant with less than 2,000 SF w/ a Drive Through/Drive In
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad

Date Saved: 2/18/2022
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:24 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-009]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.18.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-009: SUP for Restaurant with Less than 2,000 SF with a Drive Through or Drive In
Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

Thank you,

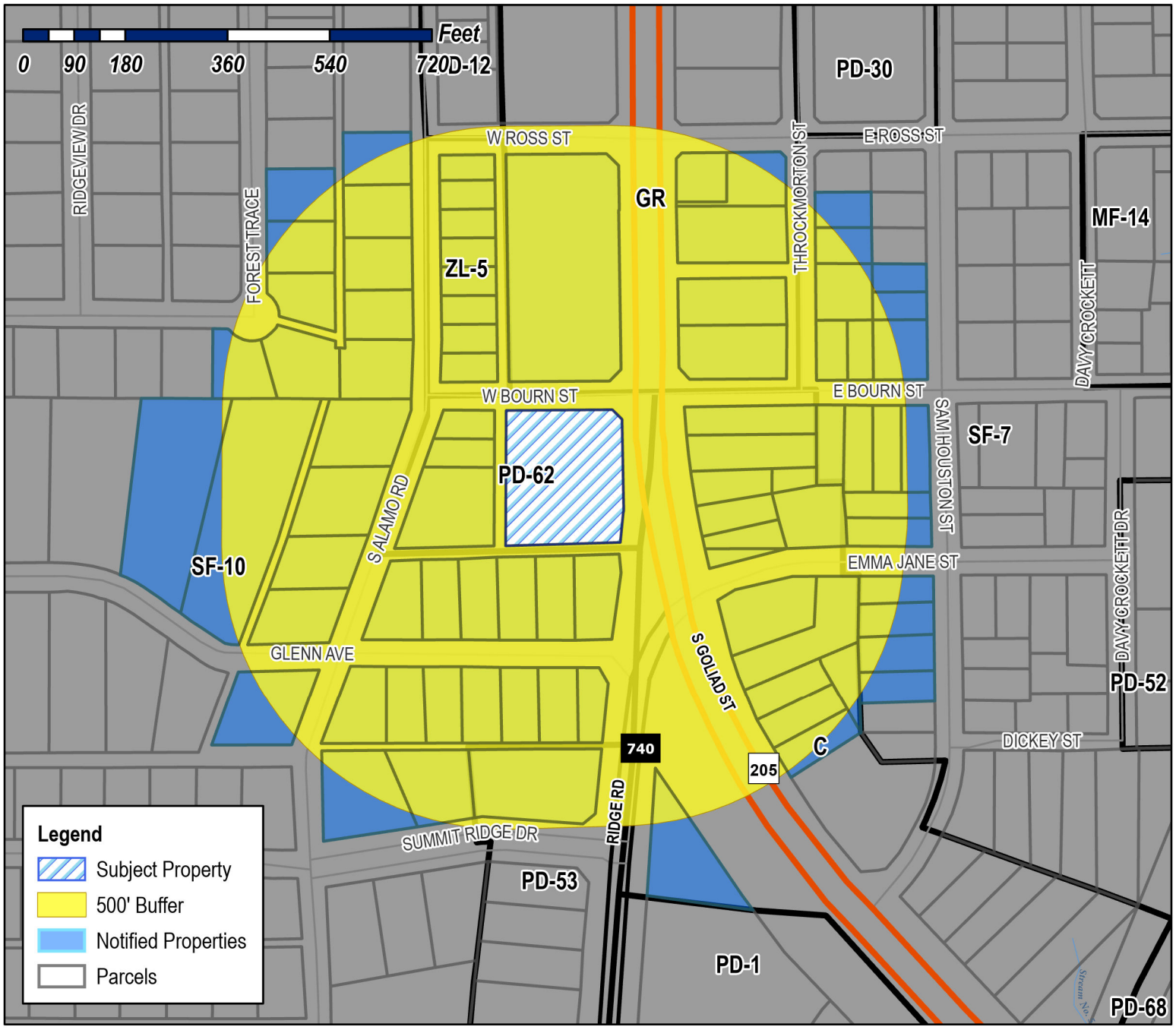
Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

This email was scanned by Bitdefender

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-009
Case Name: SUP for Restaurant less than 2,000 SF w/Drive Through/Drive In
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad
Date Saved: 2/18/2022

For Questions on this Case Call (972) 771-7745

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE RD
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1011 S GOLIAD ST
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENNAVE
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75089

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN AVE
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN AVE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN AVE
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
14 KESWICK CT
HEATH, TX 75032

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
1508 BROOKHLLOW DRIVE
SANTA ANA, CA 92735

RICKERSON CHARLES AND VIRGINIA
1728 RIDGE RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200S UMMIT RIDGE DR
ROCKWALL, TX 75087

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

U S GOVERNMENT HOUSING
206-207EMMA JANE ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN AVE
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
208 EMMA JANE ST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

SCOTT BILLIE JEAN
4 SUNSET TRAIL
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
6104 LYNDON B JOHNSON FREEWAY APT#2502
DALLAS, TX 75240

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
806 SAM HOUSTON ST
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807 S ALAMO RD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
808 SAM HOUSTON ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO RD
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

THOMPSON JAMES LARRY AND SUSAN PRICE
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

GATES TED AND SARAH
904 S ALAMO ROAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE

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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Name: WILLIAM RUPPERT - 9531 RIVERTON RD DALLAS 75218

Address: 104 GLENN - ROCKWALL ADDRESS

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I am protesting the construction of the Restaurant case # Z2022-009 due to the fact it is a residential area. It would highly increase the already high volume of traffic and accidents in the section.

Name: BARBARA McFarlin

Address: 105 Glenn Ave Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Rockwall, TX 75087

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Director of Planning & Zoning

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Name: Chris Knox / CG Holdings LLC

Address: 106 Glenn Ave Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PHONE: (972) 771-7745
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Sincerely,

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Name: Chris Knox / CG Holdings LLC

Address: 709 Glenn Ave. Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Traffic on Goliad is so heavy & increased! Also lots of traffic coming from South Ridge near there has also increased in last 5-7 years.

Name: Barbara J. Pfenning

Address: 107 Glenn Ave., Rockwall, TX (property address, not for mail.)

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Use is too intense in close proximity to residential.
One concept plan shows entrance too close to homes
Intense use so close to major intersection

Name: Mary Smith

Address: 711 Forest Trace 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

We are opposed to the restaurant for these reasons: traffic is already a problem on Bourne, and especially Alamo due to the increase on Goliad. although a coffee shop isn't as bad as a taco place, it's still a restaurant with trash, noise, and people.

Name: RONNIE AND BARBARA WATSON

Address: 801 S. ALAMO

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Ryan Miller, AICP
Director of Planning & Zoning

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below. This location is too close to split of 205 & 740=nightmare 1. Property values would plummet & selling would be very difficult. 2. Most residents are retired. 3. The drive thru would move traffic to access the alley, so our privacy and safety would be negatively impacted. 4. Traffic would increase exponentially is our residential neighborhood. 5. Traffic noise would disturb our peace. 6. Lighting may effect the homeowners living next to it. 7. Litter would be prevalent. 8. The dumpster would be a rid with putrid food, attracting rats & stray animals.

Name: Mike & Debbie Shields

Address: 811 S. Alamo Rd.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

- We do not want a Restaurant in our back Yard.
- There are homes on 2 sides of this Property.
- The City would have to put in a traffic Light @ Bourn & Goliad.

Name: Chuck Scroggs

Address: 813 S. Alamo

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

THE CONSEPTUAL SITE PLANS SHOW ENTRANCE/EXIT TO BUSINESS ON W. BOURN ST. PEOPLE VISITING THIS BUSINESS WILL USE THESE TO ACCESS BUSINESS BY COMING THROUGH OUR RESIDENTIAL AREA ON ALAMO RD. - DANGEROUS TO CHILDREN ON BIKES, WALKERS, DOG WALKERS. SOUTH ALAMO HAS VERY FEW SIDEWALKS; STREET USED BY PEDESTRIANS. PLEASE NO! TRAFFIC ON SOUTH GOLIAD WILL ENCOURGE USING SOUTH ALAMO RD.

Name: JUDY L. RAMSEY

Address: 815 SOUTH ALAMO RD. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

RSDGP, LLC
15110 N Dallas Pkwy
Ste. 440
Dallas, TX 75248

Dear City of Rockwall,

RSDGP is applying for a specific use permit to develop a drive-through concept located at the address of 906 S Goliad St. The development plan is designed to develop the site for 7Brew Coffee. 7Brew Coffee is a new coffee concept in the Dallas area.

RSDGP is applying for a specific use permit because the site is currently in the PD-62 district which is a subsection of the GR, General Retail, district. The 7Brew concept is a 510 SF building with a drive-through. This conceptual development plan would be considered a "restaurant with less than 2,000 SF with Drive-Through or Drive-In". This use requires a specific use permit in the GR zoning district.

In order for the development plan to take place, the first item that needs to be addressed is applying and acquiring a SUP. RSDGP believes that a drive-through coffee concept located at 906 S Goliad St would benefit the local neighborhoods and the city of Rockwall. The site is located at the Ridge Rd and Goliad St split which is why a drive-through coffee concept makes sense in this part of Rockwall. People leaving their homes, heading towards the retail corridor and businesses along I-30 will have an ideal morning coffee stop. RSDGP believes 7Brew will bring positive business and added aesthetic development to the nearby neighborhoods.

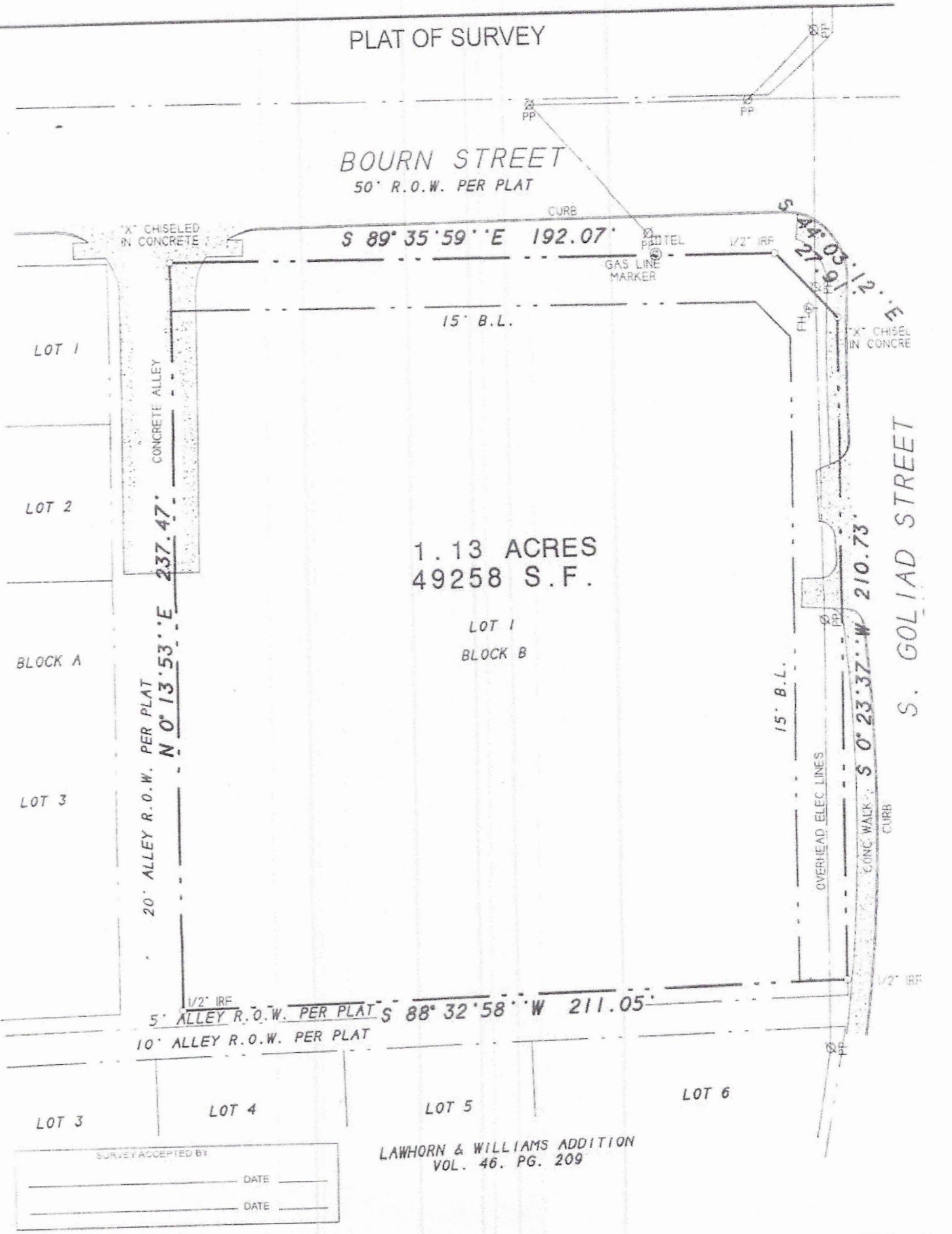
Sincerely,

Jack Kurz
Development Manager
E: jkurz@redskyholdings.com
C: (314) 578-8484

Legal Description

JACK CANUP ADDITION, BLOCK B, LOT 1, ACRES 1.1308

PLAT OF SURVEY



SH 205
VARIABLE WIDTH R.O.W.

DESCRIPTION

Being Lot 1, in Block B of the JACK CANUP ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 133, of the Plat Records of Rockwall County, Texas.

NOTES

1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: RECORDED PLAT.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY and JORGLY, LLC at 906 S. GOLIAD STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 17th day of July, 2015.

Harold D. Fetty III, R.P.L.S. No. 5034

STATE OF TEXAS
REGISTERED
HAROLD D. FETTY III
5034
PROFESSIONAL
LAND SURVEYOR

SYMBOL LEGEND

TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)
FENCE	EASEMENT LINE PROPERTY LINES		A/C AIR COND. UNIT	PROPANE TANK

SURVEY DATE JULY 17, 2015
SCALE 1" = 40' FILE # 20061374-18
CLIENT JORGLY, LLC GF # 15-223229-RL

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6,770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SEVEN BREW 7B DRIVE THRU COFFEE

906 SOUTH GOLIAD STREET

ROCKWALL, TEXAS

1" = 30'

0 10' 20' 30' 60'

N

CONCEPTUAL SITE PLAN

MARCH 10, 2022

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jack Kurz of RSDGP, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [*SH-205*], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

DRAFT ORDINANCE 05-16-2022

Planned Development District 62 (PD-62) [*Ordinance No. 05-42*], and Subsection 04.01, *General Commercial Districts Standards*; and Subsection 04.04, *General Retail (GR) District*; of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the futur*e -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.

2) A minimum of a six (6) foot masonry wall (*i.e. constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees shall be planted on 20-foot centers along the entire length of the wall.

3) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive-through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street. Additional landscaping may also be required at the time of site plan at the corner of W. Bourne Street and S. Goliad Street to impair the visibility of headlights from the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

DRAFT ORDINANCE 03.15.2022

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

_____

Kevin Fowler, *Mayor*

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

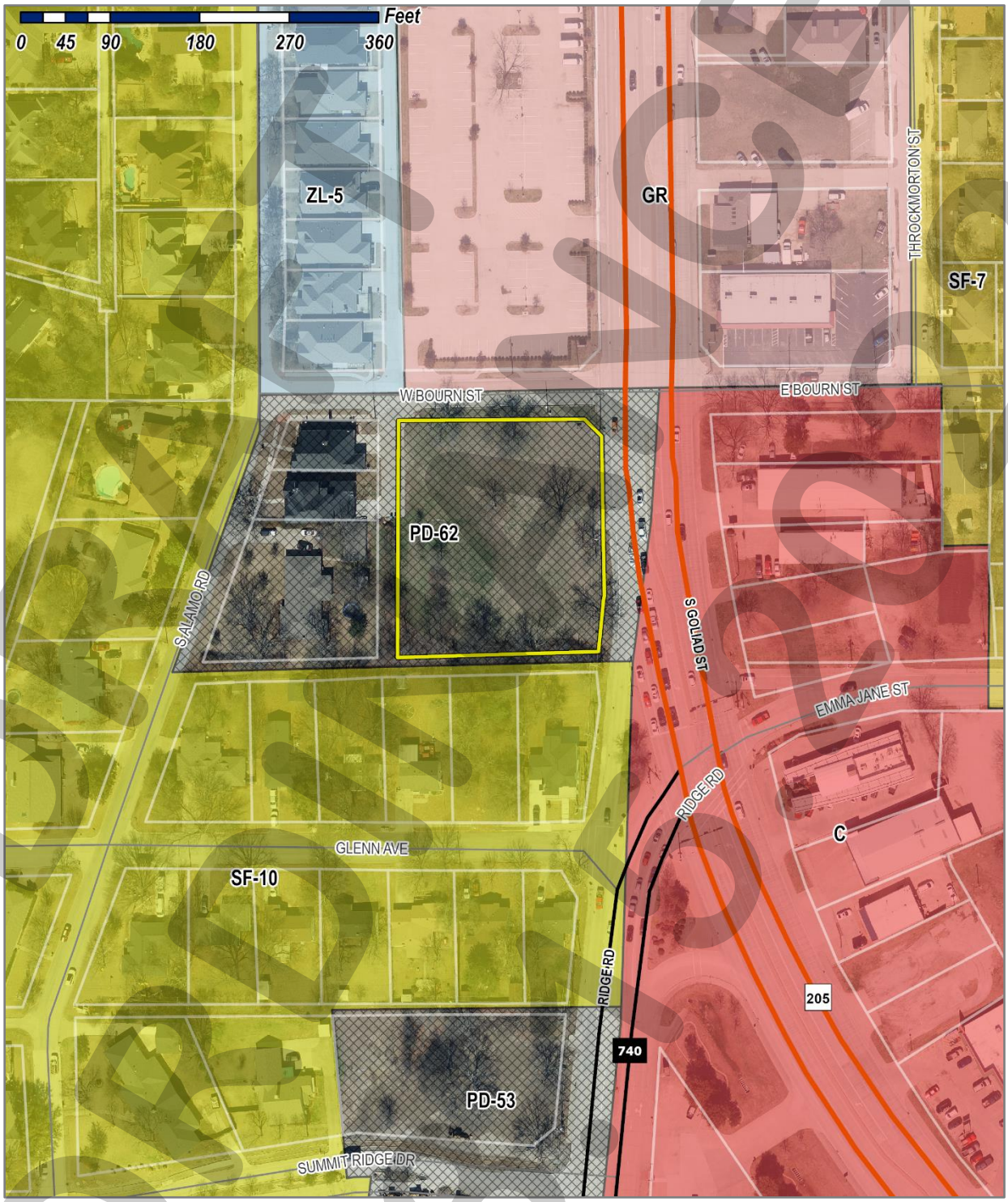
1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.15.2022

Exhibit 'A'
Location Map

Address: *902 & 906 S. Goliad Street*
Legal Description: *Lot 1, Block B, Jack Canup Addition*



DRAFT 03/08/2022

Exhibit 'B':
Concept Plan

DRAFT
03.15.2022

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER:	Z2022-010; *Zoning Change (AG to PD) for Vallis Greene*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10* [*Case No. A1998-001*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [*1*] a 2,500 SF single-family home constructed in 1958, [*2*] an ~1,856 SF covered porch constructed in 1958, [*3*] a 400 SF storage building constructed in 1900, and [*4*] a 96 SF storage building with a 240 SF covered canopy constructed in 2007. Beyond these structures, the subject property has remained largely undeveloped and the zoning designation has not changed since annexation.

PURPOSE

On February 18, 2021, the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 182-lot single-family, residential subdivision that will consists of five (5) lot sizes (*i.e. [A] 9, 100' x 130' lots; [B] 29, 82' x 120' lots; [C] 45, 72' x 115' lots; [D] 22, 72' x 110' lots; and [E] 77, 62' x 110' lots*).

ADJACENT LAND USES AND ACCESS

The subject property is generally located between SH-66 and FM-1141 at the southwest corner of the intersection of FM-1141 and Cornelius Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-1141 and Cornelius Road. FM-1141 is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) and Cornelius Road is identified as a M4U (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. On the northside of the right-of-way for FM-1141 and the southside of the right-of-way for Cornelius Road are the corporate limits of the City of Rockwall. Beyond this are multiple residential properties situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ) in Rockwall County.

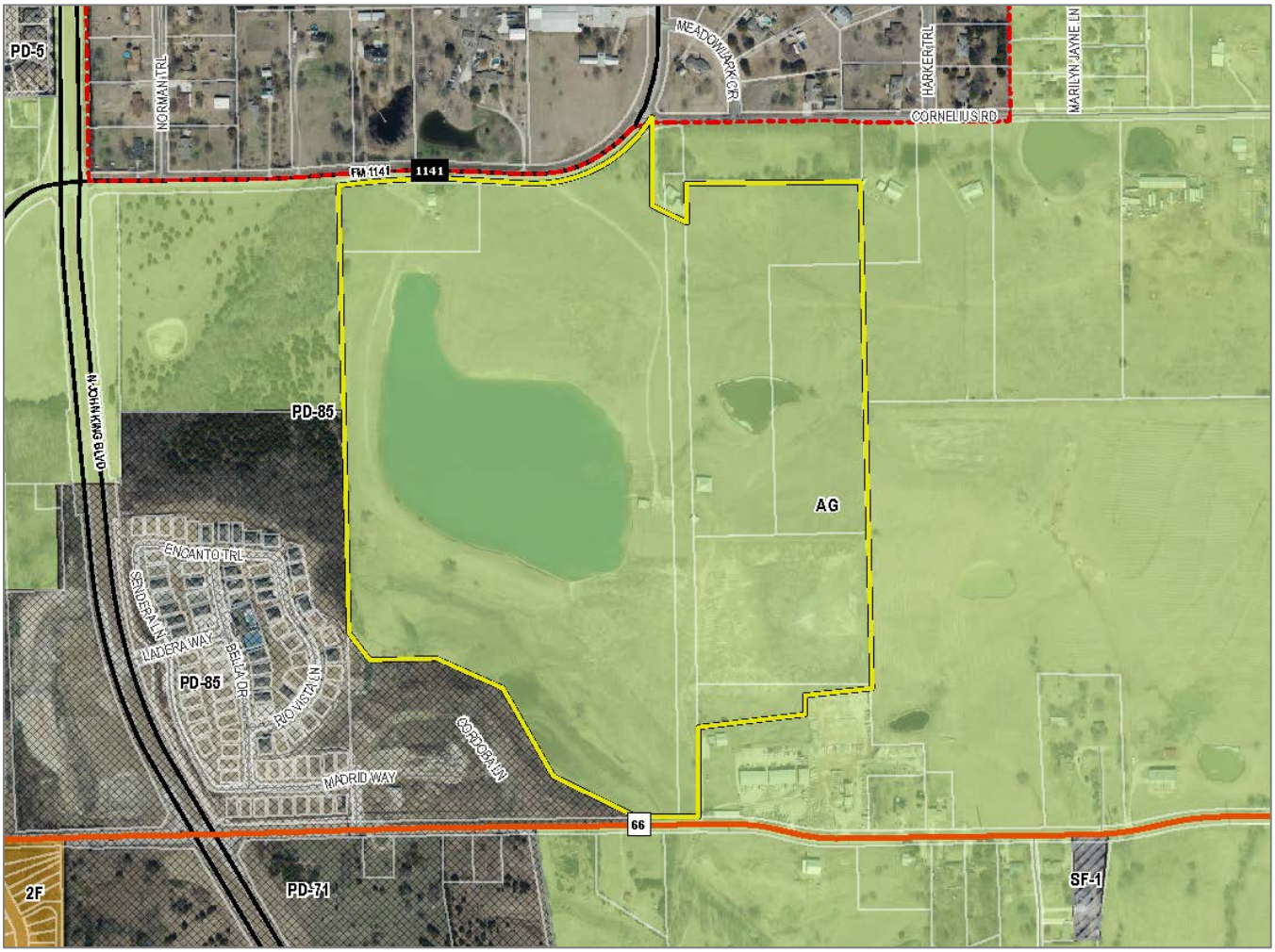
South: Directly south of the subject property is a 9.789-acre tract of land (*i.e. a portion of Lot 1, Block A, Ladera Rockwall Addition*), which will be Phase 2 of the Ladera Subdivision. This phase will consist of 33 residential units that are zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses. Beyond this is SH-66, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation [TXDOT] roadway, four [4] lane,*

divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this thoroughfare is: [*1*] a 47.89-acre parcel of land (*i.e. Lot 1 of the Rockwall Municipal Airport Addition*) which is occupied by the Ralph Hall Municipal Airport, [*2*] a vacant two (2) acre tract of land (*i.e. Tract 2 of the G. W. Redlin Survey, Abstract No. 183*), and [*3*] a 43.66-acre tract of land (*i.e. Tract 7 of the D. Harr Survey, Abstract No. 102*) occupied with a single-family home. All of these properties are zoned Agricultural (AG) District.

East: Directly east of the subject property are the reminder tracts (*i.e. Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) being subdivided from the subject property. Also, east of the subject property is a 55.08-acre tract of land (*i.e. Tract 11 of the W. M. Dalton Survey, Abstract No. 72*), which has a two (2) barns (*i.e. a 1,107 SF barn and a 7,448 SF barn both built in 1966*). All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property is: [*1*] a 15.935-acre vacant tract of land (*i.e. Tract 5-1 of the M. B. Jones Survey, Abstract No. 122*) zoned Agricultural (AG) District, and [*2*] a 37.80-acre parcel of land (*i.e. Lot 1, Block A, Ladera Rockwall Addition*) zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses. The 37.80-acre tract of land is the Ladera Subdivision, and will consist of 117 single-family units at buildout. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 93.97-acre subject property will consist of 182 residential lots. These lots will consist of five (5) lot types:

[*1*] 9 *Type 'A'* lots that are a minimum of 100' x 130' (*or 13,000 SF*), [*2*] 29 *Type 'B'* lots that are a minimum of 82' x 120' (*or 10.000 SF*), [*3*] 45 *Type 'C'* lots that are a minimum of 72' x 115' (*or 9,000 SF*), [*4*] 22 *Type 'D'* lots that are a minimum of 72' x 110' (*or 8,400 SF*), and [*5*] 77 *Type 'E'* lots that are a minimum of 62' x 110' (*or 7,200 SF*). This translates to a gross density of *1.94* dwelling units per gross acre (*i.e. 182 lots/93.97-acres = 1.93679 dwelling units per gross acre*) for the total development. The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,000 SF to 2,400 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry (*with a minimum of 85% masonry on each façade*), and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80% cementitous fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a more *Traditional Neighborhood Design* product (*also referred to as Gingerbread*). The following are some of the examples contained in the Planned Development District ordinance:

IMAGES 1 & 2: EXAMPLES OF BOARD AND BATTEN FROM THE PLANNED DEVELOPMENT DISTRICT ORDINANCE

Looking at the proposed garage orientation proposed for the development, the applicant is requesting to allow a total of 50% of all the garages be orientated toward the street; however, the applicant is proposing to require a five (5) foot setback for the garage from the front façade. The remaining garage doors will be situated within a *J-Swing* (*or a Traditional Swing*) configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [*1*] coach lighting, [*2*] decorative wood doors or wood overlays on insulated metal doors, and [*3*] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of these upgrades included in the Planned Development District ordinance:

IMAGES 3, 4 & 5: EXAMPLES OF UPGRADED GARAGES

The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 130'	13,000 SF	9	4.95%
B	82' x 120'	10,000 SF	29	15.93%
C	72' x 115'	9,000 SF	45	24.73%
D	72' x 110'	8,400 SF	22	12.09%
E	62' x 110'	7,200 SF	77	42.31%
		Maximum Permitted Units:	*182*	*100.00%*

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	*A*	*B*	*C*	*D*	*E*
Minimum Lot Width (1)	100'	82'	72'	72'	62'
Minimum Lot Depth	130'	120'	115'	110'	110'
Minimum Lot Area (SF)	13,000	10,000	9,000	8,400	7,200
Minimum Front Yard Setback (2), (6) & (8)	25'	20'	20'	20'	20'
Minimum Side Yard Setback	15'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) (2), (6) & (7)	15'	15'	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'	20'	20'
Maximum Height (3)	35'	35'	35'	35'	35'
Minimum Rear Yard Setback (4)	25'	20'	20'	20'	20'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,400	2,500	2,400	2,200	2,200
Maximum Lot Coverage	45'	45'	45'	65'	65'

General Notes:

1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.

2: The location of the *Front Yard Building Setback* as measured from the front property line.

3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.

4: The location of the *Rear Yard Building Setback* as measured from the rear property line.

5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.

7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

The proposed concept plan shows that the development will consist of a total of 29.72-acres of floodplain and 13.06-acres of open space maintained by the Homeowner's Association (HOA). This translates to an open space percentage of 29.71% (*i.e. [29.72-acres of floodplain/2] + 13.06-acres of open space = 27.92-acres/93.97-acres gross = 29.7116%*). In addition, the applicant has agreed to utilize the pro-rata equipment fees and cash-in-lieu of land fees to provide amenity to the four (4) acre tract of City owned land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) to create a public park. All amenities being proposed for this public park will need to be approved by the Parks and Recreation Board and be constructed to the City's standard as determined by the Director of Parks and Recreation. The applicant will also be providing a trail system consisting of a six (6) foot concrete trail that will connect this public park to the proposed subdivision.

Staff should point out that a portion of the subject property is situated within the Runway Protection Zone (RPZ) of the Ralph Hall Municipal Airport. In addition, staff is currently bringing forward an Airport Overlay (AP OV) District [*Case No. Z2022-012*] that (*if approved*) will establish requirements for land uses in and around the Ralph Hall Municipal Airport. Based on this, staff sent a copy of the proposed plan to TXDOT Aviation for review and comment, and a copy of the proposed plan to Garver USA -- *the City's Airport Consultant* -- for review. TXDOT Aviation requested that the applicant [*1*] not have any development within the Runway Protection Zone (RPZ) and [*2*] establish an avigation easement over the property to ensure that future homeowners are aware they are purchasing a home in close proximity to the flight path of the Ralph Hall Municipal Airport. Garver USA requested that no development or amenity be constructed in the Runway Protection Zone (RPZ). In addition, staff requested that the applicant adhere to the future Airport Overlay (AP OV) District, and not locate any portion of any lot in the *Airport*

Influence Zone (*which if established is the zone that will prevent residential and assembly uses from being located within 500-feet of the airport*). The applicant has taken these comments and adjusted the concept plan to ensure compliance with these recommendations. In addition, staff has added a condition of approval that will require the avigation easement be established at the time of final plat.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

(1) *Roadways*. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, FM-1141 is required to be a M4D (*i.e. major collector, four [4] lane, divided roadway*), which requires an 85-foot right-of-way with a 64-foot *back-to-back* concrete street. In addition, SH-66 is identified as a which is identified as a TXDOT4D (*i.e. Texas Department of Transportation [TXDOT] roadway, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This road will require a minimum of 120-feet of right-of-way or 60-feet from the centerline of the roadway. The applicant will also be required to perform a Traffic Impact Analysis (TIA) for the proposed drive approaches off of FM-1141 and SH-66. Staff is also requiring that as part of the Traffic Impact Analysis (TIA) and/or roadway design, the applicant's consultant study the need for a left turn lane at the proposed drive approach on FM-1141.

(2) *Water*. The applicant will be required to construct a 12-inch water line on the subject property along SH-66, extending to the existing stub out at FM-1141. In addition, the development will require an eight (8) inch water line be looped through the subject property.

(3) *Wastewater*. The applicant will be required to construct an eight (8) inch wastewater line that will tie into the 12-inch line adjacent to the southwestern property line.

(4) *Drainage*. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

(1) *Alleyways*. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete…" The code does grant the City Council the ability to "… waive the residential alley requirement, if it is in the best interest of the City." [*Page 14; Section 2.11 of the Standards of Design and Construction Manual*]

(2) *Garage Configuration*. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing* [*or traditional swing*] garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 50% *J-Swing* (*or Traditional Swing*) or *Recessed Front Entry* (*i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home*) garages and 50% *Flat Front Entry* garages with a five (5) recess for the garage (*i.e. where the garage is setback five [5] feet from the front façade*). As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations: [*A*] coach lighting, [*B*] decorative wood doors or wood overlays on insulated metal doors, [*C*] driveways constructed with ornamental stamped concrete brick pavers, stained

finished, or salt finished. Staff should also point out that by providing a five (5) foot recess in the *Flat Front Entry* garages a minimum of a 25-foot driveway is being provided. The following are examples of some of the upgraded finishes depicted in the Planned Development District ordinance:

IMAGES 6, 7, 8, & 9: *EXAMPLES OF UPGRADED FINISHES*

DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Northeast Residential District* and is designated for *Low Density Residential* land uses. The plan defines *Low Density Residential* land uses as "… residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses …" In addition, the Comprehensive Plan defines increased amenity as, "… developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreation facilities, (3) amenity/recreation facilities, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council." In this case the applicant is proposing a total density of *1.94* dwelling units per acre. In addition, the applicant is proposing to incorporate walking trails and 29.71% open space (*i.e. 9.71% in excess of the required 20.00%*). Based on this the applicant's request appears to be in conformance with the *Low Density Residential* designation indicated for the subject property.

According to the *Northeast Residential District*, the district "… is characterized by its established low-density residential subdivisions and rural/estate style lots … [*and*] is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development." Looking at the *District Strategies* for the *Northeast Residential District* for *Suburban Residential*, the plan states that "…new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district." In this case, the applicant is proposing lot products that range from 62' x 110' (*or a minimum of 7,200 SF*) to 100' x 130' (*or a minimum of 13,000 SF*). After reviewing the district, staff has identified the following *Suburban Residential* developments that have similar lot sizes:

(1) *Ladera of Rockwall*. This development is platted as one (1) large lot, but calls out *Artificial Lots* (*i.e. setup in a condominium regime*) that consist of the following lot products: 20, 44.5' x 80'; 31, 42' x 77'; 41, 54' x 60'; and 6, 64' x 50'.
(2) *Saddle Star*. 143, 70' x 125' (*or a minimum of 8,750 SF*) and 33, 80' x 125' (*or a minimum of 10,000 SF*).
(3) *Dalton Ranch*. 75' x 120' and 80' x 125'
(4) *Gideon Grove (Phase 1)*. 45, 80' x 125' (*or a minimum of 10,000 SF*) and 27, 100' x 150' (*or a minimum of 15,000 SF*)
(5) *Gideon Grove (Phase 2)*. 53, 60' x 120' (*or a minimum of 7,000 SF*) and 31, 70' x 120' (*or a minimum of 8,400 SF*)
(6) *Nelson Lakes*. 134, 60' x 120' (*or a minimum of 7,000 SF*); 68, 70' x 120' (*or a minimum of 8,400 SF*); and 58, 72' x 120' (*or a minimum of 8,600 SF*)
(7) *Winding Creek*. 132, 90' x 100' (*or a minimum of 16,000 SF*)

Staff should point out that the majority of the applicant's request is for the smaller *Type 'E'* lots (*42.31%*), which are the 62' x 110' lots (*or a minimum of 7,200 SF*). The only developments with smaller lot sizes than the *Type 'E'* lots are the Ladera of Rockwall and Nelson Lakes Subdivisions. It should also be pointed out that the subject property is directly adjacent to the Ladera of Rockwall Subdivision, which has the smallest lot sizes in this district.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (*e.g. minimum of six [6] side yard setbacks on all lot types, fronting of*

homes on to a park/open space, designed utilizing the Housing Tree Model, etc.); however, staff has identified the following non-conformities on the concept plan and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.
BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

(1) *CH. 08 | Sec. 02.03 | Goal 03; Policy 3*: In cases where *Flat Front Entry* garages (*i.e. even with the front façade of the primary structure*) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, *Flat Front Entry* garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If *a Flat Front Entry* garage configuration with a recess of five (5) feet is being requested it should be limited to 20%. *The applicant has chosen to request 50% Flat Front Entry garages and 50% J-Swing (or Traditional Swing) or Recessed Front Entry (i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home) garages, but has consented to upgraded garage doors and driveway requirements. In addition, the added five (5) foot recess provides a 25-foot driveway on the Flat Front Entry garage product, which has a similar effect as the 25-foot setback requested by the Comprehensive Plan.*

Taking into account the applicant's concept plan, proposed density, and development standards, the request does appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, as with all zoning cases, this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2022, staff mailed 78 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) property owner notifications from property owners within the 500-foot notification area in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.

(2) The applicant will be required to put an avigation easement over the property to ensure that homeowners are provided with information showing that they are within close proximity to the flight path of the Ralph Hall Municipal Airport. This will need to be established with the final plat for the subdivision.

(3) No development or amenities can take place within the Runway Protection Zone (RPZ) of the Ralph Hall Municipal Airport.

(4) As part of the Traffic Impact Analysis (TIA) and/or roadway design, the need for a left turn lane on FM-1141 -- *at the proposed drive approach* -- shall be determined.

(5) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Z2022-010

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☑ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1649 FM 1141, Rockwall, TX 75087		
SUBDIVISION	ABS A0122, MB Jones, Tract 4-01	LOT	BLOCK
GENERAL LOCATION	Approximatly 1250 feet east of the intersection John King and FM 1141 South of 1141		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Agricultural	CURRENT USE	Agricultural
PROPOSED ZONING	Planned Development District	PROPOSED USE	Single Family
ACREAGE	93.97	LOTS [CURRENT]	1
LOTS [PROPOSED]	182		

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Mike Peoples	☐ APPLICANT	Michael Joyce Properties
CONTACT PERSON	Mike Peoples	CONTACT PERSON	Ryan Joyce
ADDRESS	1850 FM 1141	ADDRESS	767 Justin Rd
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF Feb, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

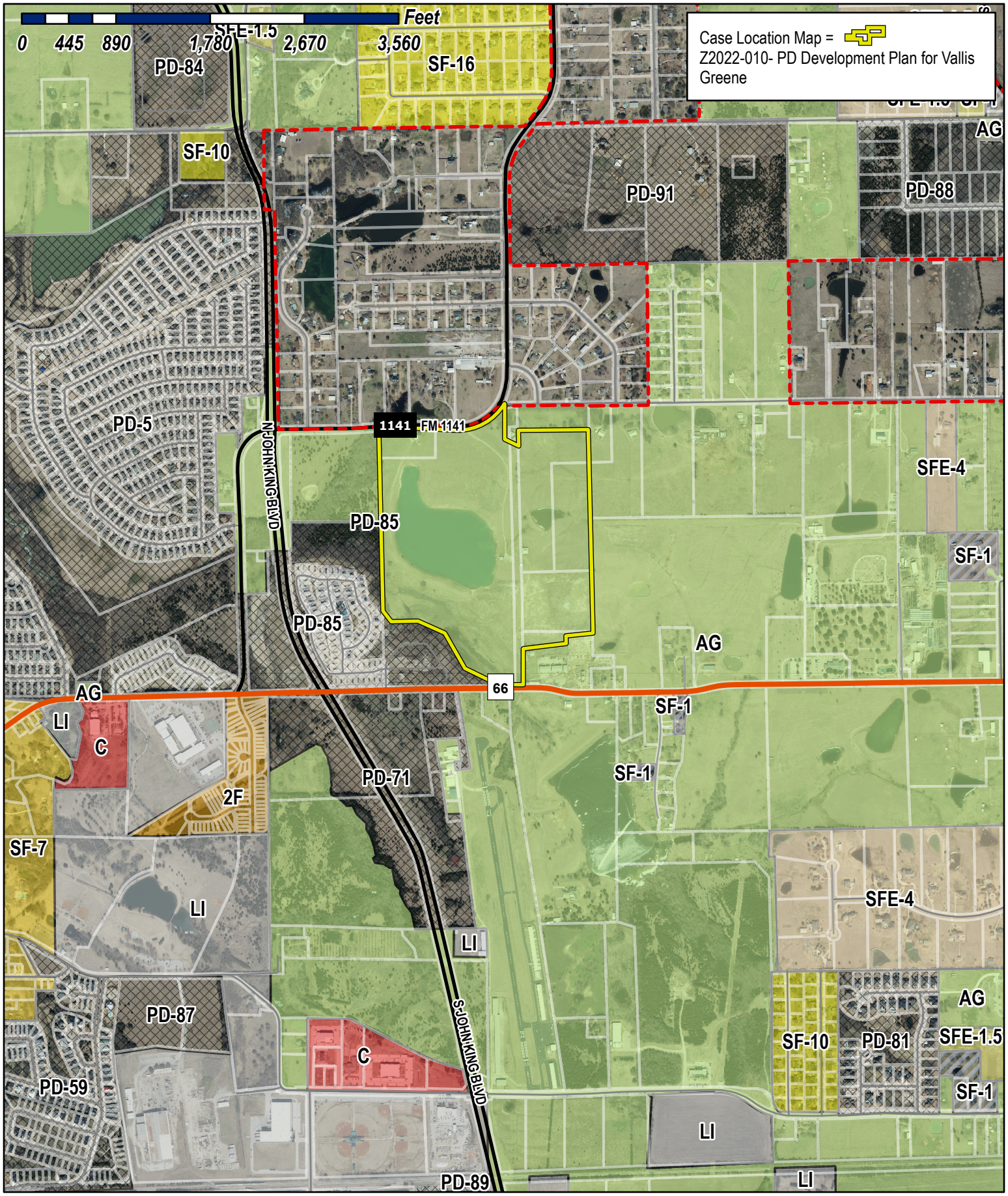
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 *DAY OF* Feb, *20* 22

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS TEXAS

ROBERT LEE BASS
NOTARY PUBLIC
ID# 12344082
State of Texas
Comm. Exp. 06-05-2024

MY COMMISSION EXPIRES 06-05-2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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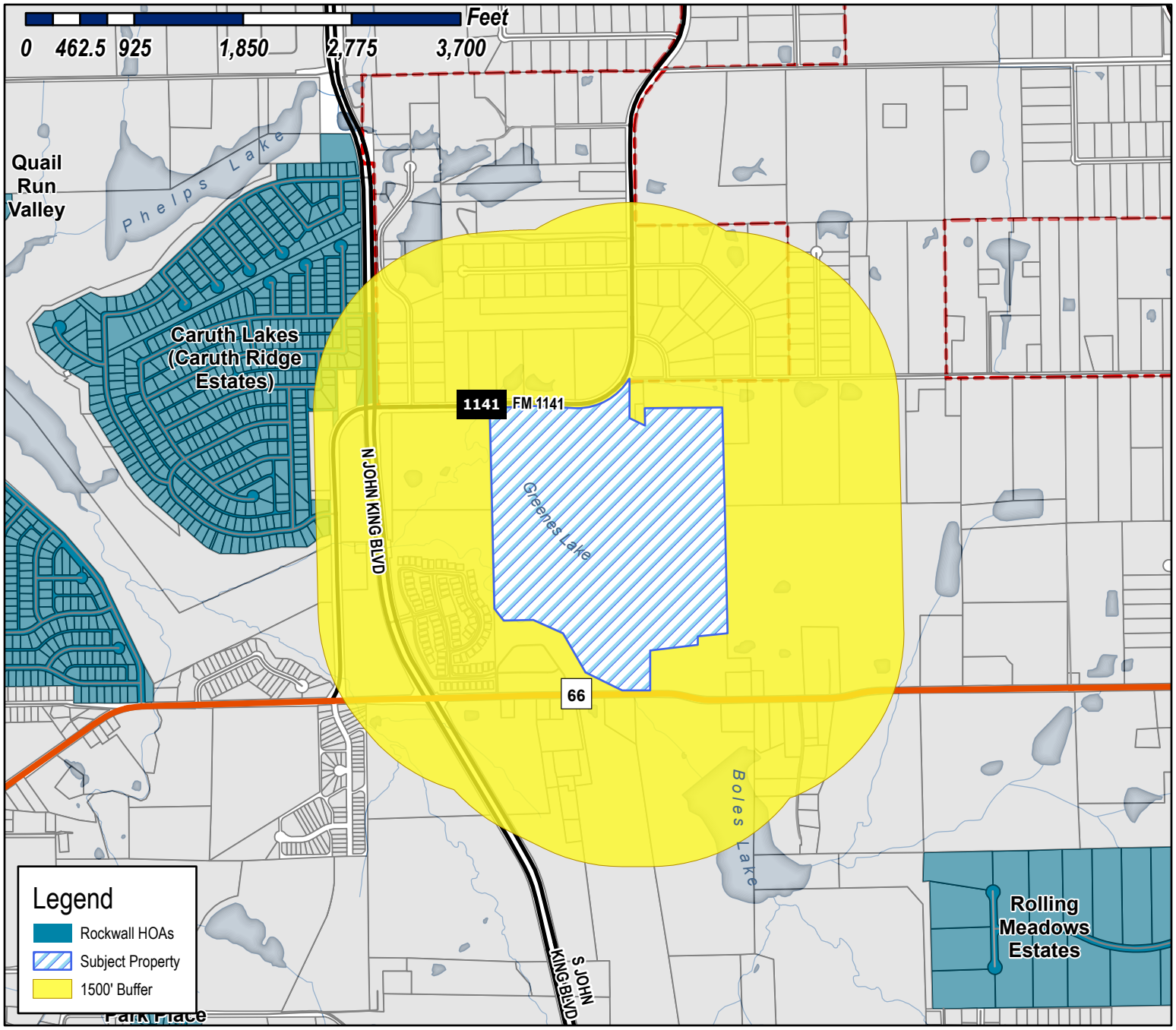
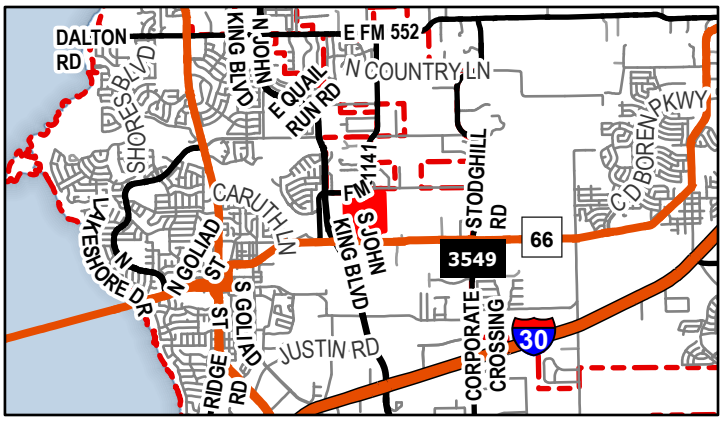


Case Number: Z2022-010
Case Name: PD Development Plan for Vallis Greene
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1649 FM 1141

Date Saved: 2/18/2022
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:27 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-010]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.22.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-010: Zoning Change from AG to PD
Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

This email was scanned by Bitdefender

City of Rockwall

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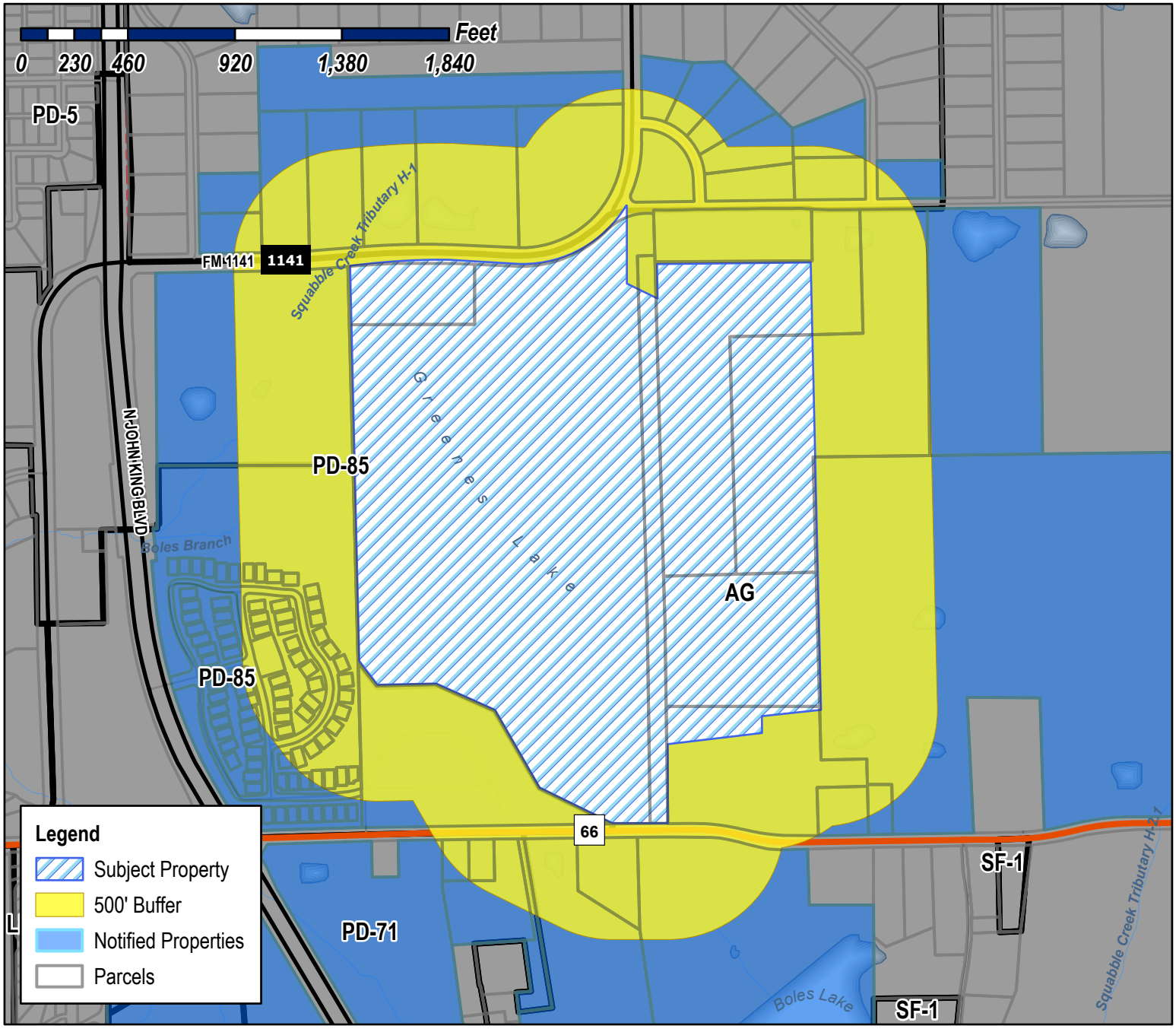
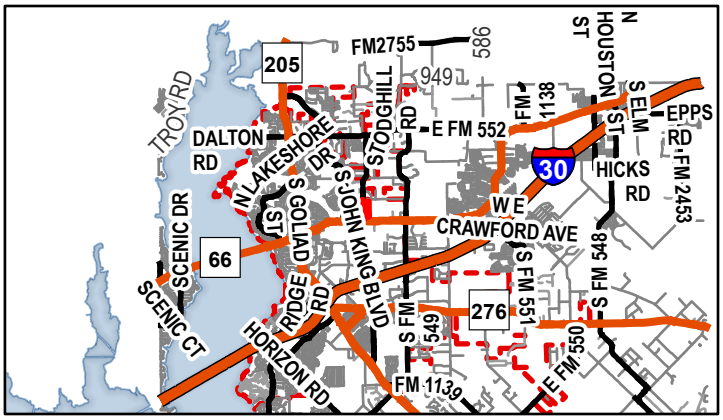
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-010
Case Name: PD Development Plan for Vallis Greene
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1649 FM 1141

Date Saved: 2/18/2022
For Questions on this Case Call (972) 771-7745



MAUTNER ERNESTO & BEATRICE
103 N GREENPRINT CIRCLE
TOMBALL, TX 76262

BROWN LARRY MELVIN & MARSHA LIZBETH
1042 LAKE SHORE DR
MESQUITE, TX

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

PEOPLES MIKE L
111 CORNELIUS RD
ROCKWALL, TX 75087

RATLIFF JENNIFER L
123 HARKER TRAIL
ROCKWALL, TX 75087

ANDRULAT ALEC J AND VERONICA BITZ
124 HARKER TR
ROCKWALL, TX 75087

MCKEE MARK D
131 MEADOWLARK CIR
ROCKWALL, TX 75087

SQUIER NATALIE
153 MEADOWLARK CIRCLE
ROCKWALL, TX 75087

HAMPTON ELDEN L
1530 FM 1141
ROCKWALL, TX 75087

GRIFFITH JESSE JOHN AND SARAH KRISTIN
1578 FM 1141
ROCKWALL, TX 75087

WHYDE KIMBERLY
1602 ENCANTO TRAIL
ROCKWALL, TX

GIAMPAPA SANTO AND SUSAN
1606 ENCANTO TRL
ROCKWALL, TX

SANDKNOP LES T AND CLAUDIA J
1614 ENCANTO TRAIL
ROCKWALL, TX

SHANNON STANLEY W
162 HARKER TRL
ROCKWALL, TX 75087

DENNEY DENNIS W & LINDA L
162 MEADOWLARK CIR
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1620 MADRID WAY
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1624 MADRID WAY
ROCKWALL, TX 75087

RW LADERA LLC
1628 MADRID WAY
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
1630 WILLIAMS
ROCKWALL, TX 75087

RW LADERA LLC
1632 MADRID WAY
ROCKWALL, TX 75087

RW LADERA LLC
1636 MADRID WAY
ROCKWALL, TX 75087

HUDDIN RYAN S AND JADA
1666 FM 1141
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 STATE HIGHWAY 66
ROCKWALL, TX 75087

CITY OF ROCKWALL
1701 AIRPORT RD
ROCKWALL, TX 75087

WAINNER MATTHEW CODY &
MELANIE RENEE HUMBLE
173 MEADOWLARK CIRCLE
ROCKWALL, TX 75087

SCHRAMM EDWIN W III & PATSY ANN
1895 FM 1141
ROCKWALL, TX 75087

PEOPLES MICHAEL L
1936 HWY 66
ROCKWALL, TX 75087

BELEW THOMAS E SR
DIANNE S CURREY
2 NORMAN TRL
ROCKWALL, TX 75087

PEOPLES MICHAEL L
2026 HWY 66
ROCKWALL, TX 75087

SALINAS HILSE S
2068 STATE HWY 66
ROCKWALL, TX 75087

GILLILAND TOMMY JOE
2098 WILLIAMS
ROCKWALL, TX 75087

RANDLE SUSAN AND DERRICE
226 CORNELIUS RD
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
2294 ESTATE HIGHWAY 66
ROCKWALL, TX 75087

PEOPLES MIKE
291 CORNELIUS RD
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

PEOPLES MIKE
333 CORNELIUS
ROCKWALL, TX 75087

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

DAVIS WILLIAM PAUL JR
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

VACLAVIK JOHN AND MARCILE
610 W COLCHESTER DR
EAGLE, ID

RILEY RODNEY H & JANET E
802 RIO VISTA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
806 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
810 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
814 RIO VISTA LN
ROCKWALL, TX 75087

ALDERMAN CLAUDETTE
815 RIO VISTA LANE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
818 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
819 RIO VISTA LN
ROCKWALL, TX 75087

LANCASTER JAMES EVERETT JR &
GEORGIANA MARIE
820 BELLA DRIVE
ROCKWALL, TX 76262

RW LADERA LLC
822 RIO VISTA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
825 BELLA CT
ROCKWALL, TX 75087

WALLACE MARTHA G
826 BELLA DRIVE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
826 RIO VISTA LN
ROCKWALL, TX 75087

MAUTNER ERNESTO & BEATRICE
829 BELLA CT
ROCKWALL, TX 75087

EVANS MARY E
830 BELLA DRIVE
ROCKWALL, TX 76262

HUCK WALTER R AND MARY A
830 RIO VISTA LANE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
831 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
833 BELLA CT
ROCKWALL, TX 75087

HOPKINS TEENA
834 BELLA DR
ROCKWALL, TX 76262

PAUL DAVID OLIVIER AND LYN DIANE OLIVIER
FAMILY REVOCABLE TRUST
LYN DIANE OLIVIER- SURVIVING TRUSTOR
834 RIO VISTA LANE
ROCKWALL, TX 75087

MURPHY DON & SHARON
837 BELLA DRIVE
ROCKWALL, TX 76262

RW LADERA LLC
837 RIO VISTA LN
ROCKWALL, TX 75087

HENDLEY BEVERLY
838 BELLA DRIVE
ROCKWALL, TX 75087

RW LADERA LLC
841 BELLA DR
ROCKWALL, TX 75087

RW LADERA LLC
841RIO VISTALN
ROCKWALL, TX 75087

HOWARD EDWARD L AND BRENDA S
902 RIO VISTA LN
ROCKWALL, TX

DELK JEANNETTE FREY
903 RIO VISTA LN
ROCKWALL, TX

HAMBLIN DONALD ELEX AND DEBORAH LUCILLE
905 RIO VISTA LN
ROCKWALL, TX

EASLEY PHYLLIS
909 RIO VISTA LANE
ROCKWALL, TX

JONES BRENDA K & SAM A
910 BELLA DR
ROCKWALL, TX

ROONEY CATHERINE
912 BELLA DR
ROCKWALL, TX

JOHN AND LYNNE MCMAHAN REVOCABLE TRUST
JOHN AND LYNNE MCMAHAN- TRUSTEES
912 RIO VISTA LN
ROCKWALL, TX

BROCHON DELILIA A AND MARTIAL H
913 RIO VISTA LANE
ROCKWALL, TX

G & C DAVIS FAMILY 2013 TRUST
GREGORY A DAVIS AND CAROL L DAVIS - CO TRUSTEES
916 RIO VISTA LN
ROCKWALL, TX

DIMISSEW SAMUEL
956 S WEATHERRED DR
RICHARDSON, TX 75080

LUKER LEO
P.O. BOX 1599
LYTLE, TX 78052

POTTER JOHN D ETUX
PO BOX 259
FATE, TX 75132

PEOPLES MICHAEL L
PO BOX 41
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Director of Planning & Zoning

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Airport landing strip is right across the street and property is in path to landing planes on runway. There was a recent plane crash on Hwy 66. ~~Person~~ Also FM 1141 & hwy 66 are ~~most~~ ~~Sooo~~ narrow and not set up well for increased traffic.

Name: Jada Huddin

Address: 1666 FM 1141 Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I just moved to this area in June 2021 to get away from busyness in Mesquite area. I selected a lot with tree/creek views to enjoy semi country living. There is too much development in this area of Rockwall.

Name: Kimberly Whyde

Address: 1602 Encanto Trail Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

JOHNSON VOLK
CONSULTING
704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

February 18, 2022

City of Rockwall
Planning Department
385 South Goliad
Rockwall, TX 75087

RE: Vallis Greene – Zoning Application

Dear Staff,

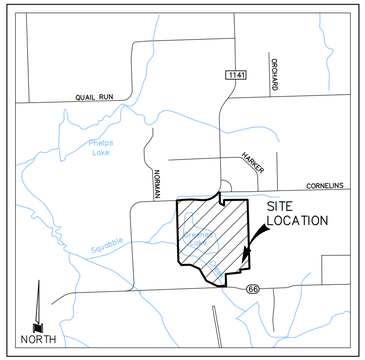
The purpose of this letter is to formally request a zoning change for the referenced property located south of FM 1141 and north of SH 66. The subject development will consist of +/-182 single family lots on a 93.97 acre tract. After meeting with staff at a Development Review Committee Meeting, the Concept Plan included with this submittal is representative of our proposed vision for the property.

Please feel free to contact us if you have any questions regarding this project or application.

Sincerely,

Johnson Volk, Inc.

Tom Dayton, PE



LOCATION MAP
NOT TO SCALE

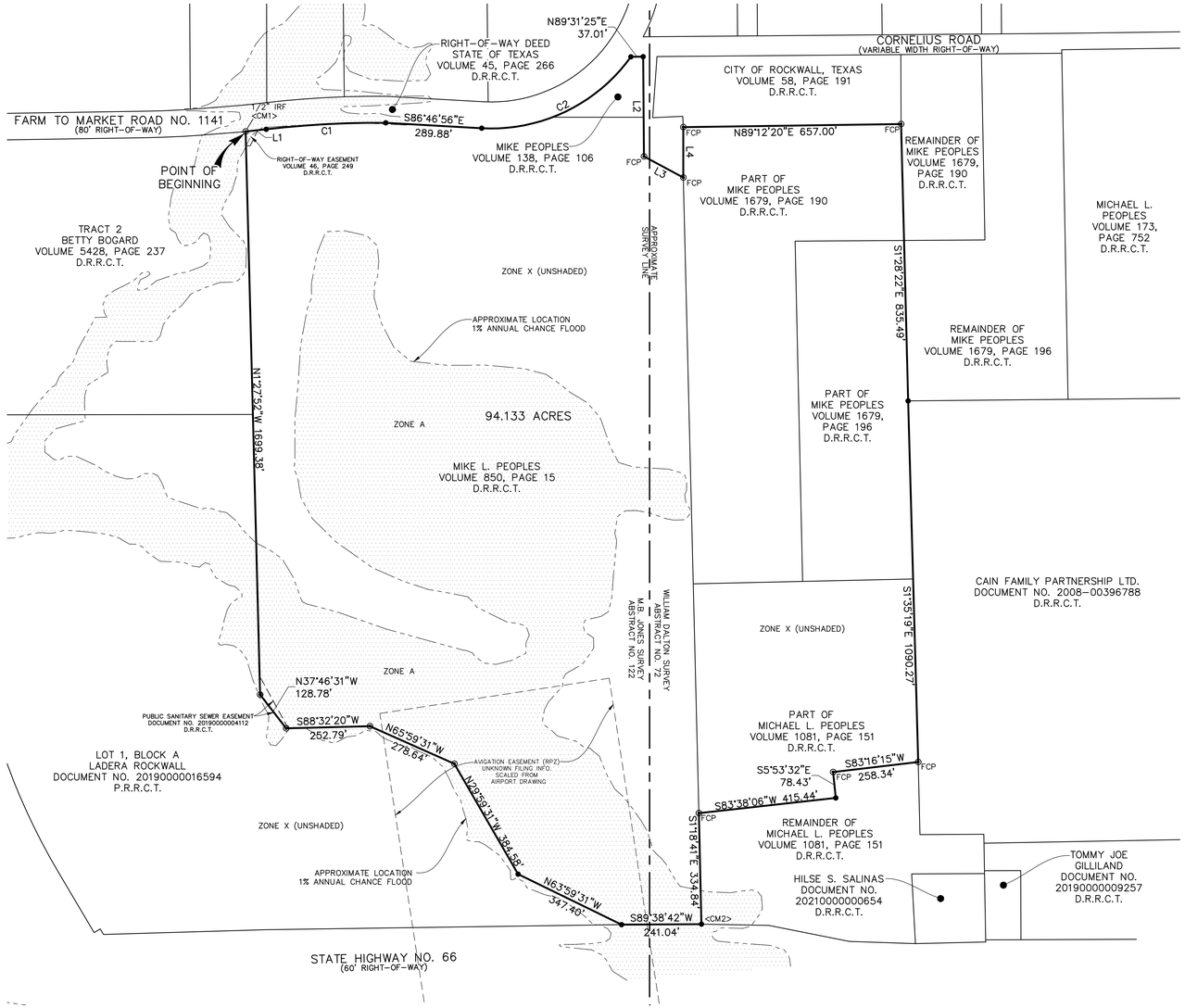
GRAPHIC SCALE

200 100 0 200 600

(IN FEET)
1 inch = 200 ft.

LEGEND

◉	1" RED BOUNDARY MARKER STAMPED "G&A MCADAMS CO" FOUND (UNLESS OTHERWISE NOTED)
●	1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC"
<CM>	CONTROL MONUMENT
FCP	FENCE CORNER POST FOUND
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS



NOTES:

1. BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.

2. THE SUBJECT TRACT LIES WITHIN ZONE X (UNSHADED), DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AND ZONE A, DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON COMMUNITY PANEL NOS. 48397C0030L AND 48397C0035L, DATED SEPTEMBER 26, 2008 FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS.

3. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN TITLE RESOURCES GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 22135356-10GH, EFFECTIVE DATE FEBRUARY 16, 2022 AND ISSUED FEBRUARY 22, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

4. VISIBLE IMPROVEMENTS/UTILITIES WERE NOT LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

5. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

6. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

7. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

8. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED; AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.

SCHEDULE B NOTES:

10e. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10f. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 267, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10g. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 268, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10h. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 40, PAGE 193, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10i. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 45, PAGE 266, DEED RECORDS, ROCKWALL, COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10j. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 46, PAGE 249, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10k. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 199, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10l. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 394, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10m. EASEMENT TO CITY OF ROCKWALL RECORDED IN DOCUMENT NO. 2019-4112, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

LEGAL DESCRIPTION:

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of Farm to Market Road No. 1141, an 80 foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the intersection of said south line with the south line of Cornelius Road, a 60 foot right-of-way;

THENCE North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

THENCE South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

THENCE North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

THENCE North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

THENCE South 01 degrees 28 minutes 22 seconds East, a distance of 835.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 20190000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the POINT OF BEGINNING and containing 94.133 acres of land, more or less.

SURVEYOR'S CERTIFICATE:

To MRJOYCE, LLC; MIKE L. PEOPLES; ALLEGIANCE TITLE COMPANY; and TITLE RESOURCES GUARANTY COMPANY:

I, Ryan S. Reynolds, a Registered Professional Land Surveyor in the State Of Texas, do hereby certify that this plat is based on an actual on the ground survey made under my direct supervision and all corners are monumented as shown hereon. Except as shown, there are no visible encroachments, conflicts or protrusions apparent on the ground.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

SURVEYED ON THE GROUND: FEBRUARY 28, 2022

JOHNSON VOLK CONSULTING
TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

WILLIAM DALTON SURVEY, ABSTRAT NO. 72
M.B. JONES SURVEY, ABSTRACT NO. 122

LAND TITLE SURVEY
94.133 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

STATE OF TEXAS
RYAN S. REYNOLDS
#6385
REGISTERED
PROFESSIONAL
LAND SURVEYOR

03/04/2022

SCALE:
1"=200'
One Inch

JVC No 2215

SHEET 1 OF 1

J:\civil 3d projects\2215 - wallis green\survey\dwg\2215-rdlc-94.133ac.dwg

LEGAL DESCRIPTION
94.133 ACRES

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of Farm to Market Road No. 1141, an 80 foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner at the intersection of said south line with the south line of Cornelius Road, a 60 foot right-of-way;

THENCE North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

THENCE South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

THENCE North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

THENCE North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

THENCE South 01 degrees 28 minutes 22 seconds East, a distance of 835.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC' set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC' set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 20190000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC' set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the **POINT OF BEGINNING** and containing 94.133 acres of land, more or less.

CORNELIUS ROAD

RYAN & JADA HUDDIN
VOL. 2019, PG. 1989
D.R.R.C.T

MIKE PEOPLES
VOL. 138, PG. 106
D.R.R.C.T

CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

FM 1141

ROCKWALL CITY LIMIT

42.5' ROW DEDICATION

N89°31'25"E 37.01'

L=361.57 R=2824.93 CL=361.32
D=7°20'00" CB=N86°53'49"E

N83°33'49"E 62.35'

S86°46'56"E 289.88'

L=520.55 R=517.88 CL=498.30
D=57°36'49" CB=N64°24'40"E

OPEN SPACE
1.0 ACRES

MONUMENT
SIGNAGE

S0°29'15"E 300.96'

S61°44'36"E 134.73'

N0°05'20"W 152.26'

N89°12'20"E 657.00'

OPEN SPACE
0.07 ACRES

1

6' HIKE & BIKE
TRAIL (TYP)

ZONED:
AG

S1°28'22"E 835.49'

MIKE PEOPLES
VOL. 1679, PG. 196
D.R.R.C.T

OFFSITE GRADING/DRAINAGE ESMT.
LANDOWNER IS SELLER
OF VALLIS GREEN

BETTY SEE
DEED #142-12-042934
D.R.R.C.T

N1°27'52"W 1699.38'

GREENE'S
LAKE

ZONED:
AG

OPEN SPACE
0.08 ACRES

S1°35'19"E 1090.27'

CAIN FAMILY PARTNERSHIP LTD
VOL. 5429, PG. 231
D.R.R.C.T

OPEN SPACE
41.3 ACRES

APPROXIMATE LIMIT
ZONE "A" FEMA
FIRM PANEL NOS.
48397C0030L,
48397C0035L &
48397C0045L

6' HIKE & BIKE TRAIL (TYP)

N37°46'31"W 128.78'

S88°32'20"W 252.79'

N65°59'31"W 278.64'

AVIGATION
EASEMENT (RPZ)

OPEN SPACE
0.15 ACRES

S83°16'15"W 258.34'

S5°53'32"E 78.43'

S83°38'06"W 415.44'

2

RW LADERA LLC
VOL. 2017, PG. 22703
D.R.R.C.T

ZONED: PD-85

N29°59'31"W 384.58'

OPEN SPACE
0.18 ACRES

S1°18'41"E 334.84'

MIKE PEOPLES
A0072 WM DALTON, TRACT 25-2
D.R.R.C.T

N63°59'31"W 347.40'

MONUMENT
SIGNAGE

ROW DEDICATION & NTMWD ESMT

S89°38'42"W 241.04'

WILLIAMS STREET (HWY 66)

ZONED: PD-71

CITY OF ROCKWALL
RALPH M. HALL
ROCKWALL MUNICIPAL AIRPORT

ZONED: AG

ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE.

OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	13.06
TOTAL	42.78
OPEN SPACE RATIO*	
[(29.72/2) + 13.06] / 94.13 =	29.7%

*ASSUMING HALF OF FLOODPLAIN

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

CONCEPT PLAN
VALLIS GREENE
94.13 ACRES
ROCKWALL TEXAS

LOT TYPE	MIN. LOT AREA (SF)
A (100'x130')	13,000
B (82'x120')	10,000
C (72'x120')	9,000
D (72'x120')	8,400
E (62'x120')	7,200

100 50 0 100
SCALE 1" = 100'

ZONING CASE # Z2022-010

05 FUTURE LAND USE PLAN
01 LAND USE PLAN DESIGNATIONS

01.01 RESIDENTIAL

LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (*see Chapter 8, Residential Developments, of this Comprehensive Plan*).

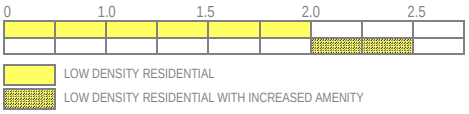
DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Suburban, Estate and Rural Residential (*i.e. Single-Family Detached Homes*)
2. *Secondary Land Uses:* Amenities, Parks, Open Space, and Institutional/Civic Land Uses
3. *Zoning Districts:* All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

EXISTING LAND USE EXAMPLES

1. Breezy Hill Subdivision
2. Stone Creek Subdivision
3. Oaks of Buffalo Way Subdivision

RESIDENTIAL DENSITY CHART



MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (*see Chapter 8, Residential Developments, of this Comprehensive Plan*).

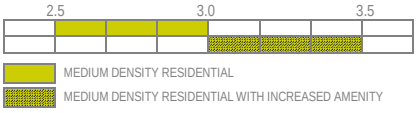
DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Suburban Residential (*i.e. Single-Family Detached Homes*)
2. *Secondary Land Uses:* Amenities, Parks, Open Space, and Institutional/Civic Land Uses
3. *Zoning Districts:* Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

EXISTING LAND USE EXAMPLES

1. Caruth Lakes Subdivision
2. Lago VistaSubdivision
3. Park Place Subdivision

RESIDENTIAL DENSITY CHART



HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

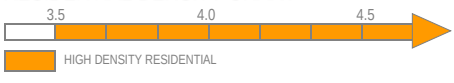
DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Suburban and Urban Residential (*i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments*)
2. *Secondary Land Uses:* Amenities, Parks, Open Space, and Institutional/Civic Land Uses
3. *Zoning Districts:* Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

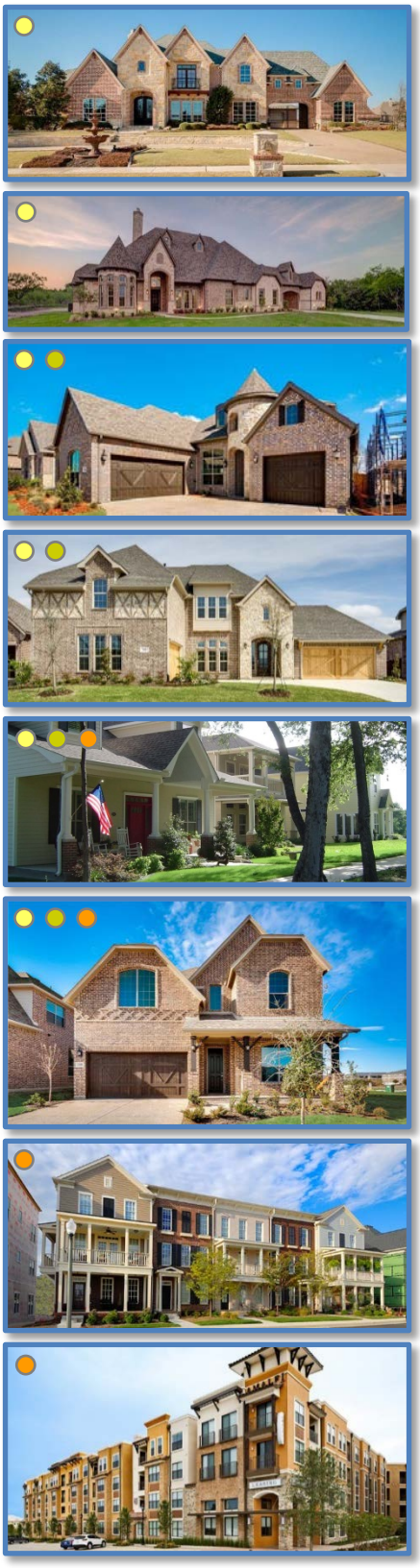
EXISTING LAND USE EXAMPLES

1. Turtle Cove Subdivision
2. Sixteen50 @ Lake Ray Hubbard Apartments
3. Mission Rockwall Apartment Complex

RESIDENTIAL DENSITY CHART



NOTE: HIGH DENSITY RESIDENTIAL REQUIRES INCREASED AMENITY



11 NORTHEAST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

1. *Estate and Rural Residential*. The maintenance of the *Estate* and *Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
2. *Suburban Residential*. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
3. *Infill Development*. Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
4. *Neighborhood/Convenience Centers*. The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
5. *John King Boulevard Trail Plan*. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

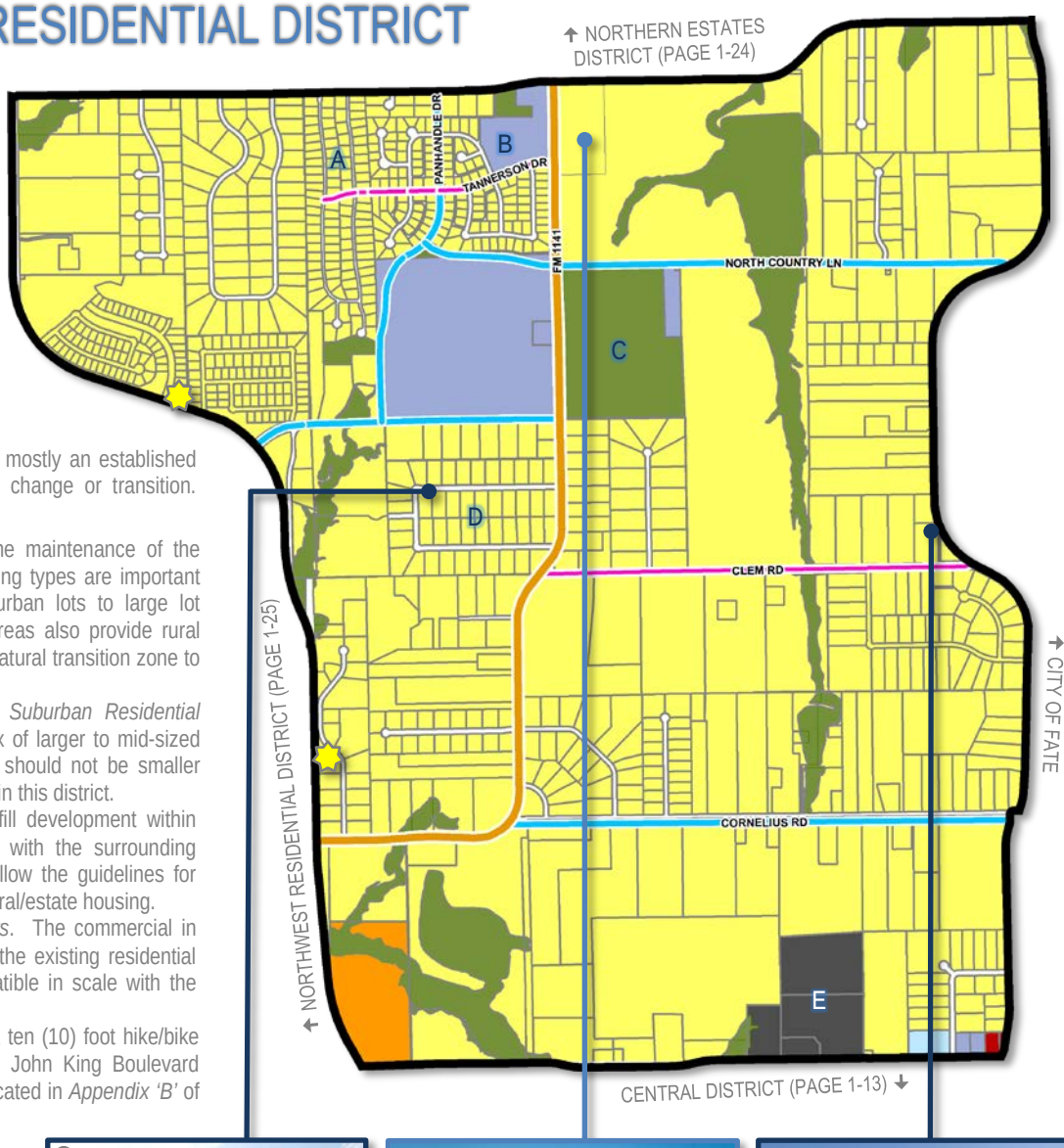
POINTS OF REFERENCE

A. Stoney Hollow Subdivision
B. Celia Hays Elementary School
C. North Country Lane Park
D. Saddlebrook Estates Subdivision
E. Resthaven Funeral Home

LAND USE PALETTES

Current Land Use
Future Land Use

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



2 Current Suburban Residential

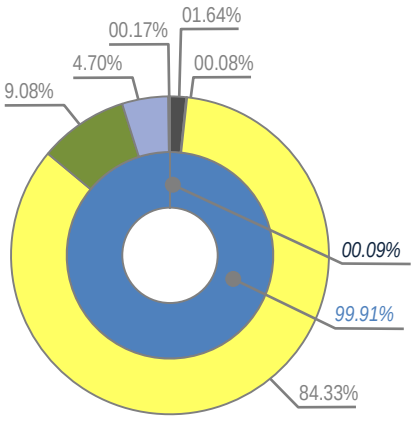
2 Future Suburban Residential

1 Current Rural Residential

BUILD OUT
1,964
5,794

% OF ROCKWALL
3.13%
0.99%
3.10%

CURRENT
625
18
1,844



MINOR COLLECTOR	
M4U	
M4D	

COMMERCIAL	0.09%
RESIDENTIAL	99.91%
MIXED USE	0.00%

CEMETERY (CEM)	32.34-ACRES
COMMERCIAL/RETAIL (CR)	1.52-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
PARKS AND OPEN SPACE (OS)	178.54-ACRES
PUBLIC (P)	92.45-ACRES
QUASI-PUBLIC (QP)	3.25-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 93.97-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4-01 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of the Michael Joyce Properties on behalf of Mike Peoples for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached

DRAFT ORDINANCE 05.13.22

hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

(a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.

(b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.

(1) Master Parks and Open Space Plan
(2) Master Plat
(3) Preliminary Plat
(4) PD Site Plan
(5) Final Plat

(c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

(d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.

(e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.

(f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

DRAFT ORDINANCE 03.15.2022

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* ($2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF JULY, 2021.

_____
Kevin Fowler, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

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Exhibit 'A':
Legal Description

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found in the south line of Farm to Market Road No. 1141, an 80-foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the intersection of said south line with the south line of Cornelius Road, a 60-foot right-of-way;

THENCE North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

THENCE South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

THENCE North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

THENCE North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

THENCE South 01 degrees 28 minutes 22 seconds East, a distance of 835.49 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

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Exhibit 'A':
Legal Description

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC' set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC' set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 20190000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC' set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the *POINT OF BEGINNING* and containing 94.133 acres of land, more or less.

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Exhibit 'B':
Survey

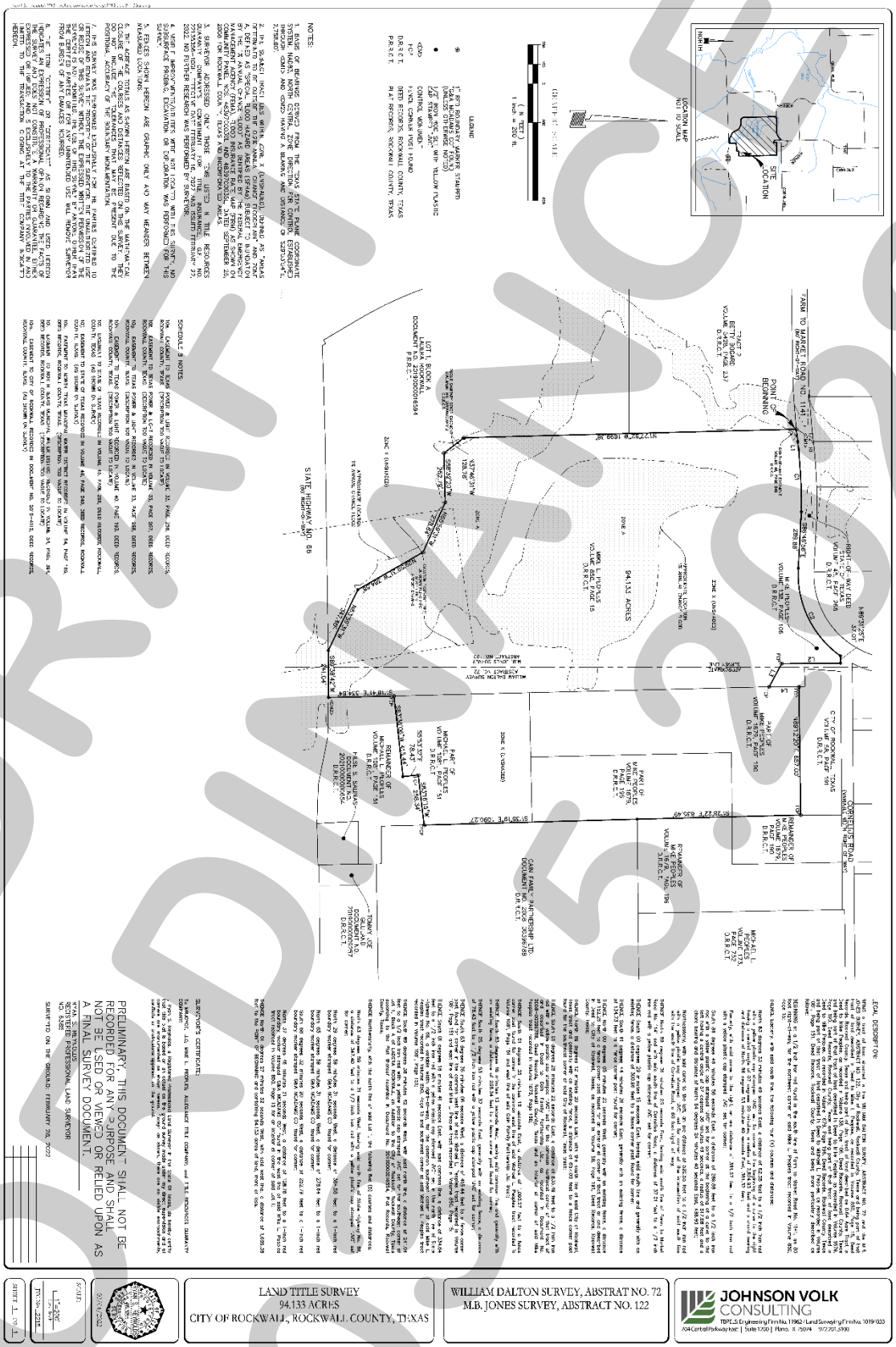

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Exhibit 'C':
Concept Plan

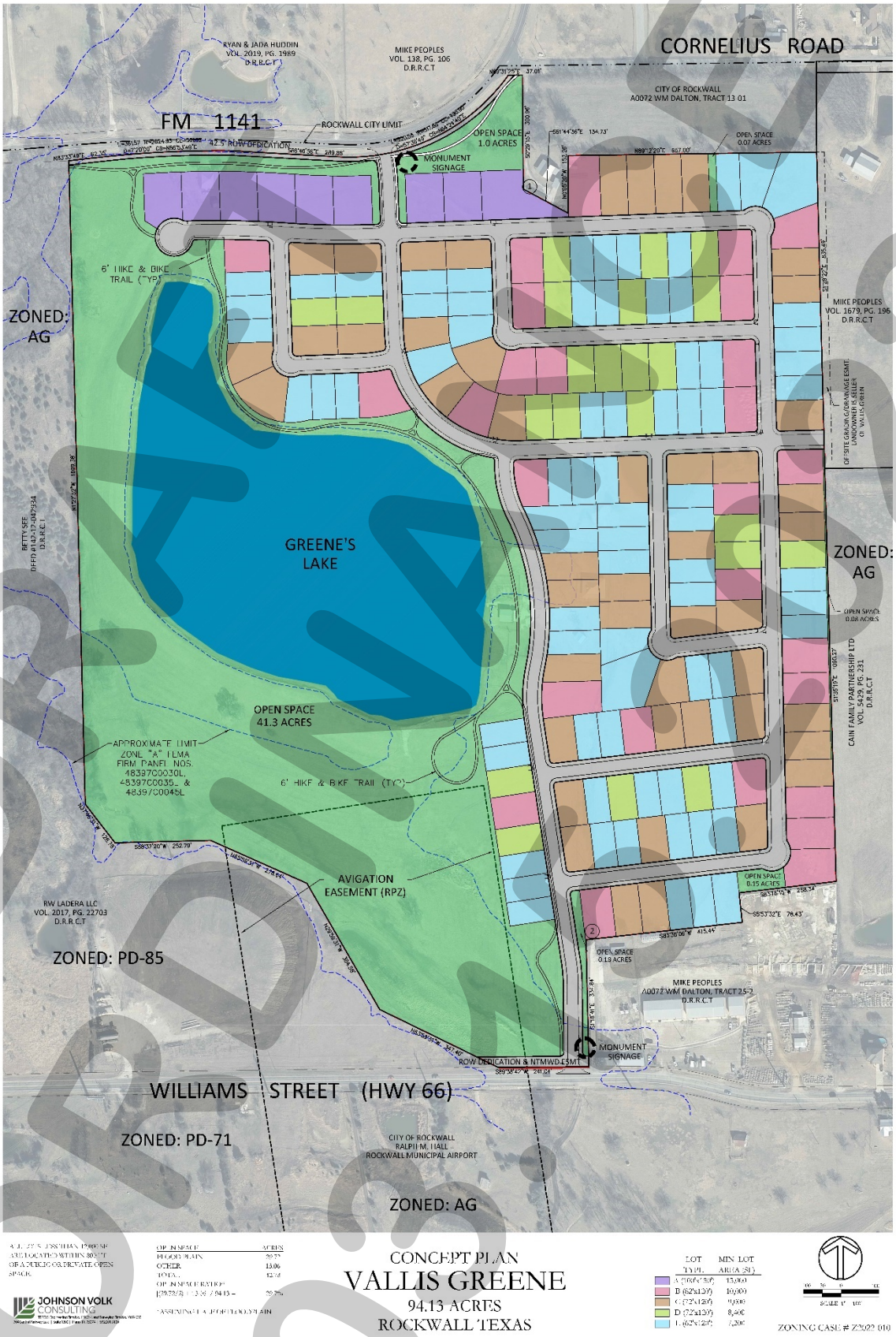

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Exhibit 'D':
Density and Development Standards

DENSITY AND DEVELOPMENT STANDARDS.

(1) *Permitted Uses*. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.

(2) *Lot Composition and Layout*. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	*Minimum Lot Size (FT)*	*Minimum Lot Size (SF)*	*Dwelling Units (#)*	*Dwelling Units (%)*
A	100' x 130'	13,000 SF	9	04.95%
B	82' x 120'	10,000 SF	29	15.93%
C	72' x 110'	9,000 SF	45	24.73%
D	72' x 110'	8,400 SF	22	12.09%
E	62' x 110'	7,200 SF	77	42.31%
		Maximum Permitted Units:	*182*	*100.00%*

(3) *Variation in Residential Lot Composition*. The allocation of single-family residential lot types may deviate from the that in Subsection (2), *Residential Lot Composition and Layout*, of this ordinance provided that the maximum allowed total dwelling units does not exceed *182* units provided [*1*] a minimum of 57.69% of the total lot count be comprised of *Lot Types 'A'*, *'B'*, *'C'* & *'D'*, [*2*] a minimum of nine (9) *Lot Type 'A'* and 30 *Lot Type 'B'* lots are provided, and [*3*] a maximum of 42.30% *Lot Type 'E'* lots can be provided.

(4) *Density and Dimensional Requirements*. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property.* The maximum permissible density for the *Subject Property* shall not exceed *1.93* dwelling units per gross acre of land; however, in no case should the proposed development exceed *182* units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	***A***	***B***	***C***	***D***	***E***
Minimum Lot Width [1]	100'	82'	72'	72'	62'
Minimum Lot Depth	130'	120'	115'	110'	110'
Minimum Lot Area	13,000 SF	10,000 SF	9,000 SF	8,400 SF	7,200 SF
Minimum Front Yard Setback [2], [5] & [6]	25'	20'	20'	20'	20'
Minimum Side Yard Setback	15'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) [2], [5] & [7]	15'	15'	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'	20'	20'
Maximum Height [3]	35'	35'	35'	35'	35'
Minimum Rear Yard Setback [4]	25'	20'	20'	20'	20'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,400 SF	2,200 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	45'	45'	45'	65'	65'

General Notes:

[1]: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.

[2]: The location of the *Front Yard Building Setback* as measured from the front property line.

[3]: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.

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[4]: The location of the *Rear Yard Building Setback* as measured from the rear property line.
[5]: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
[6]: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
[7]: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

(5) *Building Standards*. All development shall adhere to the following building standards:

(a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitous fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD

FIGURE 2: EXAMPLES OF BOARD AND BATTEN

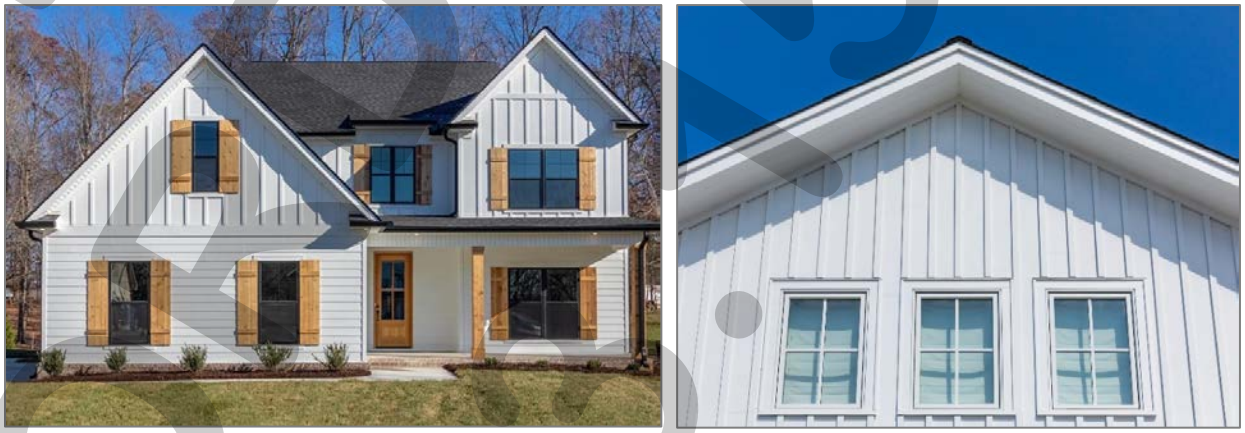

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FIGURE 3: EXAMPLES OF HORIZONTAL LAP

(b) *Roof Pitch*. A minimum of an *8:12* roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a *4:12* roof pitch.

(c) *Garage Orientation and Garage Doors*. A total of 50% of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 50% of all garages shall be oriented in a *J-Swing* (*or Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [*1*] coach lighting, [*2*] decorative wood doors or wood overlays on insulated metal doors, and [*3*] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [*see Figures 4-6 for examples of upgraded or enhanced finishes*].

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR

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FIGURE 5: EXAMPLES OF UPGRADED FINISHES

DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES

(6) *Anti-Monotony Restrictions*. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see Figures 7 & 8 below*).

TABLE 3: ANTI-MONOTONY MATRIX

Lot Type	*Minimum Lot Size*	*Elevation Features*
A	13,000 SF	(1), (2), (3), (4)
B	10,000 SF	(1), (2), (3), (4)
C	9,000 SF	(1), (2), (3), (4)
D	8,400 SF	(1), (2), (3), (4)
E	7,200 SF	(1), (2), (3), (4)

Exhibit 'D':
Density and Development Standards

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, Cornelius Road, FM-1141, or SH-66 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

(1) Number of Stories
(2) Permitted Encroachment Type and Layout
(3) Roof Type and Layout
(4) Articulation of the Front Façade

(c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

(d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.

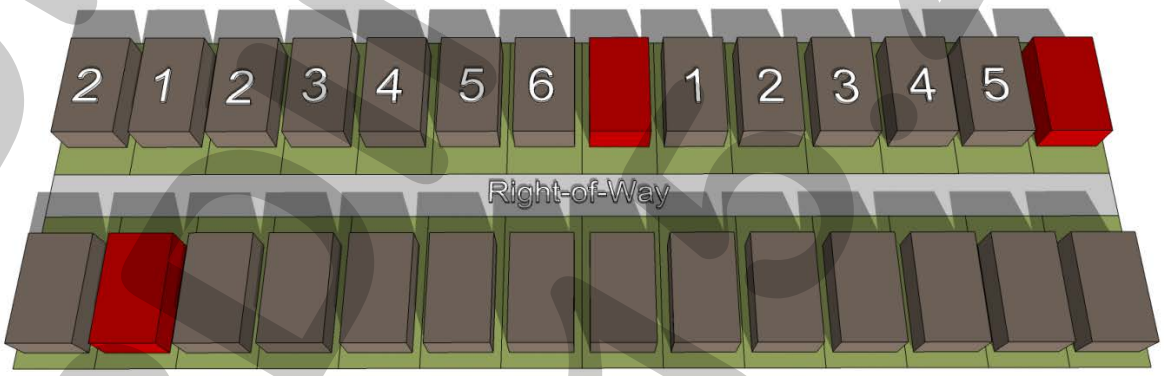

FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.

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(7) *Fencing Standards*. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

(a) *Front Yard Fences*. Front yard fences shall be prohibited.

(b) *Wood Fences*. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

(c) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways (*i.e. FM-1141, Cornelius Road, and SH-66*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height. The *Lot Type 'A'* lots shall be required to utilize wrought iron/tubular steel fencing.

(d) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.

(e) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(f) *Fence in Easements*. No fencing shall be constructed in or across a North Texas Municipal Water District (NTMWD) easement and/or an easement of the City of Rockwall.

(g) *Additional Fence Requirements*. In addition to the abovementioned fence requirements the following additional requirements will need to be met for *Locations* ❶ *&* ❷ as depicted on *Exhibit 'C'* of this ordinance.

(1) *Location* ❶. In Location ❶, where the *Lot Types 'A' & 'B'* lots abut an existing single-family home that has an existing six (6) foot or greater wood fence, the wood fence shall be permitted to remain on the shared property line and serve both lots.

(2) *Location* ❷. In Location ❷, where the lots abut a non-residential land use along the southern property line, a minimum of an eight (8) foot wood fence meeting the requirements of Subsection (b), *Wood Fences*, and Subsection (e), *Solid Fences (including Woods Fences*), above shall be constructed. In addition, one (1) row of

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a minimum of four (4), four (4) inch caliper Eastern Red Cedar or Leland Cypress trees shall be planted along the rear property line of each property.

(8) *Landscape and Hardscape Standards.*

(a) *Landscape.* Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

(b) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

(1) *Landscape Buffer and Sidewalks (FM-1141)*. A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.

(2) *Landscape Buffer and Sidewalks (SH-66)*. A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.

(3) *Landscape Buffers (Adjacent to Open Space).* A minimum of a ten (10) foot landscape buffer shall be provided along streets that have frontage on open space. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.

(c) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

(d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In

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addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.

(e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

(f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.

(9) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

(10) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.

(11) *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.

(12) *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

(13) *Open Space/Public Park*. The development shall consist of a minimum of 20% open space (*or a minimum of 18.794-acres -- as calculated using the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. In addition, the developer shall be required to use the pro-rata equipment and cash-in-lieu of land fees -- *in the amounts stipulated by the Parkland Dedication Ordinance* -- to establish a public park with amenities on the four (4) acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract 72*) owned by the City of Rockwall adjacent to Cornelius Road. Amenities for this public park shall include irrigation, parking, a playground, walking trails, and benches. All equipment and improvements within the public park shall be built to the specifications stipulated by the Director of Parks and Recreation, and shall be provided by the developer in conjunction with the development of the proposed subdivision. Funds provided by the developer shall not be required to exceed the fees required through the *Parkland Dedication Ordinance*. Plans for the proposed public park shall be reviewed and recommended by the Parks and Recreation Board and approved by the City Council with the Preliminary Plat/Master Parks and Open Space Plan. In the event that the design of the public park cannot be agreed up by the *Developer* and the City of Rockwall, the *Developer* shall have the ability to satisfy the fees through the normal payment method dictated by the *Parkland Dedication Ordinance*.

DRAFT 09.13.22

(14) *Trails*. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.

(15) *Neighborhood Signage and Enhancements*. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*; however, the signage should be equal to or better than the representative signage depicted in *Exhibit 'C'*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.

(16) *Homeowner's Association (HOA)*. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

(17) *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

DRAFT
ORDINANCE
03.15.2022

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Ryan Miller, AICP; *City of Rockwall*
CASE NUMBER:	Z2021-011; *Zoning Change Agricultural (AG) District to General Retail (GR) District*

SUMMARY

Hold a public hearing to discuss and consider a City initiated request for the approval of a *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

BACKGROUND

The majority of the subject property was annexed on May 19, 1986 by *Ordinance No. 86-37* [*Case No. A1986-005*]. The remainder of the subject property was annexed on March 16, 1998 by *Ordinance No. 98-10* [*Case No. A1998-001*]. At the time of annexation both portions of the subject property were zoned Agricultural (AG) District. In 2007-2008, the City of Rockwall acquired the subject property -- *which was a portion of a larger 6.702-acre tract of land (i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- for the future right-of-way of John King Boulevard. When John King Boulevard was constructed, the subject property was established in its current configuration. The subject property has remained vacant since its annexation.

On August 19, 2021, Maxwell Fisher of Masterplan submitted a development application on behalf of Saro Partners, LLC requesting to rezone a 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) [*known as the Developers Property*] from an Agricultural (AG) District to a Light Industrial (LI) District. Provided with the application was a concept plan showing a proposed ~17,000 SF facility for a *Social Service Provider/Day Care* (*i.e. Boys and Girls Club of America*). After reviewing the application and concept plan, staff was made aware that the parking areas and a portion of the proposed facility would be situated within the Runway Protection Zone (RPZ) and *Clear Zone Easement* [*Instrument No. 19690000870386*] of the Ralph Hall Municipal Airport. In response to these findings, staff contacted the applicant to discuss possible options to protect the airport's RPZ while still finding a way to facilitate the proposed development. The option that appeared to be the most beneficial to all parties involved, was an option that involved trading the 5.07-acre tract of land (*i.e. the Developers Property*) for a 4.18-acre portion of the subject property (*i.e. a portion of Tract 9 of the M. B. Jones Survey, Abstract No. 122*). At the February 7, 2022 City Council meeting, the City Council approved a motion directing the City Manager to enter into a 380 Economic Development Agreement with the owner of the *Developer's Property* for the property swap and the development of a Boys and Girls Club of America on the subject. This agreement was signed and executed by the City and Saro Partners, LLC on March 8, 2022.

Under the terms of this agreement, the City of Rockwall is responsible for rezoning the *City's Property* from an Agricultural (AG) District to a Commercial (C) District and replatting the subject property into two (2) lots (*i.e. a 4.18-acre parcel of land that will be subject to the terms of the agreement and a 1.632-acre parcel of land that will be retained by the City of Rockwall*). Once the property is zoned and platted, the 4.18-acre parcel of land can be exchanged for the *Developer's Property* and then deeded to the Boys and Girls Club of America. After the property swap, the Boys and Girls Club of America will have 36-months from the date of the exchange of the property to begin developing the property with a new facility or the properties will revert back to their previous ownership.

In preparing for this case, staff received a number of phone calls and emails from residents of the adjacent neighborhood (*i.e. the Caruth Lakes Subdivision*) expressing a concern with the requested Commercial (C) District zoning. Based on this staff

engaged the applicant to see if they were open to a changing the request from a Commercial (C) District to a General Retail (GR) District, and on March 11, 2022 the applicant sent an email accepting the change. Staff should point out that this change does not affect the ability of the Boys and Girls Club of America to meet the 380 Economic Development Agreement or what is being proposed to be developed on the subject property; however, staff is in agreement with the residents that a General Retail (GR) District zoning designation is more consistent with the residential adjacencies.

PURPOSE

In accordance with the requirements of the executed 380 Economic Development Agreement and the changes agreed to by the City and Shawn Valk of Saro Partners, LLC, the City of Rockwall has submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a General Retail (GR) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest corner of the intersection of FM-1141 and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-1141, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.5457-acre tract of land (*i.e. Tract 29-1 of the S. S. McCurry Survey, Abstract No. 146*) zoned Agricultural (AG) District. Situated on this tract of land is a 2,176 SF single-family home constructed in 1971. North of this property is Phase 6 of the Caruth Lakes Subdivision, which was established on August 9, 2005 and consists of 158 single-family residential lots. This subdivision is zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is: [*1*] a 1.837-acre vacant tract of land (*i.e. Tract 6 of the M. B. Jones Survey, Abstract No. 122*) zoned Agricultural (AG) District, and [*2*] a 9.894-acre vacant parcel of land (*i.e. Lot 1, Block B, Ladera Rockwall Addition*). Beyond this is SH-66, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is: [*1*] excess right-of-way for John King Boulevard (*i.e. being a portion of Tract 9 of the M. B. Jones Survey, Abstract No. 122*), [*2*] a 15.93-acre vacant tract of land (*i.e. Tract 5-1 of M. B. Jones Survey, Abstract No. 122*) zoned Agricultural (AG) District, and [*3*] a 9.789-acre parcel of land (*i.e. Lot 1, Block A, Ladera Rockwall Addition*) zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses. Situated on the 9.789-acre parcel of land is Phase 1 of the Ladera Subdivision, which was established on September 20, 2019 and consists of 87 single-family residential homes.

West: Directly west of the subject property is FM-1141, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.20-acre tract of land (*i.e. Tract 1 of the M. B. Jones Survey, Abstract No. 122*) zoned Agricultural (AG) District. Situated on this tract of land is a 1,380 SF single-family home constructed in 1976. West of this property is Phase 6 of the Caruth Lakes Subdivision, which was established on August 9, 2005 and consists of 158 single-family residential lots. This subdivision is zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses.

CONFORMANCE TO THE CITY'S CODES

According to Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provided limited retail and service uses … [*that*] include most types of retail and office activity, and are typically located on/at the intersections of major thoroughfares." This section goes on to state that "(s)ince the General Retail (GR) District will be located close to residential areas, the development standards are stringent and require high standards of development …" These standards are defined in Subsection 07.03, *Non-Residential District Development Standards*, of the Unified Development Code (UDC) and are summarized as follows:

TABLE 1: GENERAL RETAIL (GR) DISTRICT STANDARDS

Minimum Lot Area	6,000 SF
Minimum Lot Width	60'
Minimum Lot Depth	100'
Minimum Front Yard Setback [1] & [2]	15'
Minimum Side Yard Setback [3]	10'
Minimum Rear Yard Setback [3]	10'
Minimum Between Buildings [3]	10'
Maximum Building Height [4]	36'
Maximum Building Size [5]	25,000 SF
Maximum Lot Coverage	40%
Minimum Landscaping	20%

General Notes:

[1]: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.

[2]: Parking should not be located between the front façade and the property line.

[3]: The setback can be reduced to zero (0) feet with a fire rated wall.

[4]: Building height may be increased up to 60-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

[5]: A maximum building size of 25,000 SF in area, unless otherwise approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

If this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within *Northwest Residential District* and is designated for *Commercial/Retail* land uses. In addition, the *District Map* shows that the subject property is an ideal place for a *Trail Plan Rest Stop/Trailblazer Pylon* for John King Boulevard in accordance with the John King Boulevard Corridor Plan (*see Subsection 02.02 of Appendix 'B', Corridor Plans, of the OURHometown Vision 2040 Comprehensive Plan*). The *Land Use Designations* section of the plan states that, "(t)he *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersection ..."; however, listed as an acceptable land use in the *Secondary Land Uses* section of this designation is the *Institutional/Civic Land Uses*, which is what the proposed Boys and Girls Club of America would be categorized as. Additionally, the General Retail (GR) District is one (1) of the permitted zoning designations for the *Commercial/Retail* designation. Based on this the proposed zoning change meets the intent of the Comprehensive Plan. With regard to the *Trial Plan Rest Stop/Trailblazer Pylon* designated to be situated on the subject property, this element of the plan is probably better situated at the corner of the FM-1141 and John King Boulevard. This would be on the 1.632-acre portion of the subject property that will be retained by the City of Rockwall.

For the Planning and Zoning Commission and City Council's review, staff has included excerpts from the Comprehensive Plan showing the *Land Use Plan* and *District Strategies* for the *Northwest Residential District*, and the land use designation definition for the *Commercial/Retail* land use designation.

INFRASTRUCTURE

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for any development of the subject property:

(1) *Roadways*. At the time of development, the developer shall verify the right-of-way width of FM-1141 to ensure there is 120-feet of right-of-way, and dedicate any of the subject property that is within 30-feet of the centerline of the roadway and put anything up to 60-feet from the centerline in a reserve. A Traffic Impact Analysis (TIA) will be required by the Texas Department of Transportation (TXDOT) at the time the civil engineering is submitted.

(2) *Water*. An eight (8) inch water line will need to be extended from the 12-inch water line at the northwest corner of FM-1141 and John King Boulevard, through the subject property to the west side of FM-1141, and tie into the 12-inch water line stubbed out north of Waters Edge Drive.

(3) *Wastewater*. A minimum of an eight (8) inch wastewater line will need to extend from the manhole at the southeast corner of the subject property to the northern most property line of the subject property.

(4) *Drainage*. If a proposed development is *touching* the floodplain, the developer shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. This has already been submitted by the applicant. In addition, detention will be required and sized per *Manning's C-Value* for the zoning designation.

STAFF ANALYSIS

The proposed zoning change is in conformance with the intent of the General Retail (GR) District as defined by the Unified Development Code (UDC) and the policies and guidelines of the OURHometown Vision 2040 Comprehensive Plan; however, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2022, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

(1) Two (2) property owner notifications from property owners within the 500-foot notification buffer opposed to the applicant's request.
(2) Two (2) emails from two (2) property owners outside of the 500-foot notification buffer opposed to the applicant's request.
(3) Two (2) responses from the online *Zoning & Specific Use Permit Input Form* from two (2) property owners outside of the 500-foot notification buffer opposed to the applicant's request.
(4) Three (3) emails from three (3) property owners outside of the 500-foot notification buffer stating an opposition to Commercial (C) District zoning. These emails indicate that General Retail (GR) District zoning is more appropriate for this request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a General Retail (GR) District, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the draft ordinance; and,

(2) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Z2022-011

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☑ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	A0122 M.B. JONES, TRACT 9				
SUBDIVISION		LOT	/	BLOCK	/
GENERAL LOCATION	NWC OF FM 1141 & N. JOHN KING BLVD				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Agricultural		CURRENT USE	VACANT	
PROPOSED ZONING	COMMERCIAL		PROPOSED USE	VACANT	
ACREAGE	5.702	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	CITY OF ROCKWALL	☑ APPLICANT	RYAN MILLER
CONTACT PERSON	RYAN MILLER	CONTACT PERSON	"
ADDRESS	385 S. GOLIAD	ADDRESS	385 S. GOLIAD
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	ROCKWALL, TX 75087
PHONE	972-771-7700	PHONE	972-772-6441
E-MAIL	rmiller@rockwall.com	E-MAIL	rmiller@rockwall.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ *[OWNER]* THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

* FEE IS WAIVED *

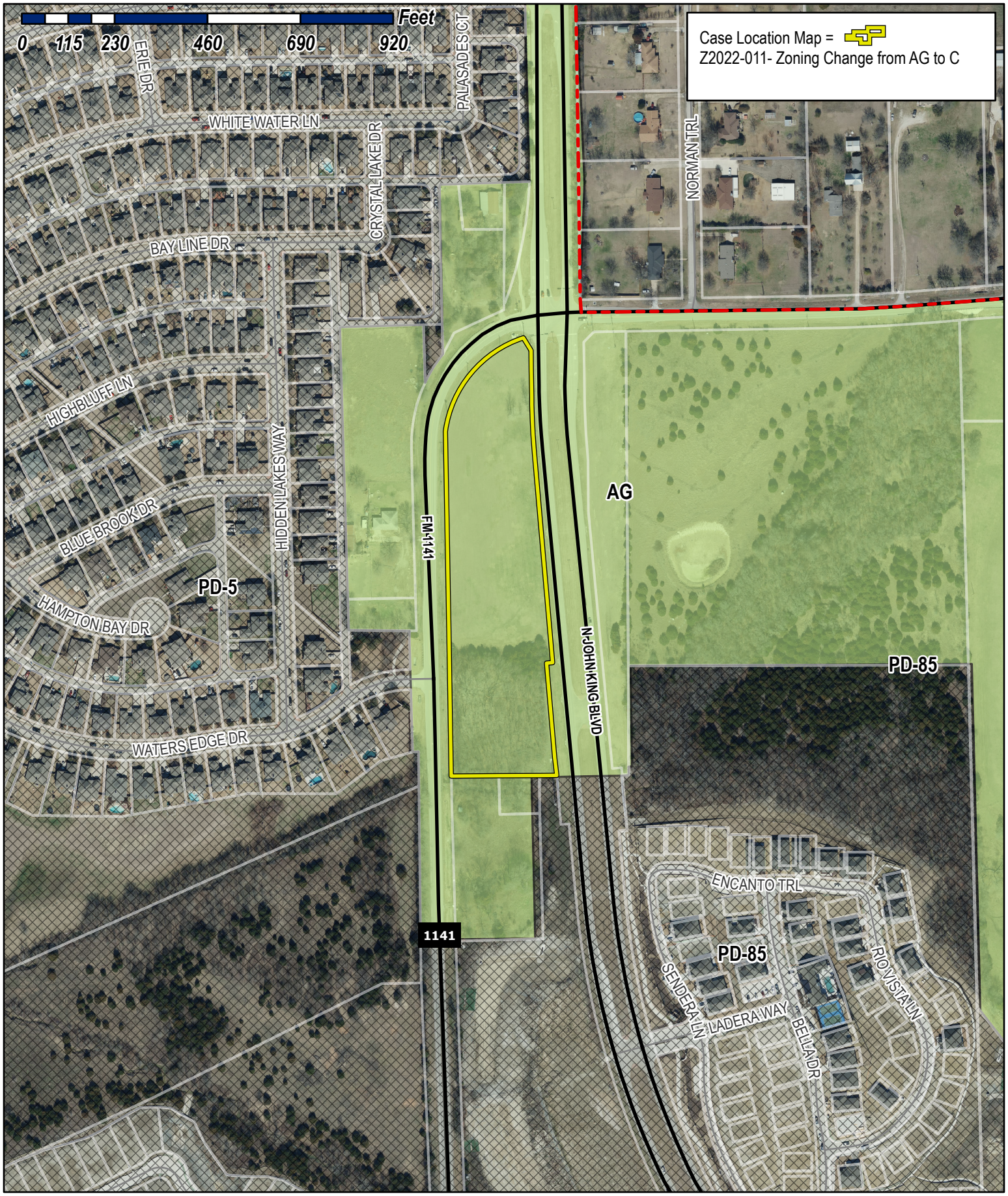
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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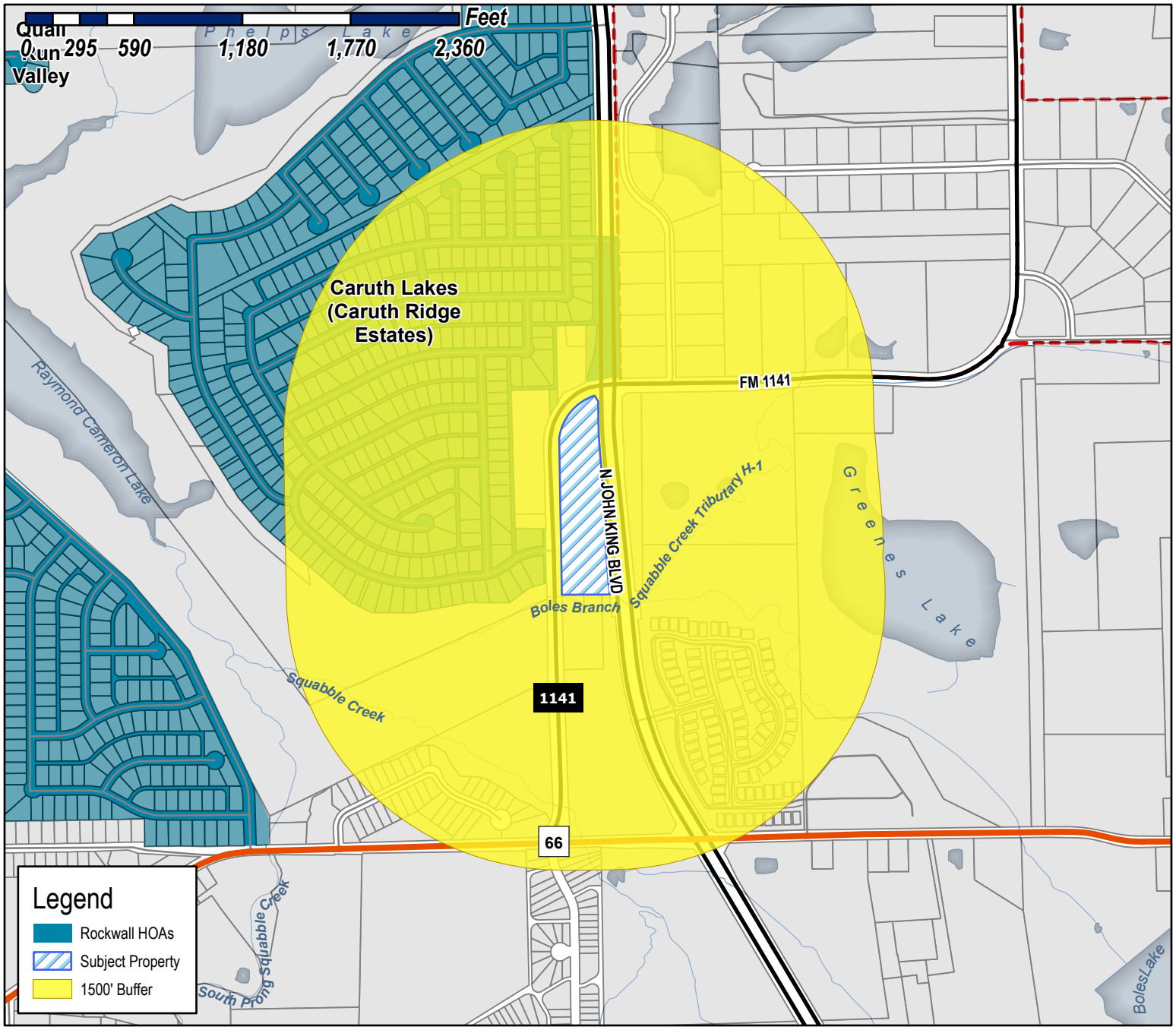
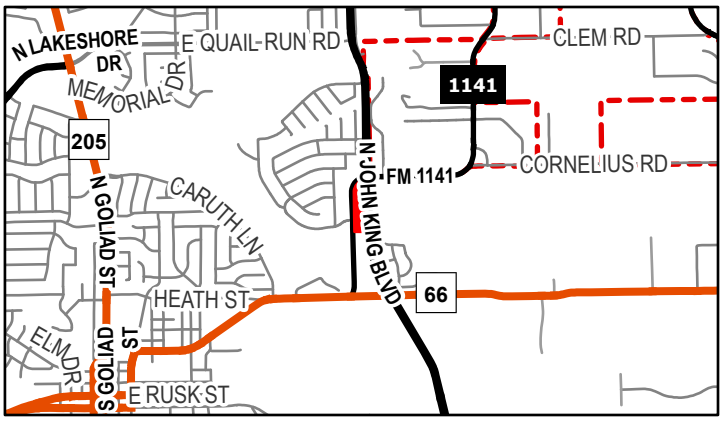


Case Number: Z2022-011
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: NWC of FM 1141 & N. John King Blvd.



Date Saved: 2/22/2022
For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:26 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-011]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.22.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-011: Zoning Change from AG to C
Hold a public hearing to discuss and consider a City initiated request for the approval of a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

This email was scanned by Bitdefender

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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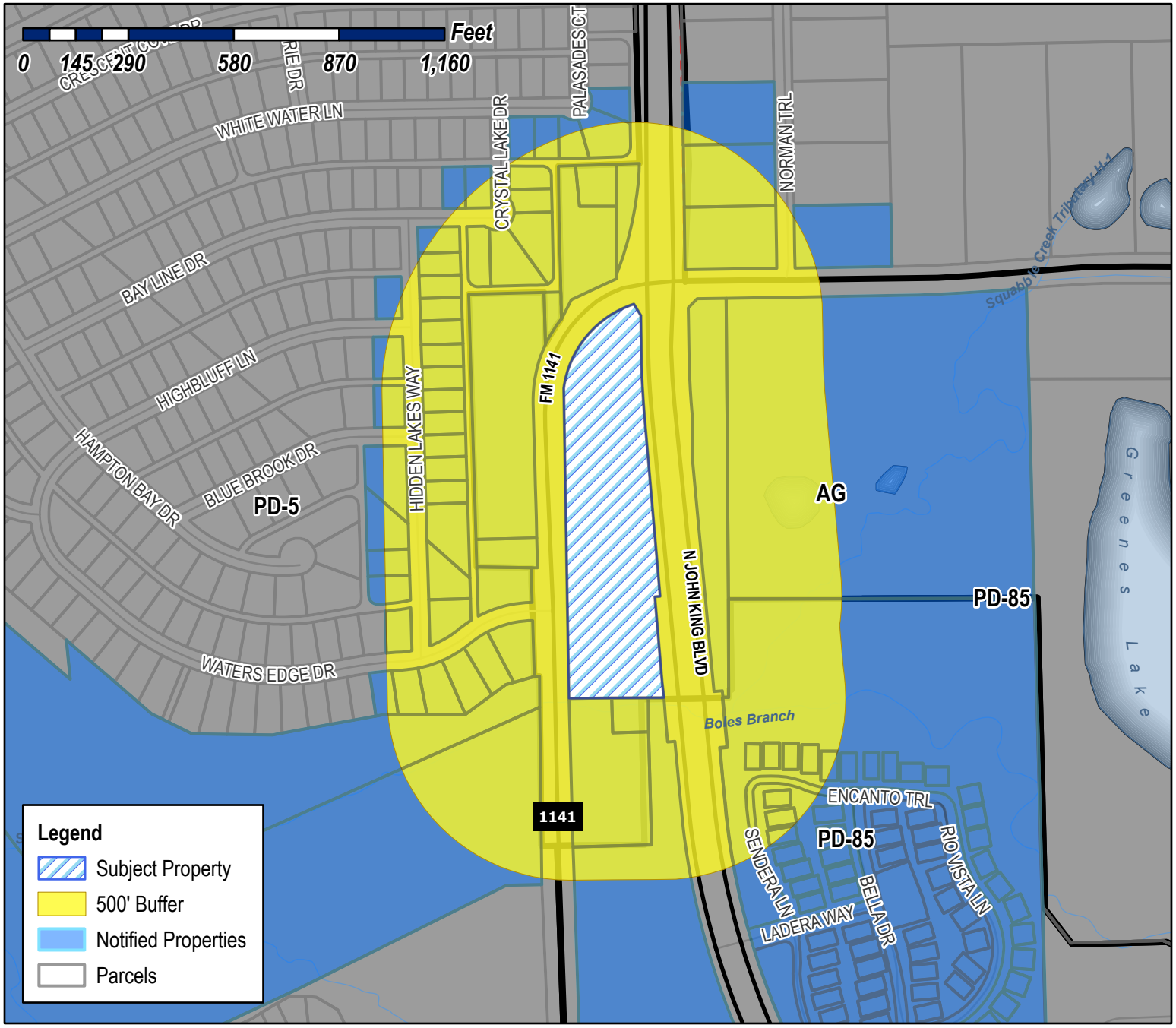
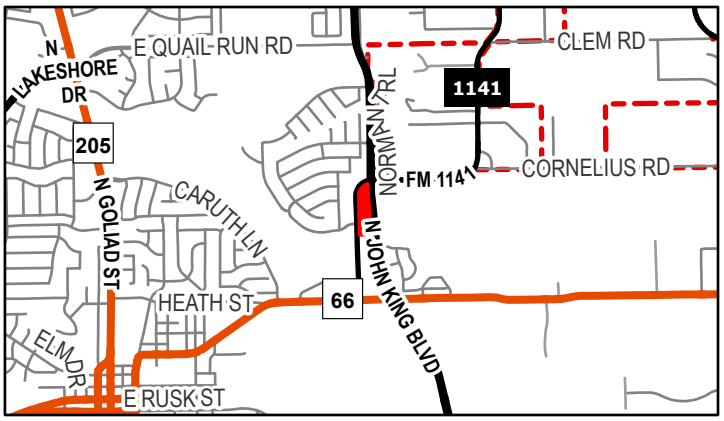


Case Number: Z2022-011
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SWC of FM 1141 & N. John King Blvd

Date Saved: 2/22/2022
For Questions on this Case Call (972) 771-7745



TANNER BACIL H AND NELDA R
1004 NORTH HARRISON
WEST, TX 76691

ACKENBACK SPENCER AND HEATHER LYNN SCHAMBER
1013 FM 1564 W
GREENVILLE, TX 75402

KEHM NATALIE & DONAVON
1050 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ACKENBACK SPENCER AND HEATHER LYNN SCHAMBER
1055 HIDDEN LAKES WAY
ROCKWALL, TX 75087

TAYLOR STEVEN MURRY & ANITA
1060 HIDDEN LAKES WAY
ROCKWALL, TX 75087

JOHNSON JAMIE L AND RICHARD K
1061 HIDDEN LAKES WAY
ROCKWALL, TX 75087

HANKINS MARQUIS L & JACQUELINE K
1069 HIDDEN LAKES WAY
ROCKWALL, TX 75087

LEAHY ANDERSON C AND KAITLIN A
1070 HIDDEN LAKES WAY
ROCKWALL, TX 75087

FAIRES DEWAIN AND MONICA
1080 HIDDEN LAKES WAY
ROCKWALL, TX 75087

VANDIVER JAY L & PAULA J
1085 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BRUNER KURT & OLIVIA
1086 HIDDEN LAKES WAY
ROCKWALL, TX 75087

SHIPP DARLA JUNE & STANLEY JOE
1092 HIDDEN LAKES WAY
ROCKWALL, TX 75087

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

GILPIN THOMAS K & ANGELA J
1100 HIDDEN LAKES WAY
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
1106 HIDDEN LAKES WAY
ROCKWALL, TX 75087

CONFIDENTIAL
1112 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ROWE LORI A
1118 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BRUNER KURT & OLIVIA
11206 SANTA CRUZ DR
AUSTIN, TX 78759

LARSEN RALPH K
1124 HIDDEN LAKES WAY
ROCKWALL, TX 75087

WHISENHUNT KENNETH AND JUDY
1130 HIDDEN LAKES WAY
ROCKWALL, TX 75087

JONES RACHEL AND DOUGLAS
1136 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ROJAS CARLOS
1142 HIDDEN LAKES WAY
ROCKWALL, TX 75087

MARTINEZ AUGUSTINE
1150 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BAUGH MELVA Y
1168 CRYSTAL LAKE DR
ROCKWALL, TX 75087

LAHAIR JOHN & NEALY
1174 CRYSTAL LAKE DR
ROCKWALL, TX 75087

DEWBRE JUSTIN JOEL AND CHERYL CHRISTINE
1261 HIGHBLUFF LN
ROCKWALL, TX 75087

KIERNAN KEVIN & KIMBERLY
1262 BLUE BROOK DRIVE
ROCKWALL, TX 75087

HARVEY DERICK AND
RICK HARVEY AND VICKI HARVEY AND APRIL MARIE HARVEY
1266 HIGHBLUFF LN
ROCKWALL, TX 75087

HUNTER JAMES DARL & SUSAN BAILEY
1271 WATERS EDGE DRIVE
ROCKWALL, TX 75087

JACKSON BEAU MICHAEL AND AMANDA
1277 WATERS EDGE
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
1278 WATERS EDGE DR
ROCKWALL, TX 75087

WILSON TERRY
1302 PALASADES COURT
ROCKWALL, TX 75087

LAMPTEY REBECCA A AND NII LANTE
1382 BAY LINE DRIVE
ROCKWALL, TX 75087

RYDER HEATH JAMES AND MELANIE ANN
1383 WATER EDGE DRIVE
ROCKWALL, TX 75087

WOODUL NETA J
1389 WATERS EDGE DR
ROCKWALL, TX 75087

2017 R GAUNA & M CRUZ REVOCABLE TRUST
1390 BAY LINE DRIVE
ROCKWALL, TX 75087

GARD JOSHUA AND SAMANTHA
1395 BAY LINE DR
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R
1395 WATERS EDGE DRIVE
ROCKWALL, TX 75087

JEAN ANN LOTT REVOCABLE LIVING TRUST
1401 BAY LINE DRIVE
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
1402 WATERS EDGE DR
ROCKWALL, TX 75087

FAKE MARK C & KATHRYN K
1403 WHITE WATER LN
ROCKWALL, TX 75087

GROGAN DANIEL R
1405 WATERS EDGE DRIVE
ROCKWALL, TX 75087

MULLOWNEY PATRICK
1409 WHITE WATER LN
ROCKWALL, TX 75087

DENNY READE EDWARD
1415 WHITE WATER LN
ROCKWALL, TX 75087

GAUVIN COLLEEN
1421 WHITE WATER LANE
ROCKWALL, TX 75087

TANNER WILMA GRACE
1451 FM 1141
ROCKWALL, TX 75087

TANNER BACIL H AND NELDA R
1451 FM 1141
ROCKWALL, TX 75087

MCGILL MICHAEL KIMBERLY
27 NORMAN TRL
ROCKWALL, TX 75087

RICHARDS J MARK
VIVIAN V
28 NORMAN TRL
ROCKWALL, TX 75087

WINKLEY KYLE A AND ANNA K
29 NORMAN TR
ROCKWALL, TX 75087

CTDIGLAND LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

JONES RACHEL AND DOUGLAS
417 PARK PLACE BLVD
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
5035 PINE DR
BOYNTON BEACH, FL 33437

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

SEE BETTY
880 FM 1141
ROCKWALL, TX 75087

LILYHORN PAULA AND GREG
918 SENDERA LN
ROCKWALL, TX

RW LADERA LLC
926 SENDERA
ROCKWALL, TX 75087

FOERSTER ELWYNNE ANN
323 ELM DR
927 FM1141
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-011: Zoning Change from AG to C

Hold a public hearing to discuss and consider a City initiated request for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-011: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Amanda Bethune <mandachelle_99@yahoo.com>
Sent: Friday, March 4, 2022 1:25 PM
To: Planning
Subject: Zoning Change Opposition - Case No. Z2022-011: Zoning Change from AG to C

Name: Amanda and Beau Jackson
Address: 1277 Waters Edge Drive Rockwall 75087

My husband and I are in opposition for the zoning change (Case No. Z2022-011). We live very close to the intersection of Waters Edge and 1141. We have young children (along with several of our neighbors) that are always playing outside. We would not like to have the extra traffic and people that close to where our children play. The new commercial buildings would be within eyes view of our home and would be an eyesore. Having commercial buildings this close to a home can also negatively effect the resale value of a home.

Please take our input into consideration.

Thanks

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Gamez, Angelica

From: jimsmithtexas@aol.com
Sent: Monday, March 7, 2022 12:38 PM
To: Fowler, Kevin; Daniels, Bennie; Hohenshelt, John; Jorif, Clarence; Johannesen, Trace; Macalik, Dana; Campbell, Anna; Miller, Ryan; Planning
Subject: Z2022-011

Importance: High

As citizens of the City of Rockwall, we are requesting that the Rockwall Planning and Zoning Department and the City Council deny the request in Z2022-011 to change the zoning for this parcel of land from *Agriculture (AG)* to *Commercial (C)* because the zoning of *Commercial* allows for the building of businesses that are not deemed appropriate for this location.

We believe that a zoning of *General Retail (GR)* is significantly more appropriate for this location. Please deny the request for the designation of *Commercial* zoning and advise the applicant to apply for the more appropriate zoning designation of *General Retail*.

Thank you,

Jim & Shirley Smith
609 Amherst Drive
Rockwall, TX 75087r

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-011

Please place a check mark on the appropriate line below: *

- [ ] I am in favor of the request.
- [x] I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

To close to homes and children

Respondent Information

Please provide your information.

First Name *

Josh

Last Name *

Gard

Address *

1395 Bay Line Dr

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

jgard2522@yahoo.com

Phone Number

Please check all that apply: *

- [x] I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- (●) I received a property owner notification in the mail.
- ( ) I read about the request on the City's website.
- ( ) I saw a zoning sign on the property.
- ( ) I read about the request in the Rockwall Herald Banner.
- ( ) My neighbors told me about the request.
- ( ) Other: _____

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-011

Please place a check mark on the appropriate line below: *

- [ ] I am in favor of the request.
- [x] I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We do not want a business built behind our home.

Respondent Information

Please provide your information.

First Name *

Kenneth & Judy

Last Name *

Whisenhunt

Address *

1130 Hidden Lakes Way

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

jwhiz46@hotmail.com

Phone Number

214-738-1392

Please check all that apply: *

- [x] I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- [ ] Other: _____

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- ( ) I read about the request in the Rockwall Herald Banner.
- ( ) My neighbors told me about the request.
- ( ) Other: _____

This content is neither created nor endorsed by Google.

Google Forms

PLEASE RETURN THE BELOW FORM

Case No. Z2022-011: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

We did our due diligence when we built our home 10 years ago to ensure property around us was not zoned commercial. We would not have built and put $400k in home improvements had we known this land could be zoned commercial. We're extremely concerned about the noise, light pollution that will effect our neighborhoods quality of life & property values

Name: Donavon & Natalie Kehm

Address: 1050 Hidden Lakes Way, Rockwall, TX 75087 214-507-1554

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-011: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Already feel as though we're living on the square of downtown Rockwall. We are surrounded by too many houses & too much traffic as is. Thank you!

Name: John Lahair Kelly Lahair

Address: 1174 Crystal Lake Dr. Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-011: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

I don't want commercial property in my residential property zone. Too much traffic & it will lower my property value in years to come.

Name: Neta Woodul

Address: 1389 Waters Edge Dr Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: donnadorman@swbell.net
Sent: Monday, March 7, 2022 9:12 AM
To: Daniels, Bennie; Fowler, Kevin; Hohenshelt, John; Jorif, Clarence; Johannesen, Trace; Macalik, Dana; Campbell, Anna; Miller, Ryan
Subject: Zoning Case Z2022-011

Dear Honorable Council Members,

Regarding the swap of land near Airport Road and a lot located on the SW corner of FM-1141 and N. John King Boulevard. The city's public relations campaign describes a Chapter 380 Economic Agreement between the City of Rockwall and developer (Saro Partners, LLC,). It indicates it will enhance the safety of people and property on the ground by moving a proposed Boys and Girls Club out of a Runway Protection Zone near the Ralph Hall Municipal Airport to the SW Corner of FM1141 and John King Blvd.

This all sounds well and good since it is reasonable to assume we all support safety, economic development, and non-profits like the Boys and Girls Club who do good for the community.
However, the proposed Boys and Girls club will go directly on SH205 Bypass, otherwise known as John King Blvd. The City of Rockwall is working with TxDOT to move all 18-wheeler traffic to John King from Goliad. The already heavy 18-wheeler traffic will increase substantially. Unfortunately, the City of Rockwall allowed a toddler's playground directly on John King a while back which caused an uproar. It is concerning that child safety seems to take a back seat to economic development.

Additionally, the City of Rockwall has requested a zoning change for the lot from AG to commercial C District presumably to allow the Boys and Girls Club to build there. The issue is "C" commercial zoning is general in nature and permits such development as mini warehouses, bail bond services, pawn shops, rental storage, gas stations with more than 2 dispensers, nightclubs, used car lots, and heavy machine tool rental. The more appropriate zoning change would be to "GR" General Retail commercial. Since General Retail (GR) zoning is usually located close to residential areas, the development standards are stringent and require high standards of development. The "C" commercial zoning does not have the same stringent requirements. The GR zoning is all that is needed for a Boys and Girls Club. Daycare with Seven [7] or More Children/Office) and social service providers are permitted with that zoning and it is consistent with the Rockwall Comprehensive Plan.

There is no 100% guarantee the Boys and Girls Club will be built on the lot. If the "C" zoning is approved it will stay associated with the lot. This request to change the zoning is not following the normal application process. Rockwall citizens are not being provided with a site plan, preliminary plat plan, landscape plan, square footage, height, conceptual drawings of the building, traffic flow, or if the lot will be subdivided. **Nothing**. We are not being provided the customary information that normally informs a zoning decision. This is akin to asking the residents to write a blank check on any future development there that could include mini warehouses, bail bond services, pawn shops, rental storage, gas stations with more than 2 dispensers, nightclubs, used car lots, and heavy machine tool rental.

I support the Economic Agreement and the swap of land for the Boys and Girls Club but pawn shops, storage buildings, bail bonds services, nightclubs, machine tool rentals, used car lots etc. near a residential area, in this case Caruth Lakes, Gideon Grove, FM 1141 neighborhoods, and Ladera is unacceptable. Please change the proposed zoning to GR General Retail Commercial on case number Z2022-011.

During the site planning process, extra diligence must be focused on child safety so that a dangerous environment is not created like the existing toddler playground on John King. Use every available stringent zoning guidelines to ensure the safety of the children. We all support safety of people and property on the ground. I urge the City of Rockwall to take a harder look at the economic agreement and proposed zoning to ensure children and their parents are in a protection zone from 18-wheelers and residents' home values and property are in a protection zone with the appropriate GR General Retail zoning.

Thank you.

Donna Dorman

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Miller, Ryan

From: Nell Welborn <nellwelborn@yahoo.com>
Sent: Thursday, March 10, 2022 5:45 PM
To: Miller, Ryan
Cc: Donna Dorman
Subject: Z2202-11

I agree with my neighbors who support the zoning change to GR instead of Commercial. Please add our comments to the case that goes forward to the City Council.

Respectfully,

Nell Welborn

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Miller, Ryan

From: Kendahl Matthews <k.matthews@duvalgc.com>
Sent: Thursday, March 10, 2022 12:40 PM
To: Miller, Ryan
Subject: Proposed Zoning Change on 1141 and John King for Boys and Girls Club Opposition

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Mr. Miller,
I have a strong objection to any type of commercial zoning change of this parcel. This is a residential area and a business of any kind would increase traffic, create more noise than we already have from John King and 66 and disturb our somewhat peaceful neighborhood even more.
I also strongly feel like turning this into a commercial parcel will not guarantee what type of business will be built there and will lower our property values.
I also feel this will create a safety issue for our children and for the probability of more car accidents in the area.
Most all commercial parcels have bright lighting as well and that would be a real annoyance to the homes directly off 1141.
Privacy is also a concern as well as losing beautification of many trees.
This parcel is surrounded by 3 Subdivisions on both sides along with the addition of more schools to come. Plain and simple this a residential area and the only type of zoning that I would agree with would be more homes since there is such a shortage in Rockwall.
I live in Carruth Lakes very close to this parcel of land and I vehemently object to a zoning change from AG to Commercial.
Sincerely,
Kendahl Matthews
1217 Bay Line Drive
Rockwall, 75087
469-964-5321

Kendahl Matthews, Project Manager
Duval General Contractors, LLC
500 North Central Expy., Ste. 500
Plano, Texas 75074
C: **469-964-5321**

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SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

LOCATION: CITY OF ROCKWALL, TX

LEGAL DESCRIPTION

PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS

BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)

LEGAL DESCRIPTION

Being a 5.812 acre tract of land in the M. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, being a portion of a called 10.942 acre tract, described in deed to the City of Rockwall, recorded in County Clerk Number 2007-00389123, Deed Records of Rockwall County, Texas, being that portion of said deed lying west of John King Boulevard, a variable width public right of way, more particularly described as follows;

Commencing at a found iron pipe being the southwest corner of said City of Rockwall tract, being the northwest corner of a called 1.837 acre tract, deeded to Betty Bogard, recorded in County Clerk Number 2008-00396742, Deed Records of Rockwall County, Texas, being on the east right of way line of FM 1141, a 80 foot wide public right of way;

THENCE North 01°04'21" West along said right of way line for a distance of 819.58 feet to a found iron rod, being the beginning of a tangent curve to the right;

THENCE northeasterly along said curve to the right with a radius of 278.39 feet, a central angle of 74°11'35", a chord bearing of North 36°01'27" East, a chord distance of 335.83 feet for an arc length of 360.49 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 31°09'51" East for a distance of 39.22 feet to a Set No. 4 rebar with cap "BW2", being on the west right of way line of John King Boulevard, a variable width public right of way;

THENCE South 00°50'54" East along said right of way line for a distance of 117.04 feet to a Set No. 4 rebar with cap "BW2", being on the beginning of a curve to the left;

THENCE southeasterly along said curve to the left, with a radius of 2,060.00 feet, a central angle of 4°29'16",a chord bearing of South 03°05'37" East, a chord distance of 161.31 feet, for an arc length of 161.35 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 732.10 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 84°39'46" West along said right of way line for a distance of 20.00 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 46.17 feet to a Set "X" Cut, being the southeast corner of said City of Rockwall tract, being the northeast corner of Lot 1, Block B of the Final Plat of Ladera Rockwall, recorded in County Clerk File No. 2019-0000016594, Plat Records of Rockwall County, Texas;

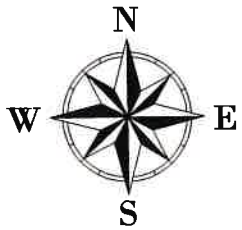
THENCE South 89°26'01" West along said common line for a distance of 265.40 feet to the Point of Beginning;

Said tract contains 5.812 acres more or less.

Subject to all easements of record.

Bearings are based on the Texas Coordinate system, N.A.D. 83 (1993 ADJ.), North Central Zone, 4202 .

Situated in the City of Rockwall, Rockwall County, Texas.



BW2 ENGINEERS, INC.
1919 S. Shiloh Road
Suite 500, L.B. 27
Garland, Texas 75042
(972) 864-8200 (T) (972) 864-8220 (F)
Firm Registration No. F-5290

200 0 200 400
scale feet
1" = 200'

BW2 JOB NO: 19-1954	DRAWN BY: CEC
DATE: DECEMBER,2019	CHECKED BY: CEC

18-1954/DRAWINGS/1954 SURVEY.DWG

SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

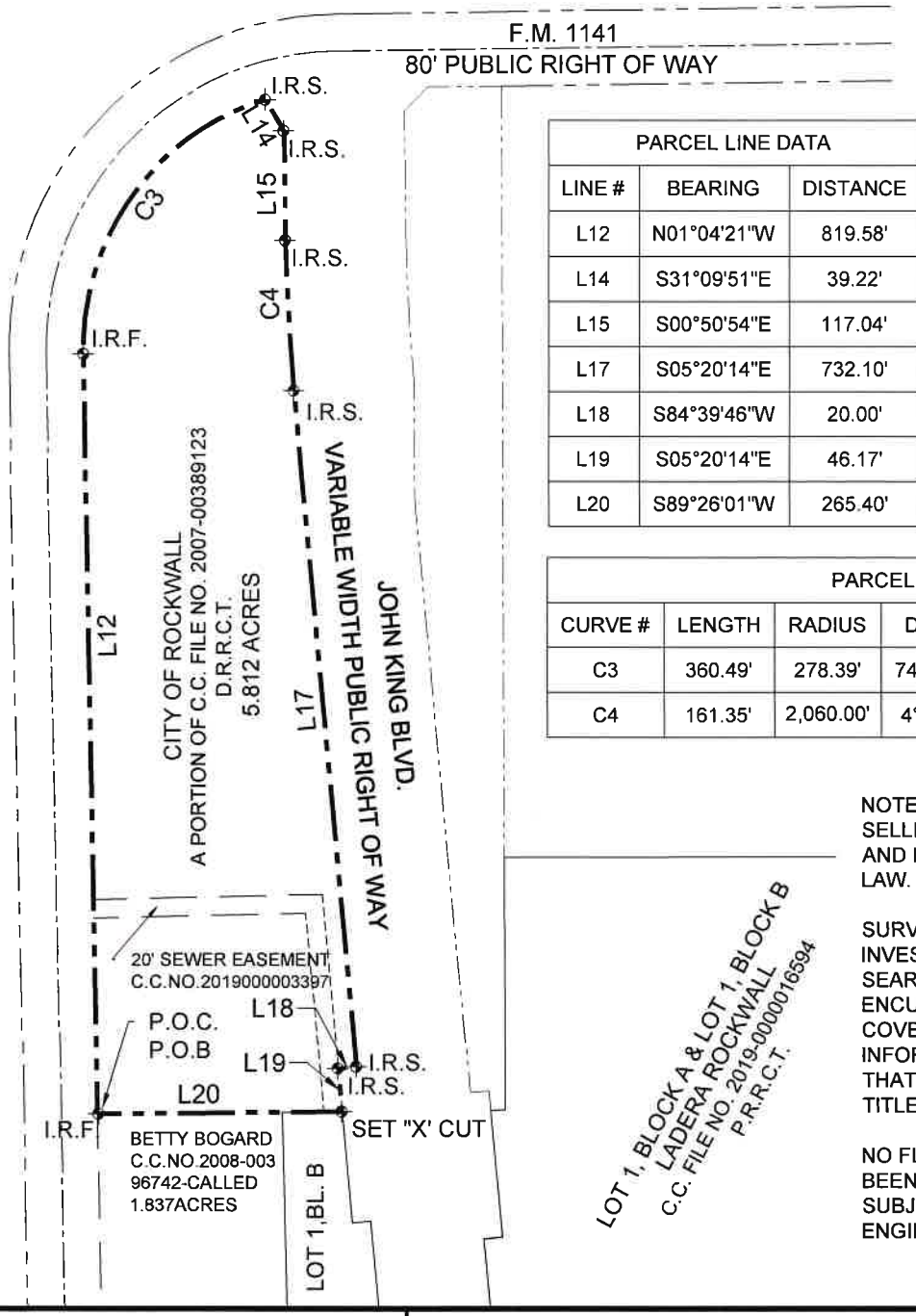
LOCATION: CITY OF ROCKWALL, TX

PARCEL PLAT- EXHIBIT "A"

PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS

BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)



PARCEL LINE DATA		
LINE #	BEARING	DISTANCE
L12	N01°04'21"W	819.58'
L14	S31°09'51"E	39.22'
L15	S00°50'54"E	117.04'
L17	S05°20'14"E	732.10'
L18	S84°39'46"W	20.00'
L19	S05°20'14"E	46.17'
L20	S89°26'01"W	265.40'

LEGEND
I.R.S.: INDICATES SET NO.4 REBAR WITH CAP "BW2"
N.T.S.: INDICATES NOT TO SCALE.
P.O.C.- IS A FOUND IRON ROD BEING THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
I.R.F.:INDICATES FOUND IRON ROD.

PARCEL CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C3	360.49'	278.39'	74°11'35"	335.83'	N36°01'27"E
C4	161.35'	2,060.00'	4°29'16"	161.31'	S03°05'37"E

NOTES:
SELLING A PORTION OF LAND BY METES AND BOUNDS MAY BE A VIOLATION OF LAW.

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE INFORMATION, OR ANY OTHER FACTS THAT AN ACCURATE ABSTRACT OF TITLE MAY DISCLOSE.

NO FLOOD ZONE INFORMATION HAS BEEN SHOWN OR PERFORMED ON THE SUBJECT PROPERTY BY BW2 ENGINEERS,INC.

N W E S

200 0 200 400
scale feet
1" = 200'

BW2 ENGINEERS, INC.
1919 S. Shiloh Road
Suite 500, L.B. 27
Garland, Texas 75042
(972) 864-8200 (T) (972) 864-8220 (F)
Firm Registration No. F-5290

STATE OF TEXAS
REGISTERED
CLIFFORD E. CAMERON
6415
PROFESSIONAL
LAND SURVEYOR
12/9/19

BW2 JOB NO: 19-1954	DRAWN BY: CEC	18-1954/DRAWINGS/1954 SURVEY.DWG	PAGE 2 OF 2
DATE: DECEMBER,2019	CHECKED BY: CEC		

20220000005160 1/9 AGREEMENT 03/08/2022 11:59:38 AM

CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT

This ***CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT*** (hereinafter referred to as the *Agreement*) is entered into by and between the *CITY OF ROCKWALL, TEXAS*, a Texas home-rule municipality (hereinafter referred to as the *City*) and *SARO PARTNERS, LLC* [*a Texas limited liability company*], (hereinafter referred to as the *Developer*). The *City* and *Developer* are collectively referred to in this *Agreement* as the *Parties*.

WHEREAS, the *City* owns approximately 4.18-acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- depicted in *Exhibit 'A'* attached hereto and incorporated herein for all purposes (the *City's Property*), which is part of a larger portion of a 5.702-acre tract of land in the City of Rockwall located at the southwest corner of John King Boulevard and FM-1141; and

WHEREAS, the *Developer* owns approximately 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) -- depicted in *Exhibit 'B'* attached hereto and incorporated herein for all purposes (the *Developer's Property*), which is in the City of Rockwall at the southeast corner of Airport Road and John King Boulevard; and

WHEREAS, the *Developer's Property* is located in the Airport Runway Protection Zone of the Ralph Hall Municipal Airport, which limits the type of development that can be developed on the *Developer's Property*, including the development of an assembly type land use (*i.e. the Boys and Girls Club*); and

WHEREAS, the *Developer* has offered to exchange the *Developer's Property* for the *City's Property* in order to allow for the development of a Boys and Girls Club facility (the *Project*) based on the agreed to terms of an executed *CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT* between the *City* and the *Developer*; and

WHEREAS, the City has determined that the development of the *Project* will be a benefit to the *City* and will promote economic development in the area; and

WHEREAS, in accordance with Section 52-a, *Programs and Loans or Grants of Public Money for Economic Development*, of Article 3, *Legislative Department*, of the Texas Constitution and Section 380.001 of the Texas Local Government Code, the *City* has established a program to provide for the administration of programs to promote state or local economic development and to stimulate business and commercial activity in the *City*; and

WHEREAS, to ensure that the benefits the *City* provides under this *Agreement* are utilized in a manner consistent with Section 52-a, *Programs and Loans or Grants of Public Money for Economic Development*, of Article 3, *Legislative Department*, of the Texas Constitution and Chapter 380, *Miscellaneous Provisions Relating to Municipal Planning and Development*, of the Texas Local Government Code, the *Developer* has agreed, to receive such benefits, to cooperate with the *City* in the design and construction of certain public improvements; and

WHEREAS, the *City* acknowledges that the provisions of this *Agreement* substantially advance a legitimate interest of the *City* by providing public infrastructure, expanding the tax base of the *City* and promoting economic development.

NOW, THEREFORE, for and in consideration of the above recitals and the terms and conditions set forth below, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the *City* and the *Developer* hereby agree as follows:

(1) *PROJECT*.

(A) *Jurisdiction*. The design, specifications and ordinances for the *Project* applicable in the City of Rockwall shall apply to the *Project*, except where the City of Rockwall City Council concurs in writing the application of differing requirements and specifications.

(B) *Property for the Project*. The *City Property* for the *Project* consists of a 4.18-acre acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- depicted in *Exhibit A* attached hereto and incorporated herein for all purposes,

which is part of a larger portion of a 5.702-acre tract of land in the City of Rockwall located at the southwest corner of John King Boulevard and FM-1141.

(C) *Conditions Precedent*. This *Agreement* and the *Developer's* obligation to execute the *Project* are subject to the following conditions:

(I) The *City* will initiate zoning procedures to rezone the *City's Property* from an Agricultural (AG) District to a Commercial (C) District. This zoning change would be in accordance with the City's Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, and would allow the requested land uses (*i.e. a Daycare with Seven [7] or More Children/Office*) needed for the *Project*.

(II) Upon the zoning being approved on the *City's Property*, the *City* and *Developer* will legally document the exchange of the *City's Property* for the *Developer's Property*. This exchange of property will secure a portion of the Airport Runway Protection Zone of the Ralph Hall Municipal Airport.

(III) Once the *Developer* is in possession and has acquired ownership of the *City's Property*, the Boys and Girls Club will have 36-months from the date of the exchange of property to begin developing the *City's Property* with the *Project*. Once the Project has commenced, Developer shall have 24-months to complete the Project.

(D) *Return of City Property*. Should the *Project* fail to commence within 36-months from the date the exchange of the property or if the *Parties* do not extend the term to commence the *Project*, the *Developer* will reconvey the *City's Property* back to the City of Rockwall at no cost to the *City and the City will reconvey the Developer's Property back to the City at no cost to the Developer*. If the City returns the Property to Developer, Developer must comply with the regulations of the Airport Runway Protection Zone on any future development of the returned Developer's Property.

(E) *Plans and Approvals*. The *Developer* shall be responsible for pursuing and obtaining the necessary plats, site plan approvals and all other approvals and permits required from the *City* which are necessary for construction of the improvements for the development for the *Project* as well as all occupancy and use permits required to allow the development and occupancy of the *Project*.

(F) *Construction*. If sufficient funds are raised to proceed with the *Project*, the *Developer* shall require its construction contractor(s) to construct the *Project* in a good and workmanlike manner and in substantial accordance with the approved plans and specifications and shall diligently pursue the construction of the *Project* until it is completed. The *City* shall have the right to inspect the *Project* to confirm compliance with the approved plans and specifications and applicable *City* codes.

(2) *DEFAULT*.

(A) *Notice and Opportunity to Cure*. Notwithstanding anything herein to the contrary, no party shall be deemed to be in default hereunder until the passage of 30-days after receipt by such party of notice of default from the other party. Upon the passage of 30-days without cure of the default, such party shall be deemed to have defaulted for purposes of this *Agreement*, unless such party has commenced to cure such default and is prosecuting the same with reasonable diligence. Notwithstanding the foregoing, commencement of cure, with reasonable diligence, shall only prevent a party from being in default for 60-days after notice was received and a cure had not been achieved unless the non-defaulting party agrees to allow the defaulting party additional time to cure the default.

(B) *Remedies*. In the event of a default not cured within the time period set forth herein, the non-defaulting party may, as its sole and exclusive remedy, terminate this *Agreement* or seek injunctive relief of other equitable relief, including, without limitation, specific performance, to enforce the terms of this *Agreement*. Notwithstanding the foregoing, if injunctive or other equitable relief is barred by governmental immunity, then the *Developer* may pursue all other legal and equitable remedies that are not barred by governmental immunity; however, in no event shall a non-defaulting party be entitled to an award of damages or any other monetary relief. The foregoing remedies shall not be applicable to the facts set forth in Section (1)(D) above and the remedy set forth in such Section shall be the exclusive remedy of the City and the Developer for the facts set forth in that Section.

(C) *Attorney's Fees*. In the event that the *Developer* and the *City* fail to resolve a dispute and become involved in litigation with regard to breach of or dispute arising out of this *Agreement*, the prevailing *Party* shall be entitled to be paid its reasonable attorneys' fees and court costs.

(3) *DISPUTE RESOLUTION.*

(A) If a dispute arises out of or relates to this *Agreement* or the breach thereof, the *Parties* shall first in good faith seek to resolve the dispute through negotiation between the upper management of each respective *Party*. If such dispute cannot be settled through negotiation, the *Parties* agree to try in good faith to settle the dispute by mediation under the *Commercial Mediation Rules of the American Arbitration Association*, Dallas, Texas, before resorting to litigation, or some other dispute resolution procedure; provided that a *Party* may not invoke mediation unless it has provided the other *Party* with written notice of the dispute and has attempted in good faith to resolve such dispute through negotiation. Notwithstanding the foregoing, any *Party* may seek immediate equitable relief, without attempting to settle a dispute through mediation, in any case where such *Party* is entitled to equitable relief by law, the terms of the *Agreement*, or otherwise. All costs of negotiation, mediation, and arbitration collectively known as Alternate Dispute Resolution (ADR) shall be assessed equally between the *City* and *Developer* with each party bearing their own costs for attorneys' fees, experts, and other costs of ADR and any ensuing litigation.

(4) *GENERAL PROVISIONS.*

(A) *INDEMNIFICATION.* THE *DEVELOPER* AGREES TO DEFEND, INDEMNIFY AND HOLD THE *CITY* AND ITS ELECTED OFFICIALS, OFFICERS, AGENTS AND EMPLOYEES (COLLECTIVELY THE *CITY*) HARMLESS FROM AND AGAINST ANY AND ALL REASONABLE LIABILITIES, DAMAGES, CLAIMS, DEMANDS, LAWSUITS, JUDGMENTS, ATTORNEY FEES, COSTS, EXPENSES AND ANY CAUSE OF ACTION OF ANY KIND AND NATURE, INCLUDING BUT NOT LIMITED TO, PERSONAL OR BODILY INJURY, DEATH AND PROPERTY DAMAGE, MADE UPON THE CITY DIRECTLY OR INDIRECTLY ARISING OUT OF, RESULTING FROM OR RELATED TO *DEVELOPER'S* ACTIVITIES UNDER THIS *AGREEMENT*, INCLUDING ANY ACTS OR OMISSIONS OF *DEVELOPER'S* AGENT, OFFICER, DIRECTOR, REPRESENTATIVE, EMPLOYEE, CONSULTANT OR CONTRACTOR OF THE DEVELOPER, AND THEIR RESPECTIVE OFFICERS, AGENTS EMPLOYEES, DIRECTORS AND REPRESENTATIVES WHILE IN THE EXERCISE OF PERFORMANCE OF THE RIGHTS OR DUTIES UNDER THIS *AGREEMENT*. THE INDEMNITY PROVIDED FOR IN THIS PARAGRAPH SHALL NOT APPLY TO ANY LIABILITY RESULTING FROM THE NEGLIGENCE OF THE *CITY*, ITS OFFICERS OR EMPLOYEES, IN INSTANCES WHERE SUCH NEGLIGENCE IS THE SOLE CAUSE OF PERSONAL INJURY, DEATH, OR PROPERTY DAMAGE.

(B) THE PROVISIONS OF THE ABOVE SECTIONS ARE SOLELY FOR THE BENEFIT OF THE *PARTIES* HERETO AND NOT INTENDED TO CREATE OR GRANT ANY RIGHTS, CONTRACTUAL OR OTHERWISE, TO ANY OTHER PERSON OR ENTITY. IT BEING THE INTENTION OF THE *PARTIES* THAT THE *DEVELOPER* SHALL BE RESPONSIBLE FOR THE REPAYMENT OF ANY AMOUNTS PAID TO THE *DEVELOPER* HEREIN THAT INCLUDES CITY SALES TAX RECEIPTS THAT THE STATE OF TEXAS HAS DETERMINED WAS ERRONEOUSLY PAID, DISTRIBUTED OR ALLOCATED TO THE *CITY*.

(C) *Mutual Assistance*. The *City* and the *Developer* will do all things and execute all documents reasonably necessary or appropriate to carry out the terms and provisions of this *Agreement* and to aid and assist each other in carrying out such terms and provisions.

(D) *Inconsistencies*. Where any inconsistency exists between this *Agreement* and other provisions of subsequent collateral contractual agreements that are made a part hereof by reference or otherwise, the provisions of this *Agreement* shall control.

(E) *Rule of Construction*. The *Parties* hereto acknowledge that each party and its legal counsel have reviewed and revised this *Agreement*, and the *Parties* hereby agree that the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this *Agreement* or any amendments hereto.

(F) *Independent Contractors and Immunity*.

(I) It is expressly understood and agreed by all *Parties* hereto that in performing their services hereunder, the *Developer* at no time will be acting as an agent of the *City* and that all consultants or contractors engaged by the *Developer* respectively will be independent contractors of the *Developer*; and nothing contained in this *Agreement* is intended by the *Parties* to create a partnership or joint venture between the *Parties* and any implication to the contrary is hereby expressly disavowed The *Parties* hereto understand and agree that the *City* will not be liable for any claims that may be asserted by any third party occurring in connection with services performed by the *Developer* respectively under this *Agreement*, unless any such claims are due to the fault of the *City*.

(II) By entering into this *Agreement*, the *Parties* do not waive, and shall not be deemed to have waived, any rights, immunities, or defenses either may have, including the defense of parties, and nothing contained herein shall ever be construed as a waiver of sovereign or official immunity by the *City* with such rights being expressly reserved to the fullest extent authorized by law and to the same extent which existed prior to the execution hereof.

(III) No employee of the *City*, or any councilmember or agent of the *City*, shall be personally responsible for any liability arising under or growing out of this *Agreement*.

(G) *Invalidity*. If any provision of this *Agreement* is held to be invalid, illegal or unenforceable by a court or other tribunal of competent jurisdiction, the validity, legality, and enforceability of the remaining provisions shall not in any way be affected or impaired. The *Parties* shall use their best efforts to replace the respective provision or provisions of this *Agreement* with legal terms and conditions approximating the original intent of the *Parties*.

(H) *Written Notice*. All notices from one party to the other must be in writing and are effective upon receipt when mailed to or hand delivered as follows:

CITY:	City of Rockwall Attention: Mary Smith, *City Manager* 385 S Goliad Street Rockwall, Texas 75087
CITY CC:	Davidson Troilo Ream & Garza Attention: Frank Garza, *City Attorney* 601 NW Loop 410 Suite 100 San Antonio, Texas 78216
DEVELOPER:	Saro Partners, LLC Attention: Shawn Valk 1450 T. L. Townsend Drive, Suite 100 Rockwall, Texas 75087
DEVELOPER CC:	Holmes Firm PC Attention: Ronald L. Holmes 14241 Dallas Parkway, Suite 800 Dallas, Texas 75254

NOTE: Either party may change its business address by providing at least 30 calendar days written notice to the other party of such change.

(I) *Entire Agreement*. It is understood that this *Agreement* and the *Exhibits* contain the entire agreement between the *Parties* and supersedes any and all prior agreements, arrangements, statements, promises, inducements, or understandings, whether oral or written, between the *Parties* relating to the subject matter. This *Agreement* cannot be

changed or terminated orally. No verbal agreement or conversation with any officer, agent or employee of the *City*, either before or after the execution of this *Agreement*, shall affect or modify any of the terms or obligations hereunder.

(J) *Amendment*. No amendment to this *Agreement* shall be effective and binding unless and until it is reduced to writing, approved by the City Council, and signed by duly authorized representatives of both *Parties*.

(K) *Choice of Law and Forum Selection*. This *Agreement* shall be governed, enforced and construed in accordance with laws of the State of Texas. Any and all contested matters arising out of this *Agreement* in any way shall be brought in the courts of Rockwall County, Texas, United States of America.

(L) *Authority*. The *Developer* hereby certifies, represents, and warrants that the execution of this *Agreement* is duly authorized and adopted in conformity with its governing documents. The *City* hereby certifies, represents, and warrants that the execution of this *Agreement* is duly authorized and adopted in conformity with the *City* charter and ordinances. The *City's* execution of this *Agreement* is authorized by Chapter 380, *Miscellaneous Provisions Relating to Municipal Planning and Development*, of the Texas Local Government Code and constitutes a valid and binding obligation of the *City*. The *City* acknowledges that the *Developer* is acting in reliance upon the *City's* performance of its obligations under this *Agreement* in making the decision to commit substantial resources and money to the construction of the *Project*.

(M) *Assignment*. The *Developer's* rights and obligations under this *Agreement* may be assigned by the *Developer* provided such assignment receives prior written approval of the City Council of the City of Rockwall, not to be unreasonably withheld, conditioned, delayed, or denied. Notwithstanding the foregoing, the *Developer* may, without the *City's* approval, assign any credits accruing to the *Developer* under this *Agreement*.

(N) *Waiver*. Failure of either party, at any time, to enforce a provision of this *Agreement* shall in no way constitute a waiver of that provision nor in any way affect the validity of this *Agreement*, any part hereof, or the right of the *City* or the *Developer* thereafter to enforce each and every provision hereof. No term of this *Agreement* shall be deemed waived unless the waiver is in writing and signed by the party claimed to have waived such term. Furthermore, any consent to or waiver of a breach will not constitute consent to, waiver of, or excuse of any other different or subsequent breach.

(O) *Force Majeure*. If performance of this *Agreement* or any obligation under this *Agreement* is prevented, restricted, or interfered with by causes beyond either party's reasonable control (*Force Majeure*), then the obligations of the party invoking this provision will be suspended to the extent necessary by such event. Events constituting *Force Majeure* include without limitation: acts of God, fire, explosion, vandalism, storm, casualty, illness, injury, general unavailability of materials or similar occurrence, orders or acts of military or civil authority, national emergencies, insurrections, riots, wars, strikes, lock-outs, or work stoppages. The excused party shall use reasonable efforts under the circumstances to avoid or remove such causes of non-performance and shall proceed to perform with reasonable dispatch whenever such causes are removed or ceased. An act or omission shall be deemed within the reasonable control of a party if committed, omitted, or caused by such party, or its employees, officers, agents or affiliates.

(P) *Agreement Acknowledged*. The *Parties* acknowledge that they have read, understand and intend to be bound by the terms and conditions of this *Agreement*.

(Q) *Multiple Originals*. This *Agreement* may be executed in multiple originals.

(R) *Construction*. This *Agreement* shall be construed without the aid of any canon or rule of law requiring interpretation against the party drafting or causing the drafting of this *Agreement* or the portions of this *Agreement* in question.

(S) *Incorporation of Recitals*. Any recitals in this *Agreement* are represented by the *Parties* to be accurate and constitute a part of the *Agreement*.

(T) *Effective Date*. The effective date of this *Agreement* is the last signature date below (the *Effective Date*).

[SIGNATURE PAGES TO FOLLOW]

EXECUTED as of the dates indicated below in multiple originals:

CITY:

CITY OF ROCKWALL, TEXAS,
a Texas home-rule municipality

By: Mary Smith
Name: Mary Smith
Title: City Manager
Date: 3/8/2022

ATTEST:

By: Kristy Cole
Name: Kristy Cole
Title: City Secretary
Date: 03/08/2022

MARGARET DELANEY
Notary Public
State of Texas
ID # 13112546-9
My Comm. Expires 05-26-2025

STATE OF TEXAS
COUNTY OF ROCKWALL

This instrument was acknowledged before me on the 8th day of March, 2022, by Mary Smith, the City Manager of the City of Rockwall, a Texas municipal Corporation on behalf of such municipality.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 8th DAY OF March, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Margaret Delaney

MY COMMISSION EXPIRES: 05-26-2025

DEVELOPER:

SARO PARTNERS, LLC,
a Texas limited liability company

By:
Name: Shawn Valk, Manager
Date: 2-2-2022

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, above signed authority, on this day personally appeared, *Shawn Valk*, the owner of the *Developer's Property*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the foregoing *Agreement* for the purposes and consideration therein expressed, in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 2 DAY OF March, 2022.

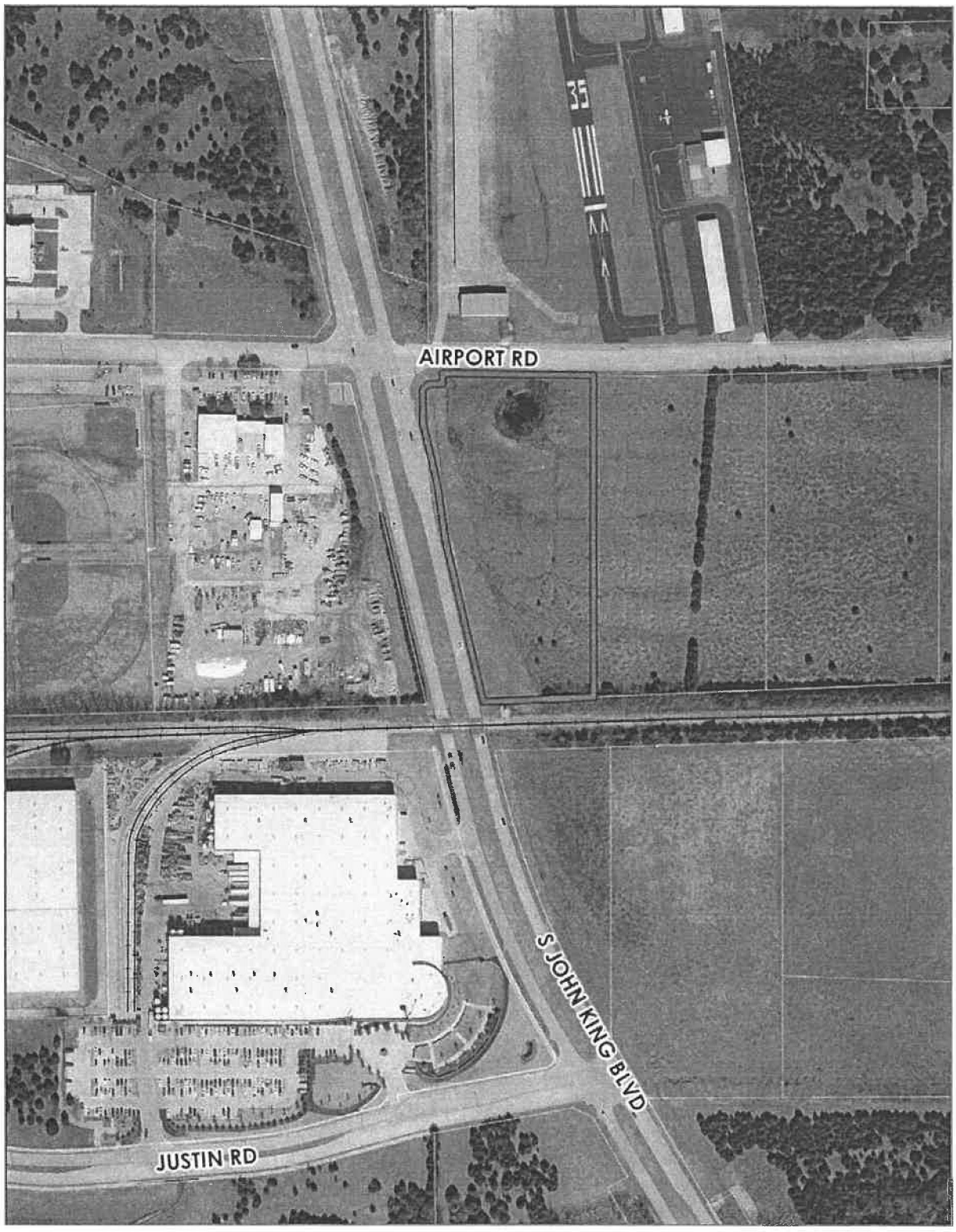
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Annalyse Olson

MY COMMISSION EXPIRES: May 7, 2023

ANNALYSE VONCILE OLSON
NOTARY PUBLIC
STATE OF TEXAS
ID# 130217987
EXPIRES 5-7-2023

EXHIBIT 'A':
MAP OF THE CITY'S PROPERTY

EXHIBIT 'B':
MAP OF THE DEVELOPER'S PROPERTY



Filed and Recorded
Official Public Records
Jennifer Fogg, County Clerk
Rockwall County, Texas
03/08/2022 11:59:38 AM
$58.00
20220000005160

ROCKWALL COUNTY TEXAS COUNTY CLERK

Jennifer Fogg

01.02 COMMERCIAL

COMMERCIAL/RETAIL (CR)

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
2. *Secondary Land Uses:* Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
3. *Zoning Districts:* Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

1. Shops at Stone Creek
2. Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [*SH-205*]
3. Walmart Neighborhood Market Shopping Center

COMMERCIAL/INDUSTRIAL (CI)

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
2. *Secondary Land Uses:* Warehouse and Outside Storage
3. *Zoning Districts:* Heavy Commercial (HC) District and Heavy Industrial (HI) District

EXISTING LAND USE EXAMPLES

1. Areas Adjacent to National Drive
2. Areas Adjacent to Sids Road

BUSINESS CENTERS (BC)

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (*e.g. restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

DESIGNATION CHARACTERISTICS

1. *Primary Land Uses:* Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
2. *Secondary Land Uses:* Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
3. *Zoning Districts:* Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

1. Trend Tower

13 NORTHWEST RESIDENTIAL DISTRICT

2 Shops at Stone Creek

1 Current Suburban Residential

2 Kroger Shopping Center

1 Current Suburban Residential

2 Future Neighborhood/Convenience Center

DISTRICT DESCRIPTION

The *Northwest Residential District* is characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product.

DISTRICT STRATEGIES

The *Northwest Residential District* is expected to continue to provide master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Based on these assumptions the strategies for this district are as follows:

1. *Suburban Residential.* Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar *Suburban Residential* products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision.
2. *Neighborhood/Convenience Centers*. The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the *Neighborhood/Convenience Centers* and the *Suburban Residential* developments.
3. *John King Boulevard Trail Plan*. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

POINTS OF REFERENCE

A. J. W. Williams Middle School
B. The Park at Stone Creek
C. Stone Creek Subdivision
D. Fire Station #3
E. The Parks at Squabble Creek
F. Caruth Lakes Subdivision

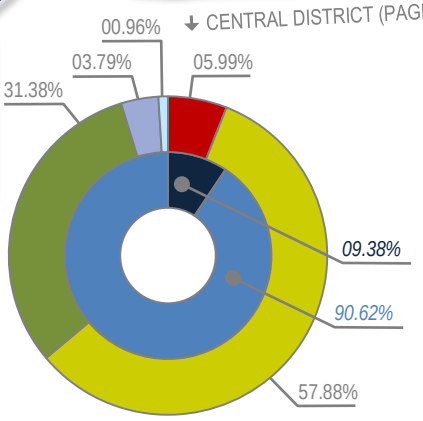
LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan *Rest Stop/Trailblazer Pylon*

BUILD OUT
2,347
7,018

% OF ROCKWALL
8.91%
1.38%
8.95%

CURRENT
1,782
25
5,328



TXDOT 4D	
MINOR COLLECTOR	
M4U	
M4D	

COMMERCIAL	9.38%
RESIDENTIAL	90.62%
MIXED USE	0.00%

COMMERCIAL/RETAIL (CR)	60.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	581.3-ACRES
PARKS AND OPEN SPACE (OS)	315.22-ACRES
PUBLIC (P)	38.11-ACRES
QUASI-PUBLIC (QP)	9.66-ACRES

Miller, Ryan

From: Shawn Valk <shawnvalk@gmail.com>
Sent: Friday, March 11, 2022 1:10 PM
To: Miller, Ryan
Cc: Annalyse Valk
Subject: Re: 380 Agreement and Zoning

Thanks Ryan. I'm in Florida for spring break. General Retail works for us. I will get the 380 signed and delivered to guy Monday.

Have a great weekend.

Thanks
Shawn

Shawn Valk
Shawnvalk@gmail.com

1450 TL Townsend, STE 100
Rockwall, TX 75032

469-222-1597. Cell
469-718-0451. Fax

On Mar 7, 2022, at 11:48 AM, Miller, Ryan <rmiller@rockwall.com> wrote:

Shawn … Thank you again for taking the time to speak with me today and being open to making this change. Per our conversation, I conferred with the City Attorney and he feels that a simple email stating that you are fine with a change in the zoning designation to a General Retail (GR) District from a Commercial (C) District will suffice in lieu of amending the 380 Agreement. As stated this will not affect the ability of the Boys and Girls Club from developing the property and meeting the terms of the agreement, but should alleviate the concerns of the adjacent neighborhood. If you have any questions or need any additional clarifications, please let me know. Thanks.

Ryan C. Miller, AICP
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

helpful links | City of Rockwall Website | Planning & Zoning Division Website | Municipal Code Website
GIS Division Website | City of Rockwall Interactive Maps | UNIFIED DEVELOPMENT CODE

NOTES

1) *APPOINTED AND ELECTED OFFICIALS*: BY *REPLYING ALL* TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

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LEGEND:

	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	GENERAL RETAIL (GR) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Convent, Monastery, or Temple	(4)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Emergency Ground Ambulance Services	(10)		P
Group or Community Home	(11)	(5)	P
Government Facility	(12)		P
Hospice	(14)		P
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		S
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P

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LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	GENERAL RETAIL (GR) DISTRICT
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	S
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	S
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	S
Public Park or Playground	(12)		P
Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)	(14)		S
Theater	(15)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Antique/Collectible Store	(1)		P
Astrologer, Hypnotist, or Psychic	(2)		P
Banquet Facility/Event Hall	(3)		P
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	S
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	P
General Retail Store	(15)		P
Hair Salon and/or Manicurist	(16)		P
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Massage Therapist	(19)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Permanent Cosmetics	(23)	(7)	A
Pet Shop	(24)		P
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	S

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LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	GENERAL RETAIL (GR) DISTRICT
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		S
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Tailor, Clothing, and/or Apparel Shop	(32)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Locksmith	(11)		P
Shoe and Boot Repair and Sales	(16)		P
Trade School	(17)		S
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Minor Auto repair garage	(2)	(2)	S
Full Service Car Wash and Auto Detail	(5)	(4)	S
Self Service Car Wash	(5)	(4)	S
Non-Commercial Parking Lot	(9)		P
Service Station	(11)	(8)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of ~~(~~Sand, Gravel, Oil and/or Other Materials~~)~~	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna~~,~~ as an Accessory	(2)	(1)	P
Commercial Antenna	(3)	(2)	S
Antenna~~,~~ for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	S
Mounted Commercial Antenna	(7)	(6)	S
Helipad	(9)		S
Utilities (*Non-Municipally Owned or Controlled*), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		S
Satellite Dish	(16)		A

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Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
TV Broadcasting and Other Communication Service	(20)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A GENERAL RETAIL (GR) DISTRICT FOR A 5.812-ACRE TRACT OF LAND IDENTIFIED AS TRACT 9 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has initiated a *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 5.812-acre tract of land owned by the City of Rockwall and identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a General Retail (GR) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01*, Use of Land and Buildings,* of Article 04, *Permissible Uses*; Section 04.01*, General Commercial District Standards*; and Section 04.04, *General Retail (GR) District,* of Article 05*, District Development Standards,* of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

DRAFT ORDINANCE 05.13.2022

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

_____
Kevin Fowler, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.15.2022

Exhibit 'B'
Zoning Exhibit

BEING a 5.812-acre tract of land in the M. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, being a portion of a called 10.942-acre tract, described in deed to the City of Rockwall, recorded in County Clerk Number 2007-00389123, Deed Records of Rockwall County, Texas, being that portion of said deed lying west of John King Boulevard, a variable width public right of way, more particularly described as follows;

COMMENCING at a found iron pipe being the southwest corner of said City of Rockwall tract, being the northwest corner of a called 1.837-acre tract, deeded to Betty Bogard, recorded in County Clerk Number 2008-00396742, Deed Records of Rockwall County, Texas, being on the east right of way line of FM 1141, an 80-foot-wide public right of way;

THENCE North 01°04'21" West along said right of way line for a distance of 819.58 feet to a found iron rod, being the beginning of a tangent curve to the right;

THENCE northeasterly along said curve to the right with a radius of 278.39 feet, a central angle of 74°11'35", a chord bearing of North 36°01'27" East, a chord distance of 335.83 feet for an arc length of 360.49 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 31°09'51" East for a distance of 39.22 feet to a Set No. 4 rebar with cap "BW2", being on the west right of way line of John King Boulevard, a variable width public right of way;

THENCE South 00°50'54" East along said right of way line for a distance of 117.04 feet to a Set No. 4 rebar with cap "BW2", being on the beginning of a curve to the left;

THENCE southeasterly along said curve to the left, with a radius of 2,060.00 feet, a central angle of 4°29'16", a chord bearing of South 03°05'37" East, a chord distance of 161.31 feet, for an arc length of 161.35 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 732.1O feet to a Set No. 4 rebar with cap "BW2"; THENCE South 84°39'46" West along said right of way line for a distance of 20.00 feet to a Set No. 4 rebar with cap "BW2"; THENCE South 05°20'14" East along said right of way line for a distance of 46.17 feet to a Set "X" Cut, being the southeast corner of said City of Rockwall tract, being the northeast corner of Lot 1, Block B of the Final Plat of Ladera Rockwall, recorded in County Clerk File No. 2019-0000016594, Plat Records of Rockwall County, Texas;

THENCE South 89°26'01" West along said common line for a distance of 265.40 feet to the ***POINT OF BEGINNING***;

Said tract contains 5.812 acres more or less.

DRAFT ORDINANCE 03.15.2022

Exhibit 'B'
Zoning Exhibit

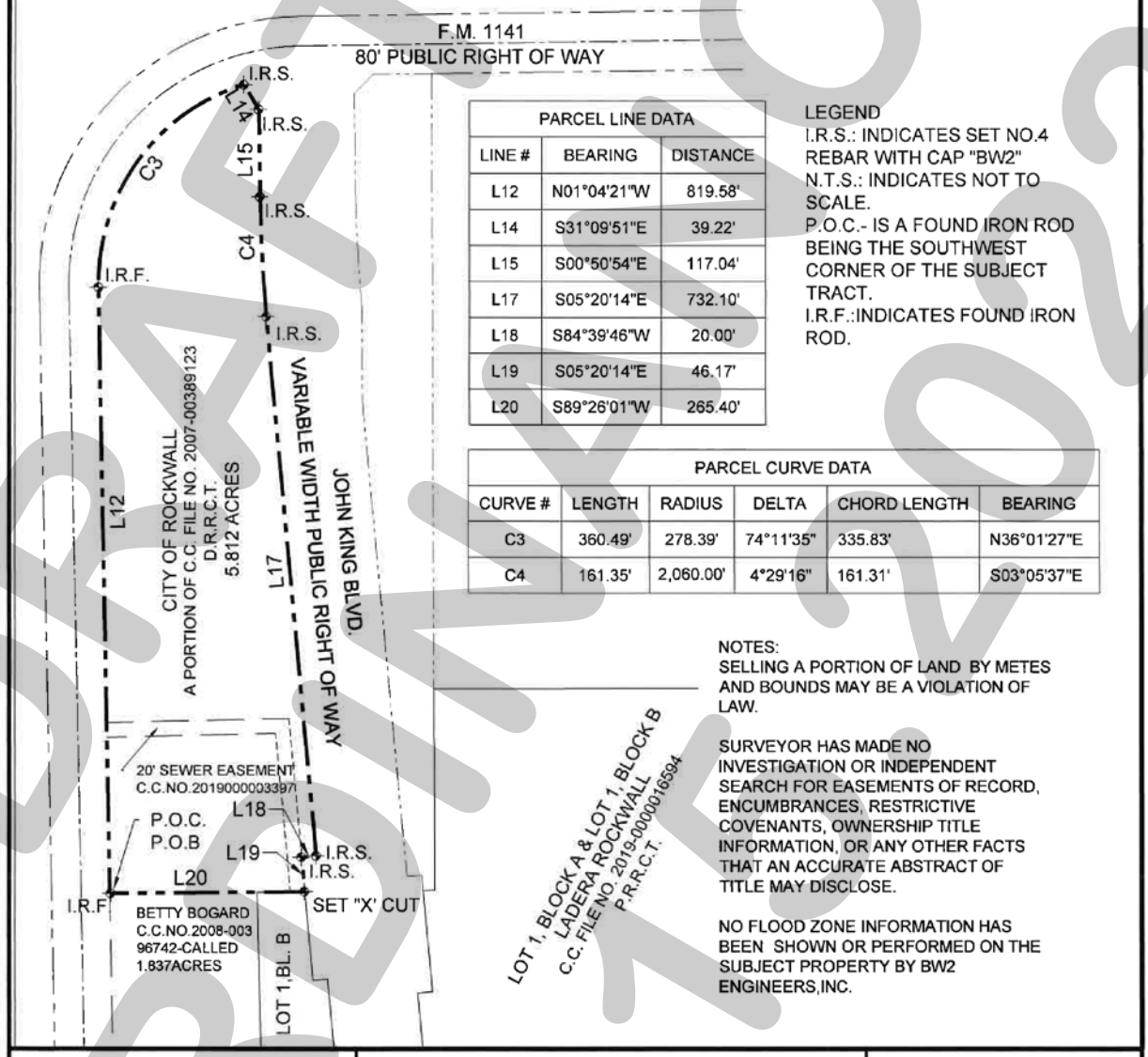
SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

LOCATION: CITY OF ROCKWALL, TX

PARCEL PLAT- EXHIBIT "A"

PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS
BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)



PARCEL LINE DATA		
LINE #	BEARING	DISTANCE
L12	N01°04'21"W	819.58'
L14	S31°09'51"E	39.22'
L15	S00°50'54"E	117.04'
L17	S05°20'14"E	732.10'
L18	S84°39'46"W	20.00'
L19	S05°20'14"E	46.17'
L20	S89°26'01"W	265.40'

PARCEL CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C3	360.49'	278.39'	74°11'35"	335.83'	N36°01'27"E
C4	161.35'	2,060.00'	4°29'16"	161.31'	S03°05'37"E

LEGEND
I.R.S.: INDICATES SET NO.4 REBAR WITH CAP "BW2"
N.T.S.: INDICATES NOT TO SCALE.
P.O.C.- IS A FOUND IRON ROD BEING THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
I.R.F.:INDICATES FOUND IRON ROD.

NOTES:
SELLING A PORTION OF LAND BY METES AND BOUNDS MAY BE A VIOLATION OF LAW.

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE INFORMATION, OR ANY OTHER FACTS THAT AN ACCURATE ABSTRACT OF TITLE MAY DISCLOSE.

NO FLOOD ZONE INFORMATION HAS BEEN SHOWN OR PERFORMED ON THE SUBJECT PROPERTY BY BW2 ENGINEERS,INC.

N W E S

BW2

BW2 ENGINEERS, INC.
1919 S. Shiloh Road
Suite 500, L.B. 27
Garland, Texas 75042
(972) 864-8200 (T) (972) 864-8220 (F)
Firm Registration No. F-5290

200 0 200 400
scale feet
1" = 200'

CLIFFORD E. CAMERON
6415
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS
12/19/19

BW2 JOB NO: 19-1954	DRAWN BY: CEC		
DATE: DECEMBER,2019	CHECKED BY: CEC	18-1954/DRAWINGS/1954 SURVEY.DWG	PAGE 2 OF 2

DRAFT ORDINANCE 03-15-2022

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

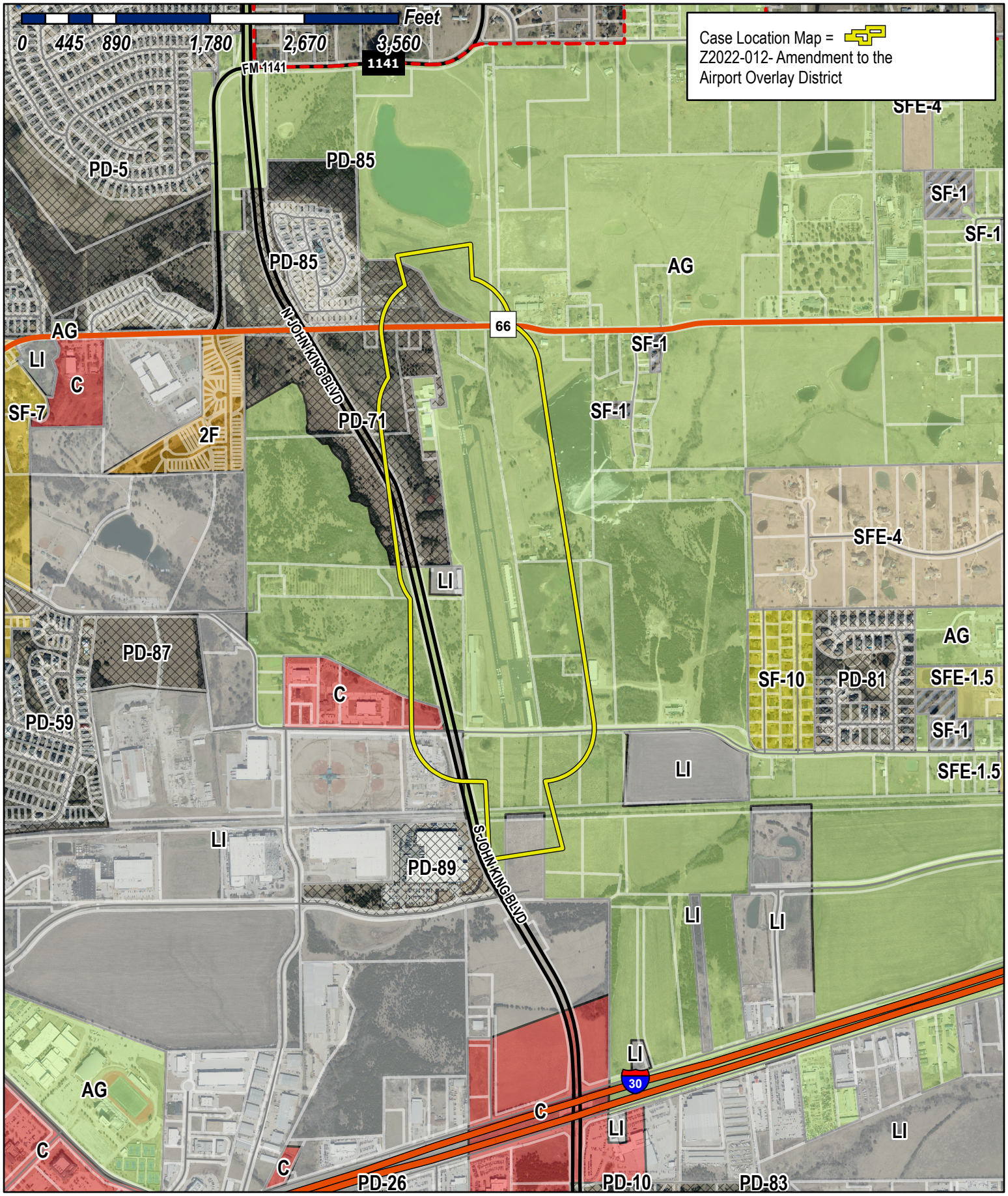
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Ryan Miller, *Director of Planning and Zoning*
DATE:	March 15, 2022
SUBJECT:	Z2022-012; *Amendment to Article 05, District Development Standards, of the Unified Development Code (UDC) for an Airport Overlay (AP OV) District*

In response to a recommendation by the Airport Subcommittee, staff created the framework for an Airport Overlay (AP OV) District in 2014. This document was prepared in accordance with Chapter 241, *Municipal and County Zoning Authority Around Airports*, of the Texas Local Government Code, which enables municipalities to draft land use restrictions for properties adjacent to airports -- *which are used in the interest of the general public* -- to prevent the creation of an airport hazard (*§214.012*). The City Council reviewed this text amendment on September 15, 2014 after being unanimously recommended for approval by the Airport Zoning Commission (*i.e. the Planning and Zoning Commission*) on September 9, 2014. Ultimately, the City Council chose not to act on the text amendment (*Case No. Z2014-022*) citing that "… after further discussion with the Airport Subcommittee, they [*the Airport Subcommittee*] are comfortable with recommending that the City Council leave the zoning 'as is' at this time …" (*see the excerpt from the minutes from the September 15, 2014 City Council meeting in the attached packet*).

More recently, the City has seen an increase in air traffic at the Ralph Hall Municipal Airport and the development of vacant land in and around the airport. In working with TXDOT Aviation and the City's Airport Consultants -- *Garver USA and the Solco, Group* -- to address concerns with development in the area, the idea of an Airport Overlay (AP OV) District was revisited as a way to: [*1*] protect the City's grant assurances and [*2*] to prevent inconsistent development from being approved around the airport. Based on this, staff has revised the 2014 Airport Overlay (AP OV) District document to ensure that it meets all the current standards of TXDOT Aviation and the Texas Local Government Code. Garver USA has also reviewed and helped staff revise the document to ensure compliance. Staff has sent the revised document to TXDOT Aviation for review and is awaiting comment [*but should have approval prior to the adoption date of this case*]. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission (*i.e. the Airport Zoning Commission*) for a recommendation to the City Council.

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, on February 25, 2022 staff sent out property owner notifications to the 28 properties that could be affected by the proposed Airport Overlay (AP OV) District. This was done in accordance with the procedures and requirements of the Texas Local Government Code. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on *March 15, 2022*.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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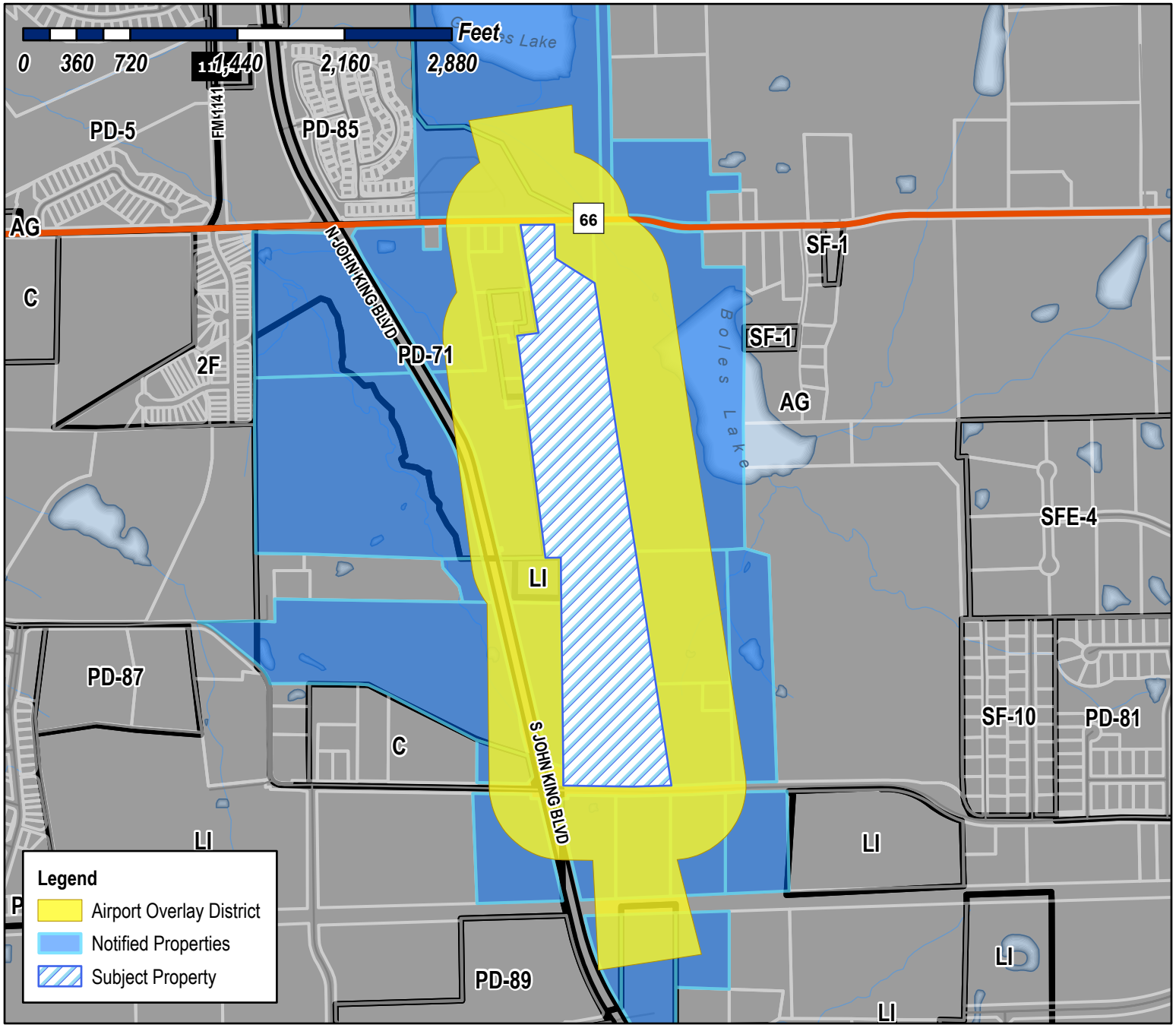
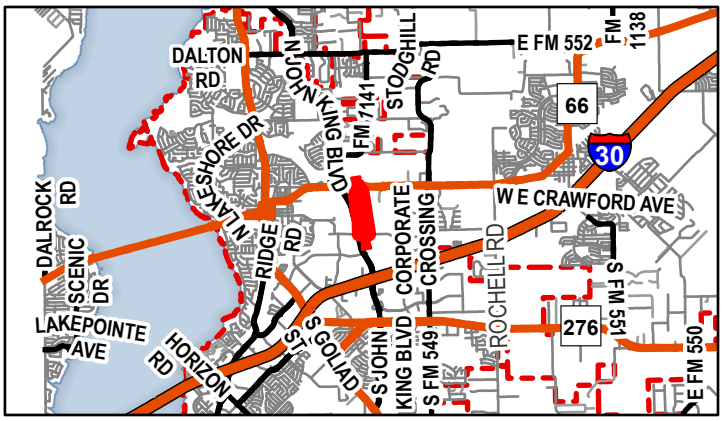


Case Number: Z2022-012
Case Name: Airport Overlay District
Case Type: Zoning
Zoning: APOV
Case Address: Rockwall Municipal Airport



Date Saved: 2/22/2022
For Questions on this Case Call (972) 771-7745

PEOPLES MIKE L
111 CORNELIUS RD
ROCKWALL, TX 75087

FUNK JOSEPH
11226 INDIAN TRAIL
DALLAS, TX 75229

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
1630 WILLIAMS
ROCKWALL, TX 75087

TEXAS SPECIALTY UNDERWRITERS INC
1636 WILLIAMS
ROCKWALL, TX 75087

D V B FAMILY LIMITED PARTNERSHIP
1649 AIRPORT RD
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR
1650 AIRPORT RD
ROCKWALL, TX 75087

DILLENDER ROBERT O & SHERY
1651 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 STATE HIGHWAY 66
ROCKWALL, TX 75087

ADD REAL ESTATE LTD
1775 AIRPORT RD
ROCKWALL, TX 75087

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
1780 AIRPORT RD
ROCKWALL, TX 75087

JCP JUSTIN LLC
1820 JUSTIN RD
ROCKWALL, TX 75087

PEOPLES MIKE L
1936 HWY 66
ROCKWALL, TX 75087

PEOPLES MICHAEL L
2026 HWY 66
ROCKWALL, TX 75087

D V B FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JCP JUSTIN LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

TEXAS SPECIALTY UNDERWRITERS INC
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

DIMISSEW SAMUEL
956 S WEATHERRED DR
RICHARDSON, TX 75080

DILLENDER ROBERT O & SHERY
PO BOX 2016
ROCKWALL, TX 75087

PEOPLES MICHAEL L
PO BOX 41
ROCKWALL, TX 75087

ADD REAL ESTATE LTD
PO BOX 679
KELLER, TX 75166

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
PO BOX 910
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-012: Airport Overlay (APOV) District

Hold a public hearing to discuss and consider approval of a Text Amendment to Section 06, Overlay Districts, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of incorporating Airport Overlay (AP OV) District, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-012: Airport Overlay (APOV) District

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Councilmember Milder made a motion to approve MIS2014-013. Councilmember White seconded the motion, which passed by a vote of 5 ayes with 2 absent (Daniels and Lewis).

3. **MIS2014-014** - Discuss and consider a miscellaneous request by Tim Spiars of Spiars Engineering on behalf of Master Developers SNB LLC for the approval of a variance to the alley requirements stipulated by Planned Development District 41 (PD-41) [Ordinance No. 01-27] and Section 2.11 of the Standards of Design Manual, for a 12.45-acre subdivision of land identified as the North Shore Addition, being a portion of the Preserve preliminary plat, zoned Planned Development District 41 (PD- 41) for single family residential land uses, generally located on the south side of East Fork Drive, and take any action necessary.

Planning Director Robert LaCroix provided background information related to this agenda item. Mr. Spiars of Spiars Engineering then came forth and briefly addressed the city council. Councilmember White made a motion to approve MIS2014-014. Councilmember Milder seconded the motion, which passed by a vote of 5 ayes with 2 absent (Daniels and Lewis).

4. **Z2014-022** – Discuss and consider approval of an **ordinance** for a City initiated zoning request for the approval of a text amendment to Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] for the purpose of creating and implementing an Airport Overlay (AP OV) District, which will be applicable for the Ralph M. Hall/Rockwall Municipal Airport property, and for all properties located within 500-feet of the airport property and/or located within the Airport's Runway Protection Zones as defined by AC150/5300-13A, Airport Design, of the FAA standards, and take any action necessary. **(1st Reading)**

Planning Director Robert LaCroix provided brief background information related to this item, indicating that a public hearing on this issue was held at the last, regular city council meeting. Mayor Sweet indicated that Mayor Pro Tem Pruitt, Councilmember White and Councilmember Townsend are the council members that currently sit on the council's Airport Subcommittee, and, following discussions had at the last council meeting, they were asked to further evaluate this matter. Mayor Pro Tem Pruitt indicated that, after further discussions with the Airport Subcommittee, they are comfortable with recommending that the council leave the zoning 'as is' at this time. Therefore, no action will be taken by the city council to make any modifications to the zoning at this time.

JoAnn Athey
124 Main Street
P.O. Box 219
Lavon, TX 75166

Mrs. Athey came forth and asked if hangars can be built on the land surrounding the airport. Staff clarified that the FAA is the authority that approves or disapproves these sorts of requests; however, "thru the fence" agreements are not allowed at the Rockwall Municipal Airport.

5. Discuss and consider approval of a resolution establishing an intent to apply for Preserve America Community Designation, supporting heritage tourism and historic preservation, and take any action necessary.

the entire property shall be subject to the requirements of Section 06.02, *General Overlay District Standards*.

SUBSECTION 06.14: SH-276 OVERLAY (SH-276 OV) DISTRICT

(A) *Purpose*. The intent of the SH-276 Overlay (SH-276 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.

(B) *Application and Boundaries*. The SH-276 Overlay (SH-276 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the current or future right-of-way of SH-276. The SH-276 Overlay (SH-276 OV) District extends from SH-205 east to the eastern city limits, as may be extended with future annexation(s). The standards and regulations set forth in the SH-276 Overlay (SH-276 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.

(C) *Overlay District Standards*. If any portion of a property is situated within the boundaries of the SH-276 Overlay (SH-276 OV) District, the entire property shall be subject to the requirements of Section 06.02, *General Overlay District Standards*.

SUBSECTION 06.15: AIRPORT OVERLAY (AP OV) DISTRICT

Note: This document was prepared using FAA guidelines as of March 17, 2020 and using AC150/5300-14D.

(A) *Purpose*. The purpose of this district is to provide both airspace protection and land use compatibility with airport operations at the Ralph M. Hall/Rockwall Municipal Airport. This district, through establishment of airport zones and corresponding regulations, provides for independent review of development proposals in order to promote the public interest in safety, health and general welfare of the City of Rockwall. Therefore, the City of Rockwall deems it necessary to regulate uses of land located within or near the traffic patterns of the airport through regulation of height of structures and objects of natural growth, and through the regulation of land uses within the Airport Overlay (AP OV) District, and other FAA regulated areas associated with the airport (*i.e. areas relating to RSA/ROFA/ROFZ which extend off the airport property*).

(B) *District Boundaries*. This *Airport Overlay (AP OV) District* is hereby established as the land area owned by the City of Rockwall and held as Ralph M. Hall/Rockwall Municipal Airport, the Airport Runway Protection Zone (RPZs), and a buffer area extending 500-feet from all property lines of the Ralph M. Hall/Rockwall Municipal Airport (*see Figure 29: Airport Overlay District Boundaries*).

(C) *Definitions*. Unless otherwise stated in this section, the following words shall have the definitions prescribed to them below:

(1) *Administrative Agency*. The appropriate person or office of the municipality that is responsible for the administration and enforcement of the regulations prescribed in this section of the Unified Development Code (UDC).

(2) *Airport*. The current and future boundaries of the Ralph Hall Municipal Airport located within the City of Rockwall, Texas.

(3) *Airport Hazard*. A structure or object of natural growth that obstructs the air space required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft.

(4) *Airport Hazard Area*. An area of land or water on which an airport hazard could exist.

(5) *Applicant*. The person or persons making a request to the administrative agency.

(6) *Centerline*. The runway centerline identifies the center of the runway and provides alignment guidance during takeoff and landings. The centerline consists of a line of uniformly spaced stripes and gaps.

(7) *Non-Conforming Land Use or Non-Conforming Use*. Any land use of which is inconsistent with the provisions of these regulations and which is existing as of the effective date of the Airport Overlay (AP OV) District.

(8) *Person*. An individual, firm, partnership, corporation, company, association, joint stock association, or body politic and includes a trustee, receiver, assignee, administrator, executor, guardian, or other representative.

(9) *Runway*. A defined area on the airport prepared for the landing and taking off of aircraft along its length. The current length of the Rockwall Municipal Airport is 3,373-feet by 45-feet and the zoned dimensions are 3,373-feet by 60-feet.

(10) *Runway Safety Area (RSA)*. The surface surrounding the runway prepared or suitable for reducing the risk of damage to airplanes in the event of an undershoot, overshoot, or excursion from the runway.

(11) *Structure*. An object constructed or installed by one (1) or more persons and includes but is not limited to a building, tower, smokestack, and overhead transmission line.

(D) *Airport Zones*. In order to implement the intent of this ordinance, the Airport Overlay (AP OV) District hereby includes the following three (3) exhibits that depict the zones within the controlled area and shown on the official zoning map as depicted in *Figure 29: Airport Overlay District Boundaries*:

- Airport Overlay (AP OV) District Boundaries (*see Figure 29: Airport Overlay District Boundaries*)
- Development Zones within the Airport Overlay (AP OV) District (*see Figure 30: Development Zones within the Airport Overlay (AP OV) District*)
- Airport Airspace Zones Boundaries (*see Figure 31: Airspace Zone Boundaries*)

(E) *Permitted Uses*. All uses otherwise permitted by existing zoning ordinances within the boundaries of the AP OV District are permitted

within the district, except where there is a conflict between the AP OV District and the existing zoning ordinances. Where the provisions of the AP OV District are more restrictive, the provisions of the AP OV District shall govern.

(F) *Controlled Area.* The area within which airport land use compatibility controls may be instituted, as defined by *Section 241, Municipal and County Zoning Authority Around Airports,* of the *V.T.C.A., Texas Local Government Code,* shall be defined as the controlled area. The controlled area is located outside the Airport boundaries and within an area measured no farther than one and one-half (1½) statute miles from the centerline of the Ralph M. Hall/Rockwall Municipal Airport runway and lies no farther than five (5) statute miles from each end of the paved surface of the runway.

(G) *Airspace Zones*. *Airspace Zones* consist of all of the land area lying beneath the surfaces referenced in Section H, *Height Limitations*, below and in Title 14, Part 77.19. The following *Airspace Zones* are hereby established and set forth (*see Figures 26: Airspace Zones [right] & Figure 31: Airspace Zone Boundaries [below]; reference Title 14, Part 77, FAR*):

(1) *Primary Surface.* The *Primary Surface* is a surface that is longitudinally centered on the runway. It extends 200-feet beyond the end of each runway and 250-feet on either side of the centerline of the runway for a total width of 500-feet (*i.e. a 250-foot side buffer of the runway centerline*).

(2) *Approach Zone.* The *Approach Zone* is a fan shaped zone that is established at both ends of the runway for the purpose of landings and take-offs. The *Approach Zone* commences at the end of the *Primary Surface* (*i.e. 200-feet beyond the end of the runway*) and has a beginning width of 500-feet. It then extends uniformly along the continuation of the centerline of the runway to a width of 3,500-feet at a distance of 10,000-feet from the point of commencement, and a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance *[this is the land area that exists underneath the Approach Surface]*.

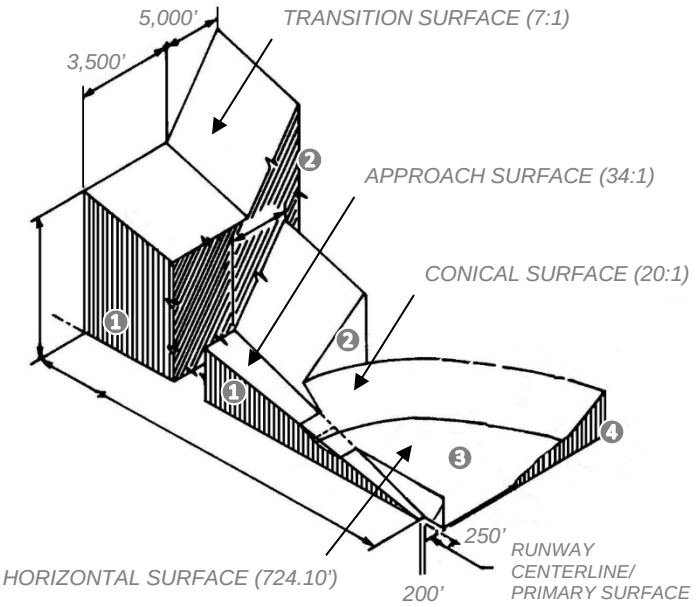
(3) *Transitional Zones.* The *Transitional Zones* are symmetrically located on either side of runway, and have variable widths. The *Transitional Zones* extend outward and upward commencing from the edge of the *Primary Surface* (*i.e. 250-feet on either side of the centerline of the runway*), and *Approach Surfaces*. The *Transitional Zones* extend upward and outward at slope of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the point where they intersect the surface of the *Horizontal Zone*. The *Transitional Zones* are established adjacent to the *Approach Zones* and extend their entire length. The *Transitional Zones* flare symmetrically with either side of the runway *Approach Zone* from the base of said zones and slope upward and outward at the rate of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the points where they intersect the surface of the *Horizontal Zone* and the *Conical Zone [this is the land area that exists underneath the Transitional Surface]*.

(4) *Horizontal Zone.* The *Horizontal Zone* consists of the land area within the perimeter of which is constructed by swinging arcs of 10,000-feet from the center of each *Primary Surface*, 200-feet beyond the centerline of each runway and connecting the adjacent arcs by lines of tangent to those arcs. The *Horizontal Zone* does not include the *Approach Zone* and/or the *Transition Zone [this is the land area that exists underneath the Horizontal Surface]*.

(5) *Conical Zone.* The *Conical Zone* consists of the land area that commences at the periphery of the *Horizontal Zone* and extends outward for a distance of 4,000-feet, at a 20:1 slope or one (1) foot in height for each 20-feet of horizontal distance. The *Conical Zone* does not include the *Approach Zone* and/or the *Transition Zone [this is the land area that exists underneath the Conical Surface]*.

FIGURE 26: AIRSPACE ZONES

❶: APPROACH ZONE; ❷: TRANSITION ZONE; ❸: HORIZONTAL ZONE; ❹: CONICAL ZONE



(H) *Height Limitations*. Except as otherwise provided in this ordinance, no structure or tree shall be erected, altered, allowed to grow, or be maintained in any zone created above to a height in excess of the limits established herein for each of the imaginary surfaces created by the airspace zones (*Title 14 CFR, Section 77.19, Civil Airport Imaginary Surfaces)*, which are defined as follows:

(1) *Approach Surface.* The *Approach Surface* is the surface that is created by the *Approach Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Approach Surface* is the same starting width as the *Primary Surface* (*i.e. 500-feet*), and has a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance commencing at the *Primary Surface* and extending to a point 10,000-feet from the point of beginning and widening to a width of 3,500-feet.

(2) *Transitional Surface.* The *Transitional Surface* is the surface that is created by the *Transitional Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending in the area required for an aircraft's navigable airspace. The *Transitional Surface* is the surface that extends outward and upward, at right angles to the runway

centerline (*at any point 250-feet normal to and at the elevation of the centerline*) and extended runway centerline (*i.e. 200-feet beyond the end of the runway*), from the sides of the *Primary Surface* and the *Approach Surfaces* to a point of 150-feet above the airport elevation (*i.e. 724.10-feet*) [*the airport elevation is 574.10-feet above mean sea level*]. The *Transitional Surface* has a slope of 7:1 or one (1) foot in height for each seven (7) feet in horizontal distance.

(3) *Horizontal Surface.* The *Horizontal Surface* is the surface that is created by the *Horizontal* Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Horizontal Surface* is the horizontal plane created by swinging arcs with a 10,000-foot radius centered on the extended runway centerline where it crosses the *Primary Surface*, and is situated 150-feet above the established airport elevation (*i.e. 724-feet) [the airport elevation is 574-feet above mean sea level],* which coincides with the extent of the *Horizontal Zone*.

(4) *Conical Surface.* The *Conical Surface* is the surface that is created by the *Conical Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Conical Surface* extends upward and outward from the outer limits or the periphery of the *Horizontal Surface* at a slope of 20:1 or one (1) foot in height for each 20-feet of horizontal distance for a horizontal distance of 4,000-feet. The *Conical Surface* extends to a height of 350-feet above the airport's elevation (*i.e. 924-feet*) [*the airport elevation is 574-feet above mean sea level*].

[Where an area is covered by more than one (1) height limitation, the more restrictive limitation shall prevail. Nothing in this ordinance shall be construed as prohibiting the growth, construction or maintenance of any tree or structure to a height up to 45-feet above the surface of the land, except in the Approach Zones.]

(I) *Airport Hazard Area*. The *Airport Hazard Area* is an area of land or water on which an airport hazard could exist. An *airport hazard* is defined as a structure or object of natural growth that obstructs the airspace required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft. For the purposes of this ordinance, the *Airport Hazard Area* is defined as the entirety of all the imaginary surfaces stated in Section H, *Height Limitations*, of this ordinance (*see Figure 31: Airspace Zone Boundaries*).

(J) *Land Use Compatibility*.

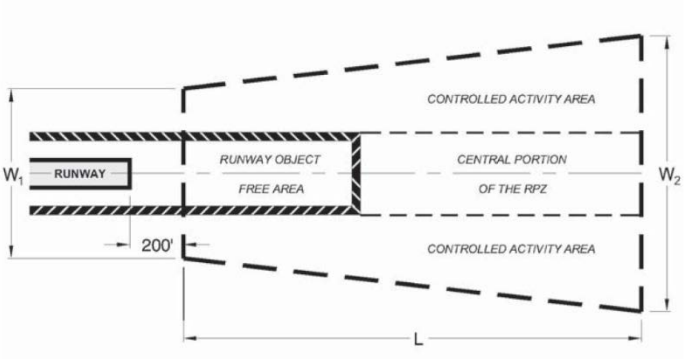
(1) *Intent*. The Airport Overlay (AP OV) District is intended to overlay any other zoning district's regulations comprising or pertaining to areas to which it is applicable, to prevent undue negative interaction between aviation activities associated with the airport and the surrounding community. It is intended to protect the lives and property of the users of the airport and of the occupants of the land in its general vicinity by restricting places of public assembly within this Airport Overlay (AP OV) District. The overlay is intended to preserve the utility of the airport and the public investment therein.

(2) *Development Zones*. The *Development Zones* are hereby established within the Airport Overlay (AP OV) District. These zones are depicted in *Figure 30: Development Zones within the Airport Overlay (AP OV) District* of this ordinance. The *Development Zones* are defined and described as follows:

(a) *Airport Runway Protection Zones (RPZs).* The *Airport Runway Protection Zones* are hereby established as the trapezoidal areas centered about the extended runway centerline. The *RPZ* dimensions for a particular runway end are a function of the type of aircraft and approach/departure visibility minimum associated with the runway end. The *RPZs* for the Ralph M. Hall/Rockwall Municipal Airport commence 200-feet from the edge of pavement at the end of each runway, beginning with a base of 500-feet (*i.e. inner width or 'W_1'*), extending 1,000-feet along the runway centerline (*i.e. length or 'L'*), and terminating at the outboard corners of a 700-foot line segment (*i.e. outer width or 'W_2'*) [*see Figure 27: Airport Runway Protection Zone (RPZ)*], creating a 13.770-acre trapezoidal area, which is intended to service *Aircraft Approach/Departure Categories 'A' & 'B'* (*i.e. small single and multi-engine planes*). Contained within the two (2) trapezoidal areas that make up the *RPZs* are the *Controlled Activity Area* and a portion of the *ROFA (Object Free Area)*. These areas are defined as follows:

(1) *The Runway Object Free Area (ROFA).* The *Runway Object Free Area (ROFA)* is centered on the runway centerline. The *ROFA* clearing standard requires clearing the *ROFA* of above ground objects protruding above the runway safety area edge elevation. Except where precluded by other clearing standards, it is acceptable to place objects that need to be located in the *ROFA* for air navigation or aircraft ground maneuvering purposes to protrude above the nearest point of the runway safety area, and to taxi and hold aircraft in the *ROFA*. To the extent practicable, objects in the *ROFA* should meet the same frangibility requirements as the runway safety area. Objects non-essential for air navigation or aircraft ground maneuvering purposes are not permitted to be placed in the *ROFA*. This includes parked airplanes and agricultural operations.

FIGURE 27: AIRPORT RUNWAY PROTECTION ZONE (RPZ)



(2) *The Controlled Activity Area.* The *Controlled Activity Area* is the portion of the *RPZ* beyond the boundaries of the *ROFA*.

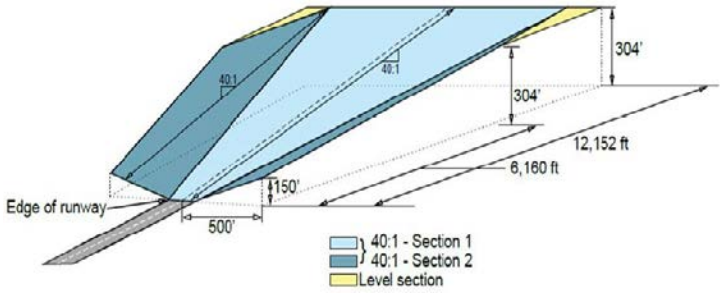
(b) *Municipal Airport Zone.* The *Municipal Airport Zone* is hereby established as the real property boundaries of the Ralph M. Hall/Rockwall Municipal Airport. This zone contains the majority of all airport related land uses and structures.

(c) *Airport Influence Zone.* The *Airport Influence Zone* contains all areas within the 500-foot buffer excluding the *Municipal Airport Zone* and the *RPZ*.

(d) *Height Restriction Zone.* The *Height Restriction Zone* extends to the edge of the *Conical Zone* and is subject only to the requirements stipulated in Section H, *Height Limitations*, of this ordinance (*see Figure 29: Airport Overlay District Boundaries*).

(e) *Departure Surface*. The *Departure Surface* starts at the end of the runway end elevation and matches the width of the usable runway. From the edge of the usable runway, the surface rises upward to 150-feet above the runway end elevation at a point 500-feet on either side of the runway centerline. The new surface rises upward along the extended centerline at a slope of 40:1 or one (1) foot in height for each 40-feet in horizontal distance until reaching 304-feet above the runway end elevation (*i.e. 6,160-feet across at its outer width at the runway end elevation*). Upon reaching the 304-foot marker, the surface levels out until the end of the departure surface at 12,152-feet. The area splays outward at a rate of 15-degrees relative to the extended runway centerline (*see Figure 28: Departure Surface*).

FIGURE 28: DEPARTURE SURFACE



(3) *Land Use Restrictions.*

(a) *Runway Object Free Area (ROFA) and Controlled Activity Area*. No uses are permitted within the *Runway Object Free Area (ROFA)* or the *Controlled Activity Area* unless deemed essential to air navigation or aircraft ground maneuvering purposes by the Federal Aviation Administration (FAA) with the following exceptions:

(1) *Permitted Uses*. See the current *FAA Standard*.

(2) *Specific Use Permit (SUP).*

(a) Roadways, Automobile Parking Areas, and Railroads that Adhere to the Height Restrictions

(b) *Municipal Airport Zone.*

(1) *Permitted Uses.*

(a) Aircraft Runways, Taxiways, Taxi Lanes, Ramps, Parking Areas and Fuel Storage Facilities

(b) Aircraft Operational Facilities (*including but not limited to Instrument Landing Systems, Visual Navigational Aids, and Related Equipment; Communication Facilities; Weather Service Offices and Equipment*)

(c) Hangars (*includes all buildings which may be used for the Storage or Maintenance of Aircraft, Airport Snow Removal, Sweeping and Other Maintenance Equipment, and/or Other Aviation-Related or Ancillary Activities*)

(d) Terminal Buildings (*which may contain Offices or Airline Companies, and Other Businesses and Concessionaires*)

(e) Offices and Facilities for Airport Management, Air Charter, Air Taxi, Crop Spraying, Aircraft Sales or Rentals, and Air Cargo Processing Facilities

(f) Agriculture (*other than Forestry or Livestock*), Tourism Information Centers and Museums

(g) Flight Schools, Flying Clubs, and Other Schools or Training Facilities (*relating to Aviation or Air-Related Transportation*)

(h) Offices and Facilities for the Operation and Maintenance of Air Rescue, Emergency and Firefighting Services

(i) Aircraft Maintenance, Manufacturing, and Testing Facilities

(j) Offices and Facilities of Federal, State and Local Government Entities that Incorporate an Aeronautical Land Use (*Unless the Property has been Designated for Non-Aeronautical Land Uses*)

(2) *Prohibited Uses.*

(a) No uses other than those uses explicitly permitted above.

(c) *Airport Influence Zone*. All uses permitted within the underlying zoning depicted on the official zoning map of the City of Rockwall, with the following additional uses and exceptions:

(1) *Specific Use Permits (SUP).*

(a) Residential Airpark or Aviation Homes

(b) Driving Test Track

(2) *Prohibited Uses*.

(a) Residential Uses (*e.g. Single Family, Multi Family, etc.*)

(b) Educational Centers (*including all types of Primary and Secondary Schools, Pre-Schools, and Child Care Facilities*)

(c) Hospitals, Medical Inpatient Treatment Facilities, Nursing Homes and/or Convalescent Home Facilities

(d) Places of Worship

(e) Places of Public Assembly (*Not Previously Listed*)

(f) Fuel Handling and Storage Facilities (*Does Not Include Gas Station*)

(d) *Height Restriction Zone*. Properties within the *Height Restriction Zone*, outside of the Airport Overlay (AP OV District), are subject to the use requirements stipulated by the underlying zoning depicted on the official zoning map of the City of Rockwall (*see Figure 29: Airport Overlay District Boundaries*).

(4) *Additional Use Restrictions*.

(a) Notwithstanding any other provision of this ordinance, no use may be made of land within any zone established by this ordinance in such a manner as to (*1*) create electrical interference with radio communication between the Airport and aircraft, (*2*) make it difficult for flyers to distinguish between airport lights and others, (*3*) result in glare in the eyes of flyers using the Airport, (*4*) impair visibility in the vicinity of the Airport or otherwise endanger the landing, taking-off, or maneuvering of aircraft.

(5) *Legal Non-Conforming Land Uses*.

(a) *Regulations Not Retroactive*. The regulations prescribed by this ordinance shall not be construed to require the removal, lowering, changes and/or alteration of any structure (*e.g. building*) or object of natural growth (*e.g. tree*) not conforming to the regulations as of the effective date of this ordinance, or otherwise interfere with the continuance of any legal non-conforming use. Nothing herein contained shall require any change in the construction, alteration, or intended use of any structure or property, for which the construction or alteration of said structure or property was commenced prior to the effective date of this ordinance.

(b) *Hazard Marking and Lighting*. Notwithstanding the preceding provision of this section, the owner of any non-conforming structure or tree is hereby required to permit the installation, operation, and maintenance thereon of such markers and lights as shall be deemed necessary by the City Manager or his designee to indicate to the operators of aircraft in the vicinity of the Airport, the presence of such airport hazards. Markers and lighting necessary for existing non-conforming structures or trees shall be operated and maintained at the expense of the property owner. Markers and lighting necessary for future non-conforming structures or trees, approved per the requirements of this ordinance, shall be installed, operated, and maintained at the expense of the property owner.

(K) *Development Standards.*

(1) *Architectural Standards*.

(a) All buildings within the *Municipal Airport Zone* shall be designed by a licensed, professional architect and all drawings submitted for approval and/or permits shall bear the architect's seal of the State of Texas.

(b) All buildings intended for airport related use such as hangars, maintenance facilities, offices and facilities for airport management, terminal buildings and other similar types of uses with exterior walls visible from a public right-of-way shall consist of 90% masonry materials, excluding doors and windows as defined in Article 13, *Definitions*, of the Unified Development Code (UDC) [*i.e. "Masonry"*]. Building exterior walls not visible from the public rights-of-way may be earth-tone colored, pre-finished aluminum, steel or masonry. Materials that are unfinished are prohibited.

[All other buildings not related to airport uses within the Airport Overlay (AP OV) District shall conform to building materials requirements as stipulated within the Unified Development Code (UDC).]

In addition, all buildings intended for airport related uses shall adhere to the following standards:

(1) A *Material Sample Board* indicating all exterior materials and colors must be submitted to the Planning and Zoning Commission, upon a recommendation by the Architecture Review Board (ARB), for approval prior to the commencement of construction. All sides of the exterior building shall be architecturally integrated and similar in nature with respect to the design and aesthetic.

(2) All roofs shall be metal. If galvanized metal is being proposed, it shall be limited to a roofing material only.

(3) Building glazing or reflectors shall not be incorporated into a building if it will cause a glare or reflection that could interfere with airport operations or ground circulation.

(4) All windows or large glass elements shall be oriented and/or treated to avoid reflections that could cause a distraction to air traffic that is landing or taking off.

(5) All new construction shall be of a high quality and utilize materials and finishes that will maintain their appearance with relatively low maintenance.

(6) All steel used for roofing or siding shall be a minimum of 28-gauge steel, with a factory finish in a color that has been approved by the Planning and Zoning Commission, and which has been warranted by the

manufacturer for a minimum of 20 years with regards to the durability and color fastness.

(7) All floors must be constructed of a minimum of four (4) inches thick concrete and reinforced with steel to a standard approved by the Engineering and Building Inspections Departments.

(8) All hangars facing a taxiway (*i.e. a path connecting runways with ramps, hangars, terminals, etc.*) shall have a hangar door that has a minimum opening of 55-feet in width by 16-feet in height (*i.e. 55' [w] x 16' [h]*). Buildings facing a taxilane (*i.e. a path connecting the taxiways to aircraft parking positions*) shall have a hangar door that has a minimum opening of 41-feet, 6-inches in width by 12-feet in height (*i.e. 41'-6" [w] x 12' [h]*). Approved swing out, overhead or sliding doors may also be used. All pedestrian doors must be of a pre-finished metal construction positioned in metal doorjambs. No wood doorjambs will be permitted on exterior doors.

(9) Mechanical equipment shall be screened so as not to be visible from the public and private rights-of-way. All screens, whether situated on the ground or on the building, shall be constructed to be aesthetically integrated into the design of the building. The rooftops of all buildings shall be free of any mechanical equipment unless completely screened from all points of view along all public rights-of-way by an architectural parapet. All screening materials shall be compatible with the material used on the building.

(2) *Landscaping*.

(a) The requirements contained within Article 05, *District Development Standards*, and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), whichever would be applicable to the subject property independent of the AP OV District, shall apply to a property located within the overlay (*i.e. the landscaping percentage of the underlying zoning district would apply*); however, landscaping plans in the AP OV District should be designed with the consideration of aircraft movement and should not be designed using trees and/or plants that have the propensity to attract hazardous wildlife. In cases where aircraft requirements would conflict with certain landscaping elements, the Planning and Zoning Commission may approve requirements that deviate from those stipulated by the Unified Development Code (UDC) if, in its opinion, such alternate requirements provide for a safer and more efficient use of the property. In addition, the Planning and Zoning Commission may request that a qualified Airport Wildlife Biologist review landscaping plans in sensitive areas and provide recommendations for planting placement and alternatives.

(3) *Variances*. The City Council may, upon request from the applicant, grant a variance to the any of the provisions contained within Section K.6, *Architectural Standards*, and Section K.7, *Landscaping*, of this ordinance where unique or extraordinary conditions exist or where strict adherence to the provisions of this ordinance would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter (¾) majority vote of the City Council members present with a minimum of four (4) affirmative votes.

(L) *Administrative Procedures and Permits.*

(1) *Notice of Proposed Construction or Alteration (i.e. FAA Form 7460-1)*. Any tree or structure (*new or alteration of an existing structure*) proposed within the AP OV District or 20,000-feet of the runway shall require an applicant to file a *Notice of Proposed Construction or Alteration* form (*i.e. FAA Form 7460-1*) with the Federal Aviation Administration (FAA) to determine if the tree or structure creates a hazard to air navigation or will result in an inefficient use of airspace.

(2) *Future Use*. Except as specifically provided herein, no change shall be made in the use of land and no structure or tree shall be erected, altered, planted or otherwise established in any zone hereby created unless a permit therefore shall have been applied for and granted. Each application for a permit shall indicate the purpose for which the permit is desired, with sufficient particularity to permit it to be determined whether the resulting use, structure or tree would conform to the regulations herein prescribed. If such determination is in the affirmative, the permit shall be granted.

(a) In the area lying within the limits of the *Horizontal Zone* and *Conical Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limits prescribed for such zone.

(b) In the areas lying within the limits of the *Approach Zones* but at the horizontal distance of not less than 4,000-feet from each end of the runways, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limit prescribed for the *Approach Zone*.

(c) In the areas lying within the limits of the *Transitional Zones* ending at the perimeter of the *Horizontal Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when such tree or structure because of terrain, land-contour or topographic features would extend above the height limit prescribed for such *Transitional Zones*.

(3) *Exceptions/Variances/Non-Conforming Uses*. Nothing contained in any of the foregoing exceptions shall be construed as permitting or intending to permit any construction, alteration or growth of any structure or tree in excess of any of the height

limits established by this Ordinance except as set forth in Section H, *Height Limitations*.

(a) *Existing Uses*. No permit shall be granted that would allow the establishment or creation of an airport hazard or permit a non-conforming use, structure, or tree to be made or become higher, or become a greater hazard to air navigation, than it was on the effective date of this Ordinance or any amendments thereto or than it is when the application for a permit is made. Except as indicated, all applications for such a permit shall be granted.

(b) *Non-Conforming Uses Abandoned or Destroyed*. Whenever the Board of Adjustment (BOA) determines that a non-conforming structure or use has been abandoned for a period of six (6) months, or more than eighty (80%) percent of a non-conforming structure or tree has been torn down, physically deteriorated, or decayed, no permit shall be granted that would allow such structure or tree to exceed the applicable height limit or otherwise deviate from the zoning regulations.

(c) *Variances*. Any person desiring to erect or increase the height of any structure, or permit the growth of any tree, or use of their property, not in accordance with the regulations prescribed in this ordinance, may apply to the Board of Adjustment (BOA) for a variance from such regulations. Such variances shall be allowed where it is duly found that a literal application or enforcement of the regulation would result in practical difficulty or unnecessary hardship and the relief granted would not be contrary to the public interest but will do substantial justice to be in accordance with the spirit and intent of this Ordinance.

(d) *Hazard Marking and Lighting*. Any permit or variance granted may, if such action is deemed advisable to effectuate the purpose of this Ordinance and be reasonable in the circumstances, be so conditioned as to require the owner of the structure or tree in question to permit the owners at their own expense, to install, operate, and maintain thereon such markers and lights as may be necessary to indicate to flyers the presence of an airport hazard.

(M) *Enforcement*. It shall be the duty of the City Manager or his designee to administer and enforce the regulations prescribed herein. Application of permits shall be made to the City Manager or his designee upon a form published for that purpose. Applications required by this ordinance to be submitted to the City Manager or his designee shall be promptly considered and granted or denied. Applications for variances shall be made to the Board of Adjustment (BOA) by first filing said application for variance with the City Manager or his designee who shall forthwith transmit said application to the Board of Adjustment for determination.

~~(A)~~(N) *Appeals*. Requests for appeals to administrative decisions by the City Manager or his designee concerning the enforcement of this ordinance shall be directed to the Board of Adjustment (BOA) in compliance with Section 04, Board of Adjustments, of Article 02, Authority and Administrative Procedures, of the Unified Development Code (UDC).

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FIGURE 29: AIRPORT OVERLAY (AP OV) DISTRICT BOUNDARIES

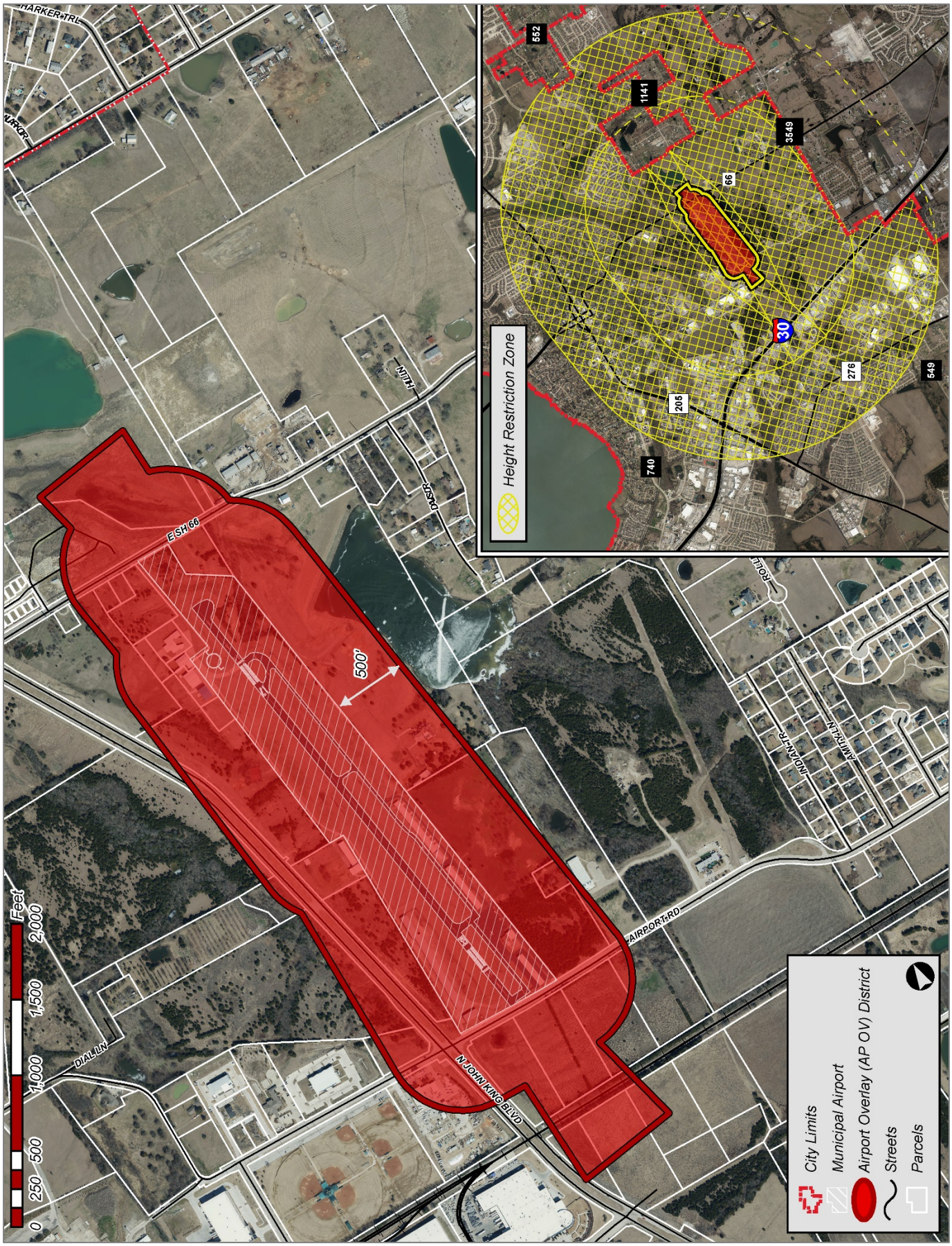


FIGURE 30: DEVELOPMENT ZONES WITHIN THE AIRPORT OVERLAY (AP OV) DISTRICT

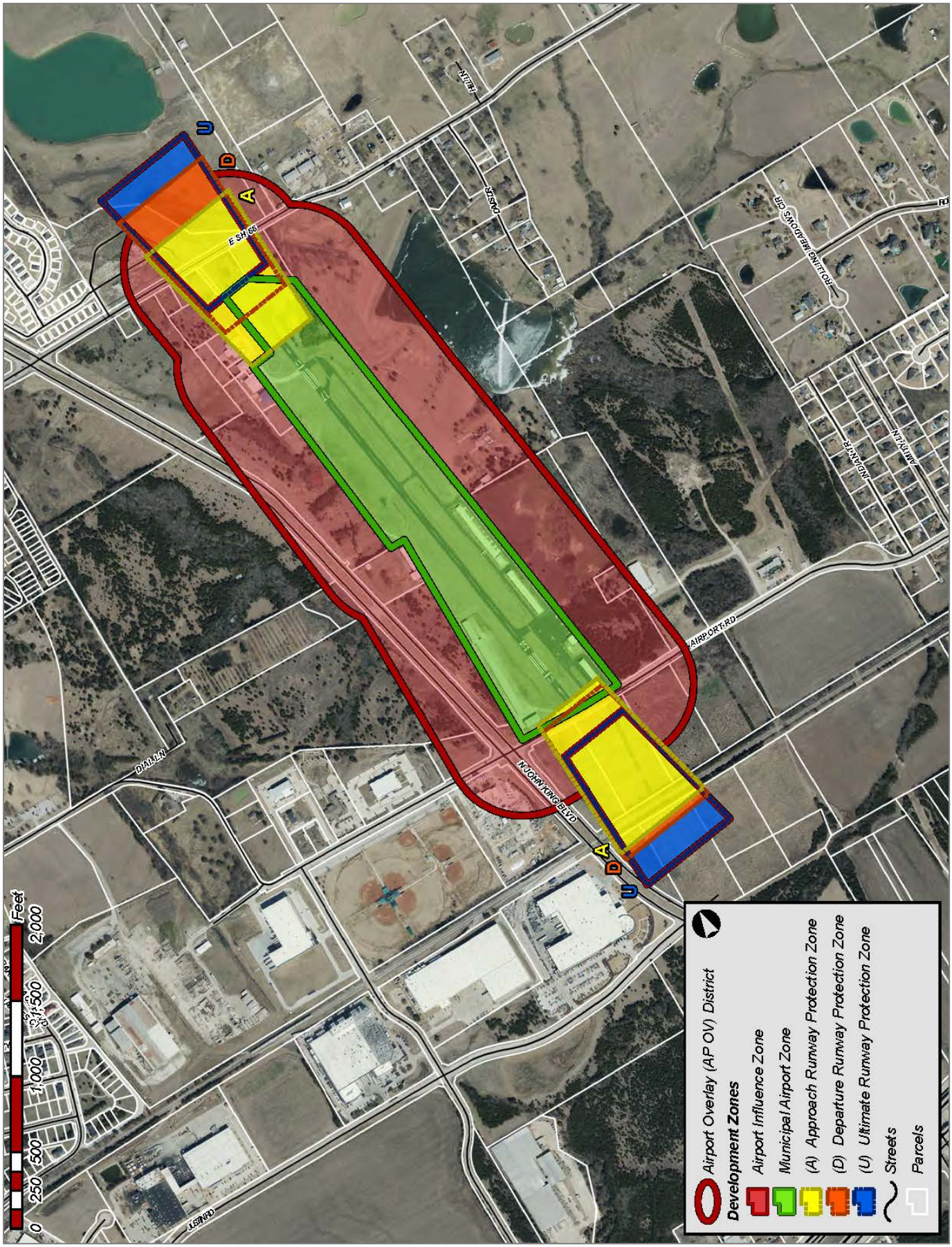


FIGURE 31: AIRSPACE ZONE BOUNDARIES

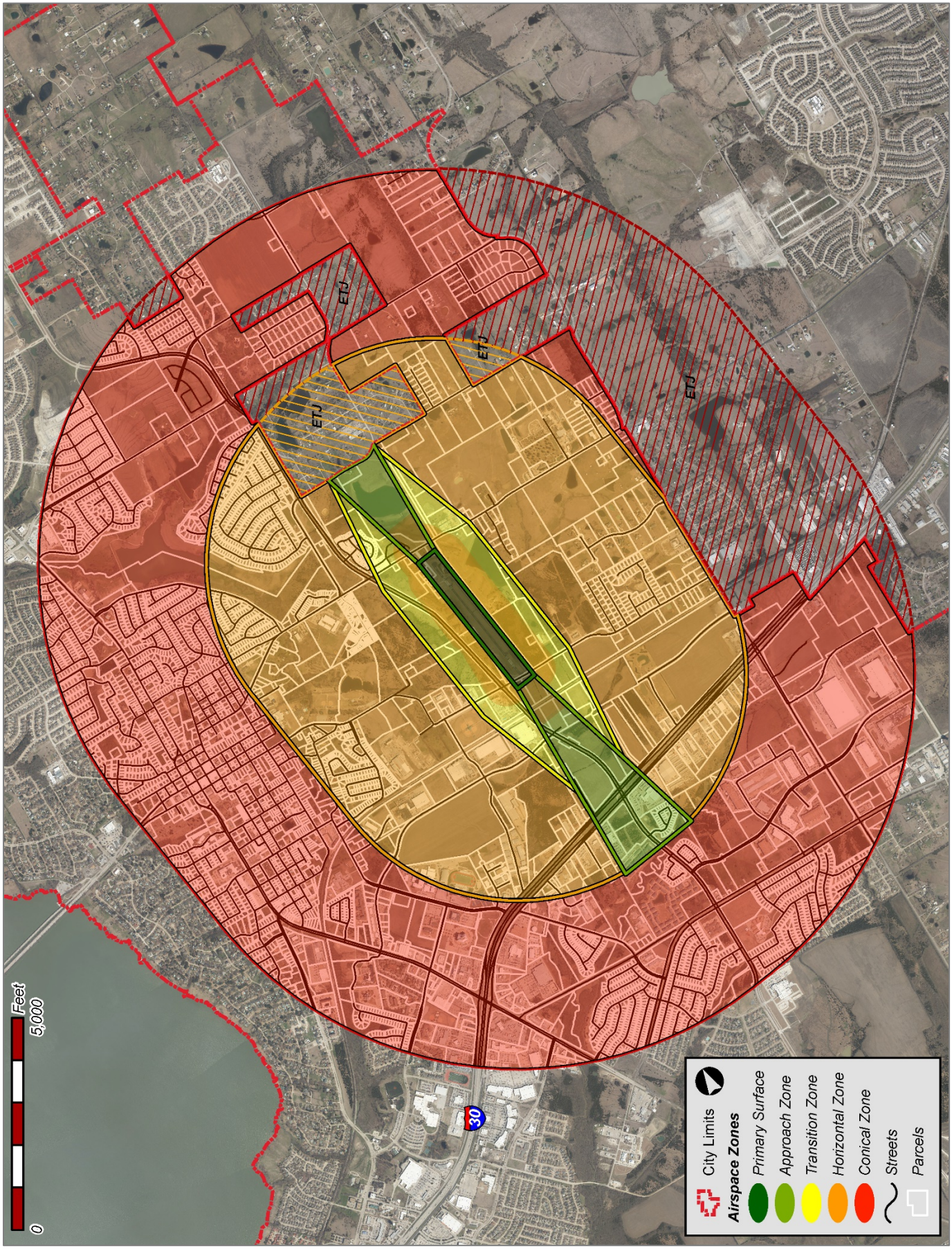
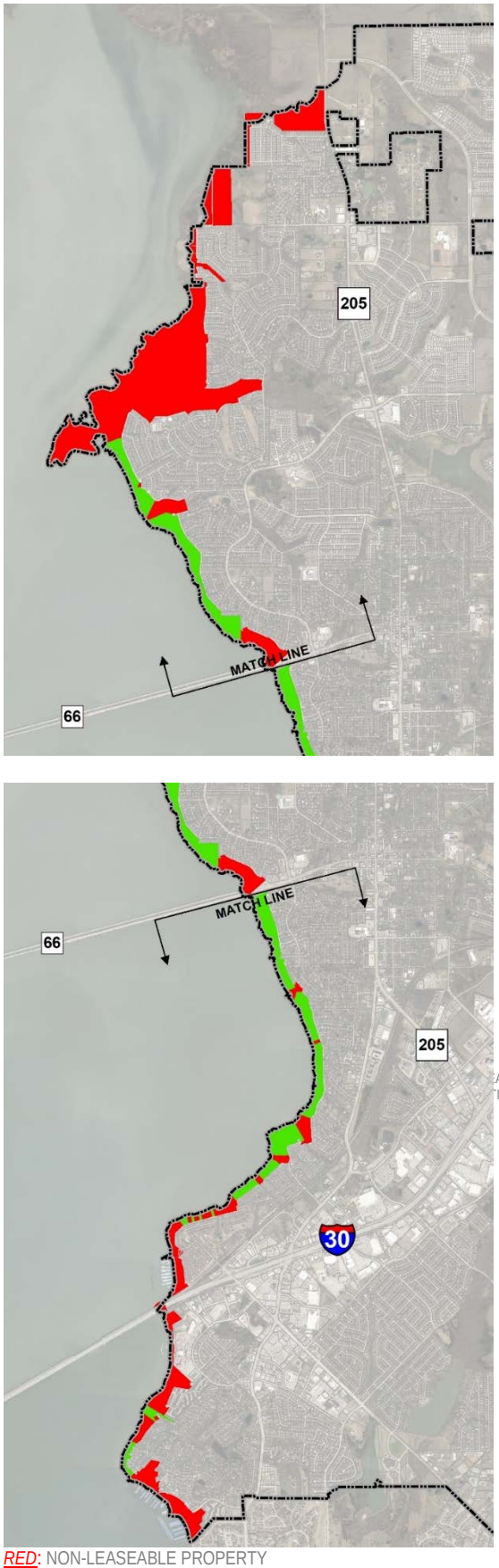


FIGURE ~~26~~32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



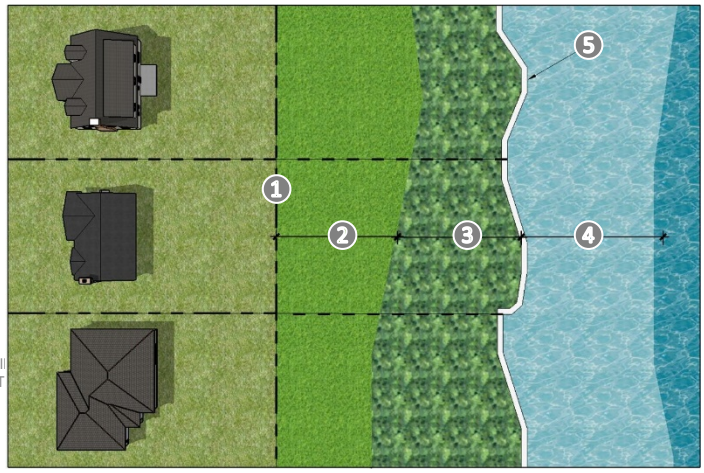
RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY

SUBSECTION 06.~~15~~16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

(A) *Purpose*. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (*i.e. Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality

(B) *Boundaries*. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (*i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-feet sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE ~~27~~33: ELEVATION CONTOUR ZONES



(C) *Applicability*.

(1) *Applicable Lots*. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map above*.

(2) *Exceptions for Lots Not Meeting the Applicability Standards*. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(C)(1) above.

(D) *Definitions*. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), *Specifications for Permitted Land Uses*. In addition, the following terms shall be defined as follows:

(1) *Catwalk*. The narrow walkway of a dock providing people access to moored watercraft.

(2) *Centerline*. An established line that is equidistant from the surface or sides of something (*e.g. parcel boundaries*).

(3) *Cleat*. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

(4) *Dredging*. The process of deepening a waterway for the sale and efficient movement of watercraft by the removal of dirt either by digging or by suction.

(5) *Habitable Structure*. A structure fit for human habitation usually containing amenities (*e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall *not* be habitable structures and may not contain such amenities.

(6) *Lake*. Refers to Lake Ray Hubbard.

(7) *Lake Area*. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).

(8) *Leased Area*. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.

(9) *Lift*. A temporary means of elevating a watercraft out of the water by use of a hoist.

(10) *Locker Box*. A secured chest fixed onto a dock used for storage of watercraft equipment.

(11) *Moor*. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.

(12) *Mooring*. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.

(13) *Power Source Station*. Used as a power supply for lighting a dock just below watercraft level.

(14) *Shoreline*. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(15) *Slip*. A watercraft's berth between two (2) piers or between finger piers.

(16) *Take or Takeline Area*. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(17) *Treated Wood*. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) *View Clear Zone*. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) *View Corridor*. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (*see Figure 28: Visual Measurements for View Corridors of Subsection (E)*).

(20) *View Preservation Angle*. The angle determined as the line extending from the center point -- *or 30-foot point depending on lot size* -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (*see Figure 28: Visual Measurements for View Corridors*).

(21) *Watercraft (or Boat)*. A craft for water transport. Examples of watercrafts are as follows:

(a) *Motorized Boat*. A boat propelled by an internal combustion engine.

(b) *Sail Boat*. A boat with a mast and sail propelled by the wind.

(E) *Visual Measurements for View Corridors*.

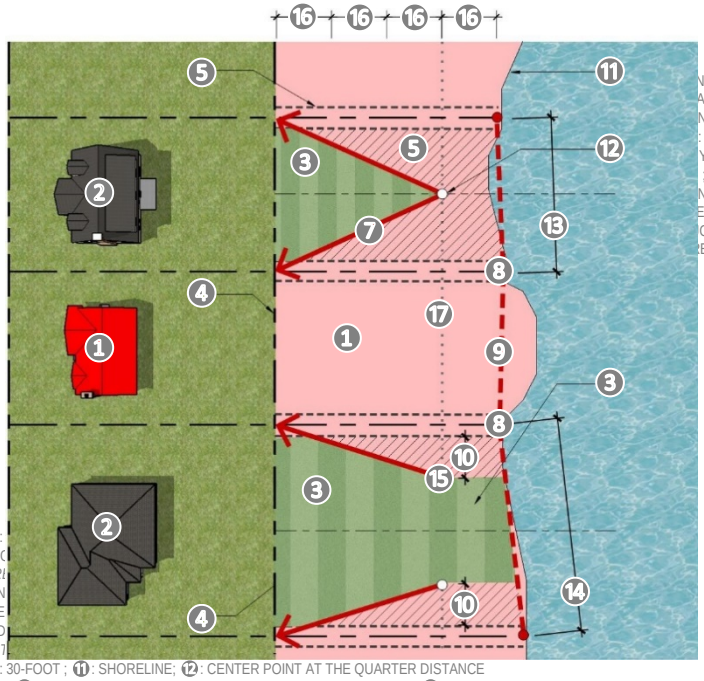
(1) *View Corridors*. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:

(a) *Lots That Have Less Than 100-Feet of Shoreline Frontage*. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline

area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

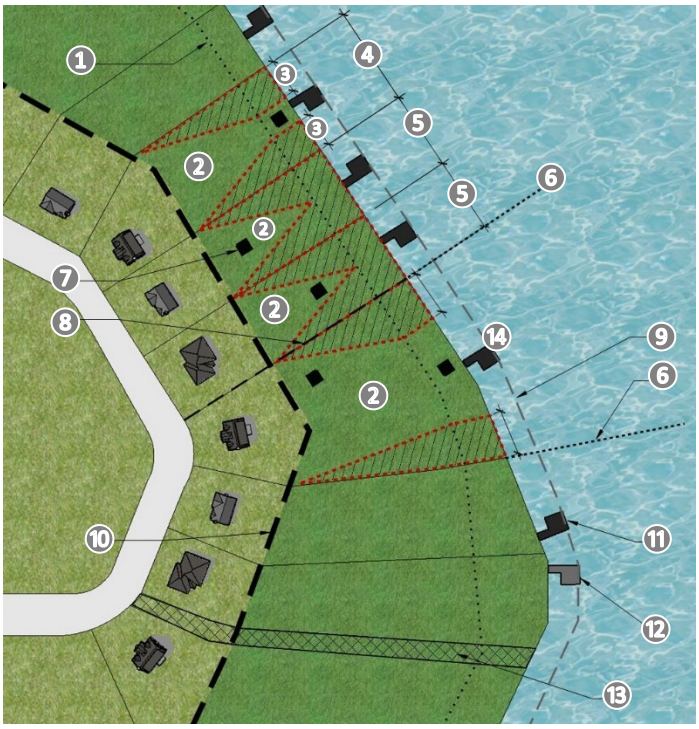
(b) *Lots That Have More 100-Feet or More Shoreline Frontage*. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

FIGURE ~~28~~34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



❶: NEIG (*GRI* ZON PRE AND (*EST* ❿: 30-FOOT ; ⓫: SHORELINE; ⓬: CENTER POINT AT THE QUARTER DISTANCE LINE; ⓭: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⓮: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⓯: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⓰: 25% OF THE TAKELINE AREA; ⓱: QUARTER DISTANCE LINE.

FIGURE ~~29~~35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



NE; ❷: BUILDABLE AREA; ❸: 30-FEET; ❹: A LOT AGE LINE 100-FEET OR MORE; ❺: A LOT WITH A NE LESS THAN 100-FEET; ❻: LEASE AREA'S : STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; YARD; ❾: 40-FOOT BUILDING LINE; ❿: REAR ; ⓫: EXISTING BOATHOUSE; ⓬: BOATHOUSE NISTRATIVELY BECAUSE OF DRAINAGE EASEMENT EXISTING BOATHOUSE; ⓭: DRAINAGE EASEMENT; CTURE IN THE 435.5 ELEVATION ZONE GENERALLY EA BEHIND THE PRIMARY STRUCTURE.

(F) *General Requirements*. The following general requirements shall apply for all property in the takeline area.

(1) *Number of Permitted Structures*. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Two (2) structures shall be permitted in the *438.0 Elevation Zone*.

(b) *435.5 Elevation Zone*. One (1) structure shall be permitted in the *435.5 Elevation Zone*.

(2) *General Location of Permitted Structures*. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 05, *DISTRICT DEVELOPMENT STANDARDS*, AS DEPCITED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City of Rockwall to amend Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] for the purpose of creating an Airport Overlay (AP OV) District; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00*) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

_____

Kevin Fowler, *Mayor*

DRAFT ORDINANCE 03.15.2022

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.15.2022

DRAFT
ORDINANCE
03.15.2022

ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC)

ADDITIONS: RED
DELETIONS: ~~RED WITH STRIKE-THROUGH~~

the entire property shall be subject to the requirements of Section 06.02, *General Overlay District Standards*.

SUBSECTION 06.14: SH-276 OVERLAY (SH-276 OV) DISTRICT

(A) *Purpose*. The intent of the SH-276 Overlay (SH-276 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.

(B) *Application and Boundaries*. The SH-276 Overlay (SH-276 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the current or future right-of-way of SH-276. The SH-276 Overlay (SH-276 OV) District extends from SH-205 east to the eastern city limits, as may be extended with future annexation(s). The standards and regulations set forth in the SH-276 Overlay (SH-276 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.

(C) *Overlay District Standards*. If any portion of a property is situated within the boundaries of the SH-276 Overlay (SH-276 OV) District, the entire property shall be subject to the requirements of Section 06.02, *General Overlay District Standards*.

SUBSECTION 06.15: AIRPORT OVERLAY (AP OV) DISTRICT

Note: This document was prepared using FAA guidelines as of March 17, 2020 and using AC150/5300-14D.

(A) *Purpose*. The purpose of this district is to provide both airspace protection and land use compatibility with airport operations at the Ralph M. Hall/Rockwall Municipal Airport. This district, through establishment of airport zones and corresponding regulations, provides for independent review of development proposals in order to promote the public interest in safety, health and general welfare of the City of Rockwall. Therefore, the City of Rockwall deems it necessary to regulate uses of land located within or near the traffic patterns of the airport through regulation of height of structures and objects of natural growth, and through the regulation of land uses within the Airport Overlay (AP OV) District, and other FAA regulated areas associated with the airport (*i.e. areas relating to RSA/ROFA/ROFZ which extend off the airport property*).

(B) *District Boundaries*. This *Airport Overlay (AP OV) District* is hereby established as the land area owned by the City of Rockwall and held as Ralph M. Hall/Rockwall Municipal Airport, the Airport Runway Protection Zone (RPZs), and a buffer area extending 500-feet from all property lines of the Ralph M. Hall/Rockwall Municipal Airport (*see Figure 29: Airport Overlay District Boundaries*).

(C) *Definitions*. Unless otherwise stated in this section, the following words shall have the definitions prescribed to them below:

(1) *Administrative Agency*. The appropriate person or office of the municipality that is responsible for the administration and enforcement of the regulations prescribed in this section of the Unified Development Code (UDC).

(2) *Airport*. The current and future boundaries of the Ralph Hall Municipal Airport located within the City of Rockwall, Texas.

(3) *Airport Hazard*. A structure or object of natural growth that obstructs the air space required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft.

(4) *Airport Hazard Area*. An area of land or water on which an airport hazard could exist.

(5) *Applicant*. The person or persons making a request to the administrative agency.

(6) *Centerline*. The runway centerline identifies the center of the runway and provides alignment guidance during takeoff and landings. The centerline consists of a line of uniformly spaced stripes and gaps.

(7) *Non-Conforming Land Use or Non-Conforming Use*. Any land use of which is inconsistent with the provisions of these regulations and which is existing as of the effective date of the Airport Overlay (AP OV) District.

(8) *Person*. An individual, firm, partnership, corporation, company, association, joint stock association, or body politic and includes a trustee, receiver, assignee, administrator, executor, guardian, or other representative.

(9) *Runway*. A defined area on the airport prepared for the landing and taking off of aircraft along its length. The current length of the Rockwall Municipal Airport is 3,373-feet by 45-feet and the zoned dimensions are 3,373-feet by 60-feet.

(10) *Runway Safety Area (RSA)*. The surface surrounding the runway prepared or suitable for reducing the risk of damage to airplanes in the event of an undershoot, overshoot, or excursion from the runway.

(11) *Structure*. An object constructed or installed by one (1) or more persons and includes but is not limited to a building, tower, smokestack, and overhead transmission line.

(D) *Airport Zones*. In order to implement the intent of this ordinance, the Airport Overlay (AP OV) District hereby includes the following three (3) exhibits that depict the zones within the controlled area and shown on the official zoning map as depicted in *Figure 29: Airport Overlay District Boundaries*:

- Airport Overlay (AP OV) District Boundaries (*see Figure 29: Airport Overlay District Boundaries*)
- Development Zones within the Airport Overlay (AP OV) District (*see Figure 30: Development Zones within the Airport Overlay (AP OV) District*)
- Airport Airspace Zones Boundaries (*see Figure 31: Airspace Zone Boundaries*)

(E) *Permitted Uses*. All uses otherwise permitted by existing zoning ordinances within the boundaries of the AP OV District are permitted

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within the district, except where there is a conflict between the AP OV District and the existing zoning ordinances. Where the provisions of the AP OV District are more restrictive, the provisions of the AP OV District shall govern.

(F) *Controlled Area.* The area within which airport land use compatibility controls may be instituted, as defined by *Section 241, Municipal and County Zoning Authority Around Airports,* of the *V.T.C.A., Texas Local Government Code,* shall be defined as the controlled area. The controlled area is located outside the Airport boundaries and within an area measured no farther than one and one-half (1½) statute miles from the centerline of the Ralph M. Hall/Rockwall Municipal Airport runway and lies no farther than five (5) statute miles from each end of the paved surface of the runway.

(G) *Airspace Zones*. *Airspace Zones* consist of all of the land area lying beneath the surfaces referenced in Section H, *Height Limitations*, below and in Title 14, Part 77.19. The following *Airspace Zones* are hereby established and set forth (*see Figures 26: Airspace Zones [right] & Figure 31: Airspace Zone Boundaries [below]; reference Title 14, Part 77, FAR*):

(1) *Primary Surface.* The *Primary Surface* is a surface that is longitudinally centered on the runway. It extends 200-feet beyond the end of each runway and 250-feet on either side of the centerline of the runway for a total width of 500-feet (*i.e. a 250-foot side buffer of the runway centerline*).

(2) *Approach Zone.* The *Approach Zone* is a fan shaped zone that is established at both ends of the runway for the purpose of landings and take-offs. The *Approach Zone* commences at the end of the *Primary Surface* (*i.e. 200-feet beyond the end of the runway*) and has a beginning width of 500-feet. It then extends uniformly along the continuation of the centerline of the runway to a width of 3,500-feet at a distance of 10,000-feet from the point of commencement, and a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance *[this is the land area that exists underneath the Approach Surface]*.

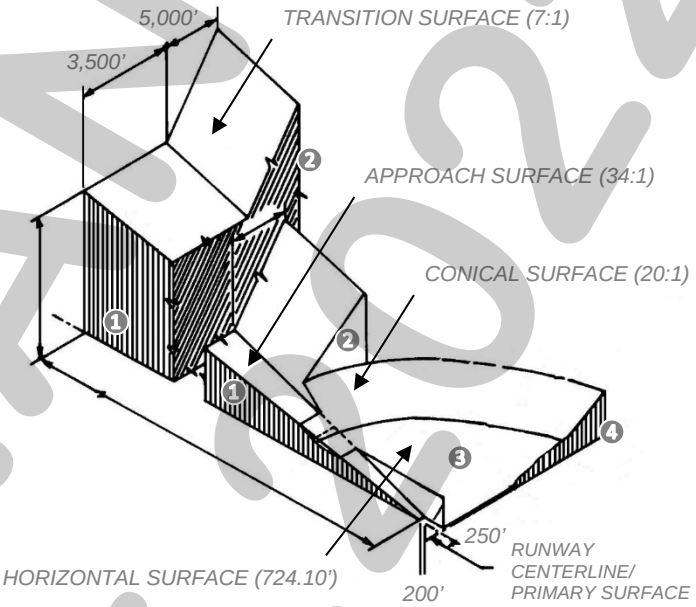
(3) *Transitional Zones.* The *Transitional Zones* are symmetrically located on either side of runway, and have variable widths. The *Transitional Zones* extend outward and upward commencing from the edge of the *Primary Surface* (*i.e. 250-feet on either side of the centerline of the runway*), and *Approach Surfaces*. The *Transitional Zones* extend upward and outward at slope of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the point where they intersect the surface of the *Horizontal Zone*. The *Transitional Zones* are established adjacent to the *Approach Zones* and extend their entire length. The *Transitional Zones* flare symmetrically with either side of the runway *Approach Zone* from the base of said zones and slope upward and outward at the rate of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the points where they intersect the surface of the *Horizontal Zone* and the *Conical Zone [this is the land area that exists underneath the Transitional Surface]*.

(4) *Horizontal Zone.* The *Horizontal Zone* consists of the land area within the perimeter of which is constructed by swinging arcs of 10,000-feet from the center of each *Primary Surface*, 200-feet beyond the centerline of each runway and connecting the adjacent arcs by lines of tangent to those arcs. The *Horizontal Zone* does not include the *Approach Zone* and/or the *Transition Zone [this is the land area that exists underneath the Horizontal Surface]*.

(5) *Conical Zone.* The *Conical Zone* consists of the land area that commences at the periphery of the *Horizontal Zone* and extends outward for a distance of 4,000-feet, at a 20:1 slope or one (1) foot in height for each 20-feet of horizontal distance. The *Conical Zone* does not include the *Approach Zone* and/or the *Transition Zone [this is the land area that exists underneath the Conical Surface]*.

FIGURE 26: AIRSPACE ZONES

❶: APPROACH ZONE; ❷: TRANSITION ZONE; ❸: HORIZONTAL ZONE; ❹: CONICAL ZONE



(H) *Height Limitations.* Except as otherwise provided in this ordinance, no structure or tree shall be erected, altered, allowed to grow, or be maintained in any zone created above to a height in excess of the limits established herein for each of the imaginary surfaces created by the airspace zones (*Title 14 CFR, Section 77.19, Civil Airport Imaginary Surfaces)*, which are defined as follows:

(1) *Approach Surface.* The *Approach Surface* is the surface that is created by the *Approach Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Approach Surface* is the same starting width as the *Primary Surface* (*i.e. 500-feet*), and has a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance commencing at the *Primary Surface* and extending to a point 10,000-feet from the point of beginning and widening to a width of 3,500-feet.

(2) *Transitional Surface.* The *Transitional Surface* is the surface that is created by the *Transitional Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending in the area required for an aircraft's navigable airspace. The *Transitional Surface* is the surface that extends outward and upward, at right angles to the runway

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centerline (*at any point 250-feet normal to and at the elevation of the centerline*) and extended runway centerline (*i.e. 200-feet beyond the end of the runway*), from the sides of the *Primary Surface* and the *Approach Surfaces* to a point of 150-feet above the airport elevation (*i.e. 724.10-feet*) [*the airport elevation is 574.10-feet above mean sea level*]. The *Transitional Surface* has a slope of 7:1 or one (1) foot in height for each seven (7) feet in horizontal distance.

(3) *Horizontal Surface.* The *Horizontal Surface* is the surface that is created by the *Horizontal* Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Horizontal Surface* is the horizontal plane created by swinging arcs with a 10,000-foot radius centered on the extended runway centerline where it crosses the *Primary Surface*, and is situated 150-feet above the established airport elevation (*i.e. 724-feet) [the airport elevation is 574-feet above mean sea level],* which coincides with the extent of the *Horizontal Zone*.

(4) *Conical Surface.* The *Conical Surface* is the surface that is created by the *Conical Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Conical Surface* extends upward and outward from the outer limits or the periphery of the *Horizontal Surface* at a slope of 20:1 or one (1) foot in height for each 20-feet of horizontal distance for a horizontal distance of 4,000-feet. The *Conical Surface* extends to a height of 350-feet above the airport's elevation (*i.e. 924-feet*) [*the airport elevation is 574-feet above mean sea level*].

[Where an area is covered by more than one (1) height limitation, the more restrictive limitation shall prevail. Nothing in this ordinance shall be construed as prohibiting the growth, construction or maintenance of any tree or structure to a height up to 45-feet above the surface of the land, except in the Approach Zones.]

(I) *Airport Hazard Area*. The *Airport Hazard Area* is an area of land or water on which an airport hazard could exist. An *airport hazard* is defined as a structure or object of natural growth that obstructs the airspace required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft. For the purposes of this ordinance, the *Airport Hazard Area* is defined as the entirety of all the imaginary surfaces stated in Section H, *Height Limitations*, of this ordinance (*see Figure 31: Airspace Zone Boundaries*).

(J) *Land Use Compatibility*.

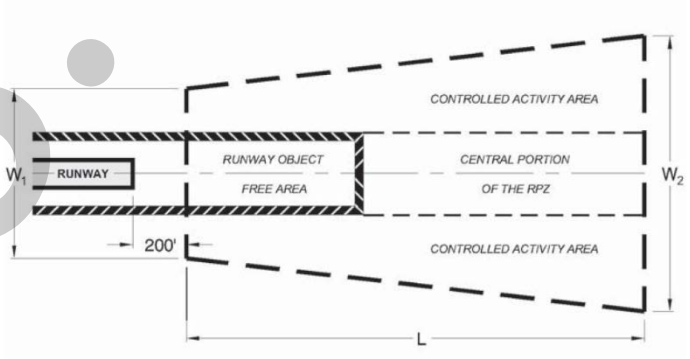
(1) *Intent*. The Airport Overlay (AP OV) District is intended to overlay any other zoning district's regulations comprising or pertaining to areas to which it is applicable, to prevent undue negative interaction between aviation activities associated with the airport and the surrounding community. It is intended to protect the lives and property of the users of the airport and of the occupants of the land in its general vicinity by restricting places of public assembly within this Airport Overlay (AP OV) District. The overlay is intended to preserve the utility of the airport and the public investment therein.

(2) *Development Zones*. The *Development Zones* are hereby established within the Airport Overlay (AP OV) District. These zones are depicted in *Figure 30: Development Zones within the Airport Overlay (AP OV) District* of this ordinance. The *Development Zones* are defined and described as follows:

(a) *Airport Runway Protection Zones (RPZs).* The *Airport Runway Protection Zones* are hereby established as the trapezoidal areas centered about the extended runway centerline. The *RPZ* dimensions for a particular runway end are a function of the type of aircraft and approach/departure visibility minimum associated with the runway end. The *RPZs* for the Ralph M. Hall/Rockwall Municipal Airport commence 200-feet from the edge of pavement at the end of each runway, beginning with a base of 500-feet (*i.e. inner width or 'W_1'*), extending 1,000-feet along the runway centerline (*i.e. length or 'L'*), and terminating at the outboard corners of a 700-foot line segment (*i.e. outer width or 'W_2'*) [*see Figure 27: Airport Runway Protection Zone (RPZ)*], creating a 13.770-acre trapezoidal area, which is intended to service *Aircraft Approach/Departure Categories 'A' & 'B'* (*i.e. small single and multi-engine planes*). Contained within the two (2) trapezoidal areas that make up the *RPZs* are the *Controlled Activity Area* and a portion of the *ROFA (Object Free Area)*. These areas are defined as follows:

(1) *The Runway Object Free Area (ROFA).* The *Runway Object Free Area (ROFA)* is centered on the runway centerline. The *ROFA* clearing standard requires clearing the *ROFA* of above ground objects protruding above the runway safety area edge elevation. Except where precluded by other clearing standards, it is acceptable to place objects that need to be located in the *ROFA* for air navigation or aircraft ground maneuvering purposes to protrude above the nearest point of the runway safety area, and to taxi and hold aircraft in the *ROFA*. To the extent practicable, objects in the *ROFA* should meet the same frangibility requirements as the runway safety area. Objects non-essential for air navigation or aircraft ground maneuvering purposes are not permitted to be placed in the *ROFA*. This includes parked airplanes and agricultural operations.

FIGURE 27: AIRPORT RUNWAY PROTECTION ZONE (RPZ)



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(2) *The Controlled Activity Area.* The *Controlled Activity Area* is the portion of the *RPZ* beyond the boundaries of the *ROFA*.

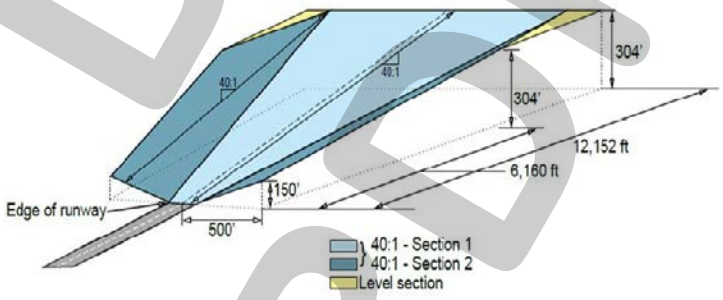
(b) *Municipal Airport Zone.* The *Municipal Airport Zone* is hereby established as the real property boundaries of the Ralph M. Hall/Rockwall Municipal Airport. This zone contains the majority of all airport related land uses and structures.

(c) *Airport Influence Zone.* The *Airport Influence Zone* contains all areas within the 500-foot buffer excluding the *Municipal Airport Zone* and the *RPZ*.

(d) *Height Restriction Zone.* The *Height Restriction Zone* extends to the edge of the *Conical Zone* and is subject only to the requirements stipulated in Section H, *Height Limitations*, of this ordinance (*see Figure 29: Airport Overlay District Boundaries*).

(e) *Departure Surface*. The *Departure Surface* starts at the end of the runway end elevation and matches the width of the usable runway. From the edge of the usable runway, the surface rises upward to 150-feet above the runway end elevation at a point 500-feet on either side of the runway centerline. The new surface rises upward along the extended centerline at a slope of 40:1 or one (1) foot in height for each 40-feet in horizontal distance until reaching 304-feet above the runway end elevation (*i.e. 6,160-feet across at its outer width at the runway end elevation*). Upon reaching the 304-foot marker, the surface levels out until the end of the departure surface at 12,152-feet. The area splays outward at a rate of 15-degrees relative to the extended runway centerline (*see Figure 28: Departure Surface*).

FIGURE 28: DEPARTURE SURFACE



(3) *Land Use Restrictions.*

(a) *Runway Object Free Area (ROFA) and Controlled Activity Area*. No uses are permitted within the *Runway Object Free Area (ROFA)* or the *Controlled Activity Area* unless deemed essential to air navigation or aircraft ground maneuvering purposes by the Federal Aviation Administration (FAA) with the following exceptions:

(1) *Permitted Uses*. See the current *FAA Standard*.

(2) *Specific Use Permit (SUP)*.

(a) Roadways, Automobile Parking Areas, and Railroads that Adhere to the Height Restrictions

(b) *Municipal Airport Zone*.

(1) *Permitted Uses.*

(a) Aircraft Runways, Taxiways, Taxi Lanes, Ramps, Parking Areas and Fuel Storage Facilities

(b) Aircraft Operational Facilities (*including but not limited to Instrument Landing Systems, Visual Navigational Aids, and Related Equipment; Communication Facilities; Weather Service Offices and Equipment*)

(c) Hangars (*includes all buildings which may be used for the Storage or Maintenance of Aircraft, Airport Snow Removal, Sweeping and Other Maintenance Equipment, and/or Other Aviation-Related or Ancillary Activities*)

(d) Terminal Buildings (*which may contain Offices or Airline Companies, and Other Businesses and Concessionaires*)

(e) Offices and Facilities for Airport Management, Air Charter, Air Taxi, Crop Spraying, Aircraft Sales or Rentals, and Air Cargo Processing Facilities

(f) Agriculture (*other than Forestry or Livestock*), Tourism Information Centers and Museums

(g) Flight Schools, Flying Clubs, and Other Schools or Training Facilities (*relating to Aviation or Air-Related Transportation*)

(h) Offices and Facilities for the Operation and Maintenance of Air Rescue, Emergency and Firefighting Services

(i) Aircraft Maintenance, Manufacturing, and Testing Facilities

(j) Offices and Facilities of Federal, State and Local Government Entities that Incorporate an Aeronautical Land Use (*Unless the Property has been Designated for Non-Aeronautical Land Uses*)

(2) *Prohibited Uses*.

(a) No uses other than those uses explicitly permitted above.

(c) *Airport Influence Zone*. All uses permitted within the underlying zoning depicted on the official zoning map of the City of Rockwall, with the following additional uses and exceptions:

(1) *Specific Use Permits (SUP)*.

(a) Residential Airpark or Aviation Homes

(b) Driving Test Track

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(2) *Prohibited Uses*.

(a) Residential Uses (*e.g. Single Family, Multi Family, etc.*)

(b) Educational Centers (*including all types of Primary and Secondary Schools, Pre-Schools, and Child Care Facilities*)

(c) Hospitals, Medical Inpatient Treatment Facilities, Nursing Homes and/or Convalescent Home Facilities

(d) Places of Worship

(e) Places of Public Assembly (*Not Previously Listed*)

(f) Fuel Handling and Storage Facilities (*Does Not Include Gas Station*)

(d) *Height Restriction Zone*. Properties within the *Height Restriction Zone*, outside of the Airport Overlay (AP OV District), are subject to the use requirements stipulated by the underlying zoning depicted on the official zoning map of the City of Rockwall (*see Figure 29: Airport Overlay District Boundaries*).

(4) *Additional Use Restrictions*.

(a) Notwithstanding any other provision of this ordinance, no use may be made of land within any zone established by this ordinance in such a manner as to (*1*) create electrical interference with radio communication between the Airport and aircraft, (*2*) make it difficult for flyers to distinguish between airport lights and others, (*3*) result in glare in the eyes of flyers using the Airport, (*4*) impair visibility in the vicinity of the Airport or otherwise endanger the landing, taking-off, or maneuvering of aircraft.

(5) *Legal Non-Conforming Land Uses*.

(a) *Regulations Not Retroactive*. The regulations prescribed by this ordinance shall not be construed to require the removal, lowering, changes and/or alteration of any structure (*e.g. building*) or object of natural growth (*e.g. tree*) not conforming to the regulations as of the effective date of this ordinance, or otherwise interfere with the continuance of any legal non-conforming use. Nothing herein contained shall require any change in the construction, alteration, or intended use of any structure or property, for which the construction or alteration of said structure or property was commenced prior to the effective date of this ordinance.

(b) *Hazard Marking and Lighting*. Notwithstanding the preceding provision of this section, the owner of any non-conforming structure or tree is hereby required to permit the installation, operation, and maintenance thereon of such markers and lights as shall be deemed necessary by the City Manager or his designee to indicate to the operators of aircraft in the vicinity of the Airport, the presence of such airport hazards. Markers and lighting necessary for existing non-conforming structures or trees shall be operated and maintained at the expense of the property owner. Markers and lighting necessary for future non-conforming structures or trees, approved per the requirements of this ordinance, shall be installed, operated, and maintained at the expense of the property owner.

(K) *Development Standards.*

(1) *Architectural Standards*.

(a) All buildings within the *Municipal Airport Zone* shall be designed by a licensed, professional architect and all drawings submitted for approval and/or permits shall bear the architect's seal of the State of Texas.

(b) All buildings intended for airport related use such as hangars, maintenance facilities, offices and facilities for airport management, terminal buildings and other similar types of uses with exterior walls visible from a public right-of-way shall consist of 90% masonry materials, excluding doors and windows as defined in Article 13, *Definitions*, of the Unified Development Code (UDC) [*i.e. "Masonry"*]. Building exterior walls not visible from the public rights-of-way may be earth-tone colored, pre-finished aluminum, steel or masonry. Materials that are unfinished are prohibited.

[All other buildings not related to airport uses within the Airport Overlay (AP OV) District shall conform to building materials requirements as stipulated within the Unified Development Code (UDC).]

In addition, all buildings intended for airport related uses shall adhere to the following standards:

(1) A *Material Sample Board* indicating all exterior materials and colors must be submitted to the Planning and Zoning Commission, upon a recommendation by the Architecture Review Board (ARB), for approval prior to the commencement of construction. All sides of the exterior building shall be architecturally integrated and similar in nature with respect to the design and aesthetic.

(2) All roofs shall be metal. If galvanized metal is being proposed, it shall be limited to a roofing material only.

(3) Building glazing or reflectors shall not be incorporated into a building if it will cause a glare or reflection that could interfere with airport operations or ground circulation.

(4) All windows or large glass elements shall be oriented and/or treated to avoid reflections that could cause a distraction to air traffic that is landing or taking off.

(5) All new construction shall be of a high quality and utilize materials and finishes that will maintain their appearance with relatively low maintenance.

(6) All steel used for roofing or siding shall be a minimum of 28-gauge steel, with a factory finish in a color that has been approved by the Planning and Zoning Commission, and which has been warranted by the

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manufacturer for a minimum of 20 years with regards to the durability and color fastness.

(7) All floors must be constructed of a minimum of four (4) inches thick concrete and reinforced with steel to a standard approved by the Engineering and Building Inspections Departments.

(8) All hangars facing a taxiway (*i.e. a path connecting runways with ramps, hangars, terminals, etc.*) shall have a hangar door that has a minimum opening of 55-feet in width by 16-feet in height (*i.e. 55' [w] x 16' [h]*). Buildings facing a taxilane (*i.e. a path connecting the taxiways to aircraft parking positions*) shall have a hangar door that has a minimum opening of 41-feet, 6-inches in width by 12-feet in height (*i.e. 41'-6" [w] x 12' [h]*). Approved swing out, overhead or sliding doors may also be used. All pedestrian doors must be of a pre-finished metal construction positioned in metal doorjambs. No wood doorjambs will be permitted on exterior doors.

(9) Mechanical equipment shall be screened so as not to be visible from the public and private rights-of-way. All screens, whether situated on the ground or on the building, shall be constructed to be aesthetically integrated into the design of the building. The rooftops of all buildings shall be free of any mechanical equipment unless completely screened from all points of view along all public rights-of-way by an architectural parapet. All screening materials shall be compatible with the material used on the building.

(2) *Landscaping*.

(a) The requirements contained within Article 05, *District Development Standards*, and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), whichever would be applicable to the subject property independent of the AP OV District, shall apply to a property located within the overlay (*i.e. the landscaping percentage of the underlying zoning district would apply*); however, landscaping plans in the AP OV District should be designed with the consideration of aircraft movement and should not be designed using trees and/or plants that have the propensity to attract hazardous wildlife. In cases where aircraft requirements would conflict with certain landscaping elements, the Planning and Zoning Commission may approve requirements that deviate from those stipulated by the Unified Development Code (UDC) if, in its opinion, such alternate requirements provide for a safer and more efficient use of the property. In addition, the Planning and Zoning Commission may request that a qualified Airport Wildlife Biologist review landscaping plans in sensitive areas and provide recommendations for planting placement and alternatives.

(3) *Variances*. The City Council may, upon request from the applicant, grant a variance to the any of the provisions contained within Section K.6, *Architectural Standards*, and Section K.7, *Landscaping*, of this ordinance where unique or extraordinary conditions exist or where strict adherence to the provisions of this ordinance would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter (¾) majority vote of the City Council members present with a minimum of four (4) affirmative votes.

(L) *Administrative Procedures and Permits.*

(1) *Notice of Proposed Construction or Alteration (i.e. FAA Form 7460-1)*. Any tree or structure (*new or alteration of an existing structure*) proposed within the AP OV District or 20,000-feet of the runway shall require an applicant to file a *Notice of Proposed Construction or Alteration* form (*i.e. FAA Form 7460-1*) with the Federal Aviation Administration (FAA) to determine if the tree or structure creates a hazard to air navigation or will result in an inefficient use of airspace.

(2) *Future Use*. Except as specifically provided herein, no change shall be made in the use of land and no structure or tree shall be erected, altered, planted or otherwise established in any zone hereby created unless a permit therefore shall have been applied for and granted. Each application for a permit shall indicate the purpose for which the permit is desired, with sufficient particularity to permit it to be determined whether the resulting use, structure or tree would conform to the regulations herein prescribed. If such determination is in the affirmative, the permit shall be granted.

(a) In the area lying within the limits of the *Horizontal Zone* and *Conical Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limits prescribed for such zone.

(b) In the areas lying within the limits of the *Approach Zones* but at the horizontal distance of not less than 4,000-feet from each end of the runways, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limit prescribed for the *Approach Zone*.

(c) In the areas lying within the limits of the *Transitional Zones* ending at the perimeter of the *Horizontal Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when such tree or structure because of terrain, land-contour or topographic features would extend above the height limit prescribed for such *Transitional Zones*.

(3) *Exceptions/Variances/Non-Conforming Uses*. Nothing contained in any of the foregoing exceptions shall be construed as permitting or intending to permit any construction, alteration or growth of any structure or tree in excess of any of the height

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limits established by this Ordinance except as set forth in Section H, *Height Limitations*.

(a) *Existing Uses*. No permit shall be granted that would allow the establishment or creation of an airport hazard or permit a non-conforming use, structure, or tree to be made or become higher, or become a greater hazard to air navigation, than it was on the effective date of this Ordinance or any amendments thereto or than it is when the application for a permit is made. Except as indicated, all applications for such a permit shall be granted.

(b) *Non-Conforming Uses Abandoned or Destroyed*. Whenever the Board of Adjustment (BOA) determines that a non-conforming structure or use has been abandoned for a period of six (6) months, or more than eighty (80%) percent of a non-conforming structure or tree has been torn down, physically deteriorated, or decayed, no permit shall be granted that would allow such structure or tree to exceed the applicable height limit or otherwise deviate from the zoning regulations.

(c) *Variances*. Any person desiring to erect or increase the height of any structure, or permit the growth of any tree, or use of their property, not in accordance with the regulations prescribed in this ordinance, may apply to the Board of Adjustment (BOA) for a variance from such regulations. Such variances shall be allowed where it is duly found that a literal application or enforcement of the regulation would result in practical difficulty or unnecessary hardship and the relief granted would not be contrary to the public interest but will do substantial justice to be in accordance with the spirit and intent of this Ordinance.

(d) *Hazard Marking and Lighting*. Any permit or variance granted may, if such action is deemed advisable to effectuate the purpose of this Ordinance and be reasonable in the circumstances, be so conditioned as to require the owner of the structure or tree in question to permit the owners at their own expense, to install, operate, and maintain thereon such markers and lights as may be necessary to indicate to flyers the presence of an airport hazard.

(M) *Enforcement*. It shall be the duty of the City Manager or his designee to administer and enforce the regulations prescribed herein. Application of permits shall be made to the City Manager or his designee upon a form published for that purpose. Applications required by this ordinance to be submitted to the City Manager or his designee shall be promptly considered and granted or denied. Applications for variances shall be made to the Board of Adjustment (BOA) by first filing said application for variance with the City Manager or his designee who shall forthwith transmit said application to the Board of Adjustment for determination.

~~(A)~~(N) *Appeals*. Requests for appeals to administrative decisions by the City Manager or his designee concerning the enforcement of this ordinance shall be directed to the Board of Adjustment (BOA) in compliance with Section 04, Board of Adjustments, of Article 02, Authority and Administrative Procedures, of the Unified Development Code (UDC).

Continued on Next Page ...

DRAFT ORDINANCE 05.15.2022

FIGURE 29: AIRPORT OVERLAY (AP OV) DISTRICT BOUNDARIES

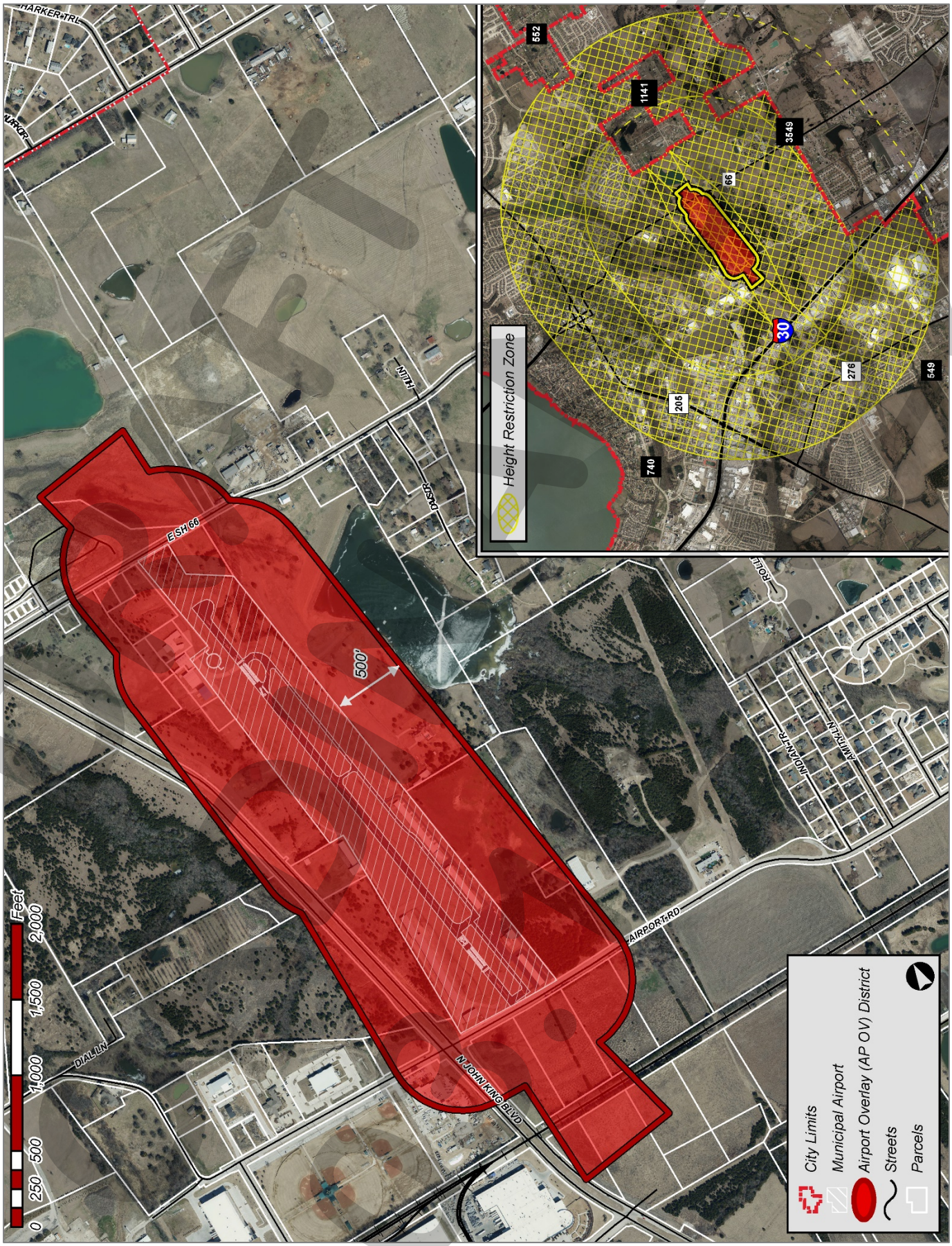


FIGURE 30: DEVELOPMENT ZONES WITHIN THE AIRPORT OVERLAY (AP OV) DISTRICT

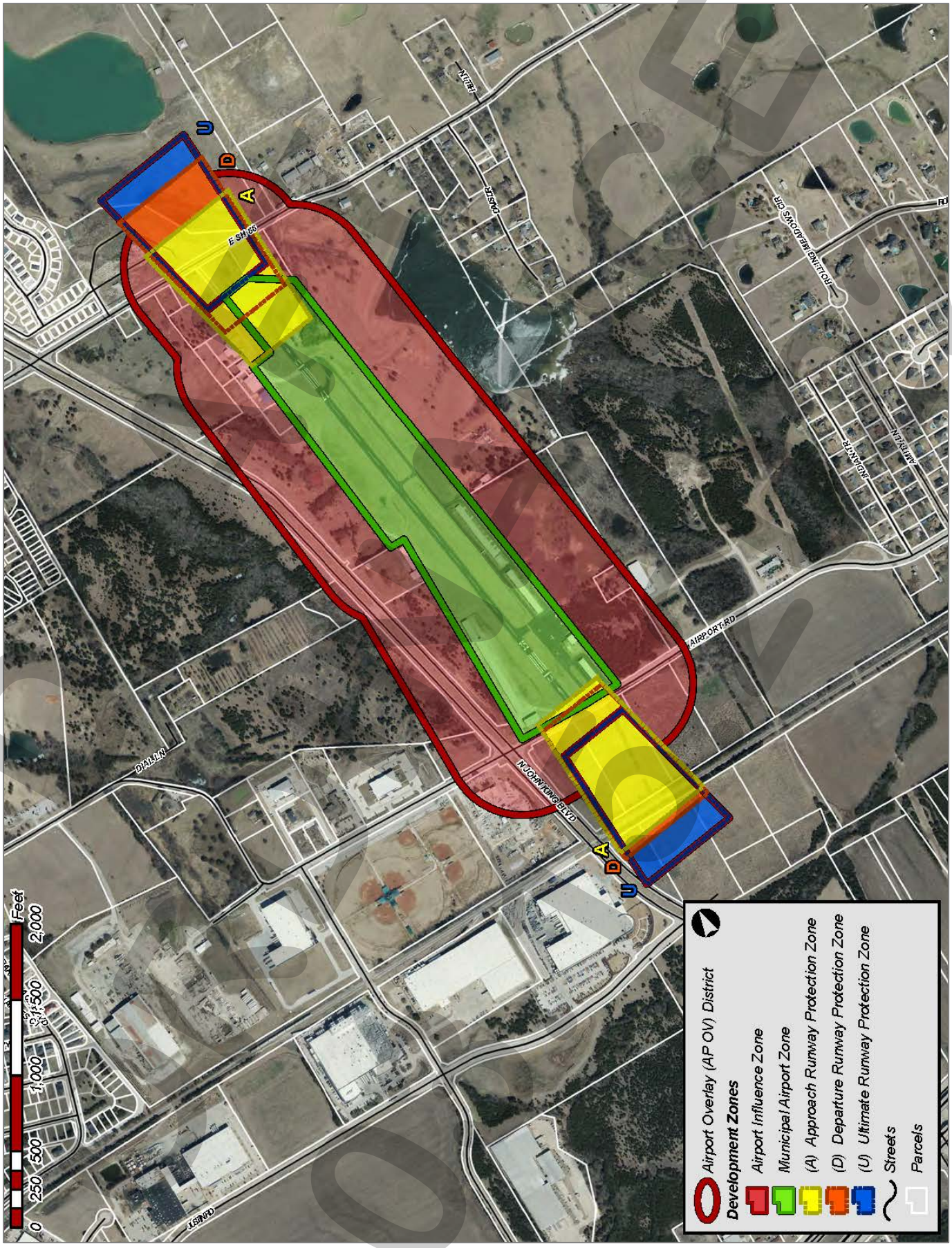


FIGURE 31: AIRSPACE ZONE BOUNDARIES

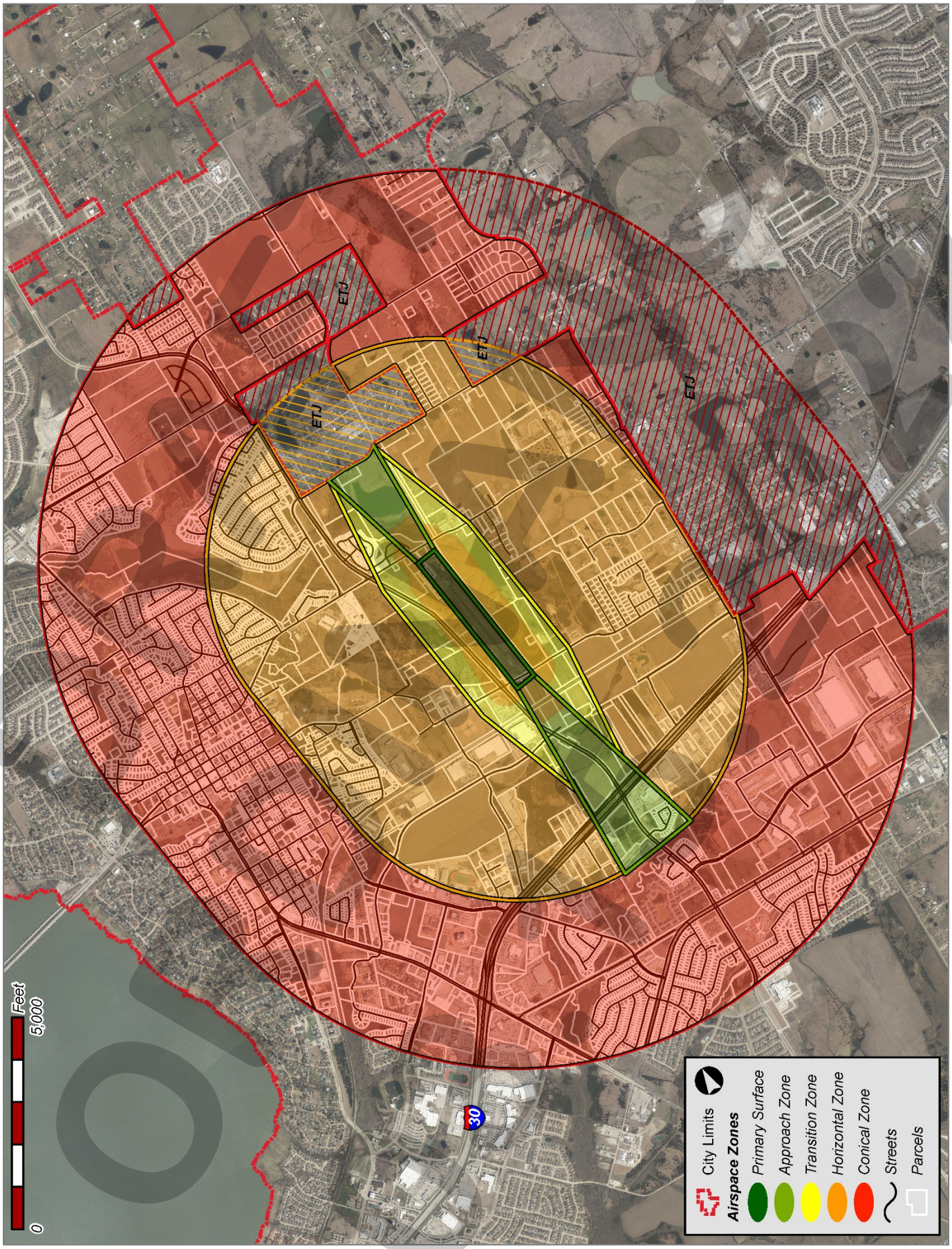


FIGURE ~~26~~32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP

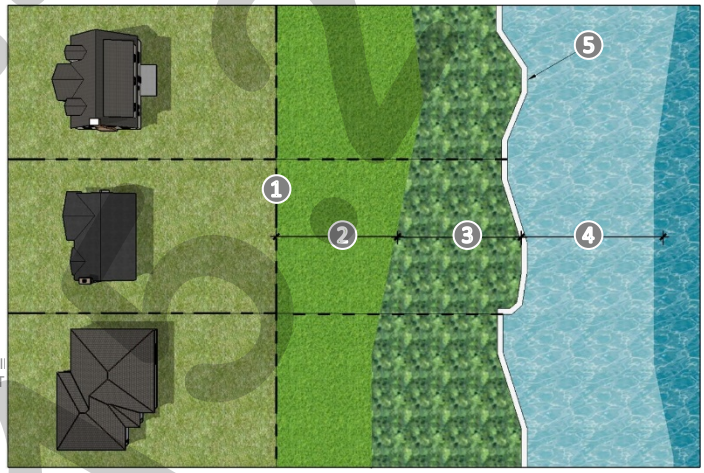
~~RED~~: NON-LEASEABLE PROPERTY
~~GREEN~~: LEASABLE PROPERTY

SUBSECTION 06.~~15~~16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

(A) *Purpose*. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (*i.e. Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.

(B) *Boundaries*. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (*i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-feet sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE ~~27~~33: ELEVATION CONTOUR ZONES



(C) *Applicability*.

(1) *Applicable Lots*. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map above*.

DRAFT ORDINANCE 03-19

(2) *Exceptions for Lots Not Meeting the Applicability Standards*. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(C)(1) above.

(D) *Definitions*. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), *Specifications for Permitted Land Uses*. In addition, the following terms shall be defined as follows:

(1) *Catwalk*. The narrow walkway of a dock providing people access to moored watercraft.

(2) *Centerline*. An established line that is equidistant from the surface or sides of something (*e.g. parcel boundaries*).

(3) *Cleat*. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

(4) *Dredging*. The process of deepening a waterway for the sale and efficient movement of watercraft by the removal of dirt either by digging or by suction.

(5) *Habitable Structure*. A structure fit for human habitation usually containing amenities (*e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall *not* be habitable structures and may not contain such amenities.

(6) *Lake*. Refers to Lake Ray Hubbard.

(7) *Lake Area*. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).

(8) *Leased Area*. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.

(9) *Lift*. A temporary means of elevating a watercraft out of the water by use of a hoist.

(10) *Locker Box*. A secured chest fixed onto a dock used for storage of watercraft equipment.

(11) *Moor*. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.

(12) *Mooring*. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.

(13) *Power Source Station*. Used as a power supply for lighting a dock just below watercraft level.

(14) *Shoreline*. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(15) *Slip*. A watercraft's berth between two (2) piers or between finger piers.

(16) *Take or Takeline Area*. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(17) *Treated Wood*. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) *View Clear Zone*. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) *View Corridor*. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (*see Figure 28: Visual Measurements for View Corridors of Subsection (E)*).

(20) *View Preservation Angle*. The angle determined as the line extending from the center point -- *or 30-foot point depending on lot size* -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (*see Figure 28: Visual Measurements for View Corridors*).

(21) *Watercraft (or Boat)*. A craft for water transport. Examples of watercrafts are as follows:

(a) *Motorized Boat*. A boat propelled by an internal combustion engine.

(b) *Sail Boat*. A boat with a mast and sail propelled by the wind.

(E) *Visual Measurements for View Corridors*.

(1) *View Corridors*. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:

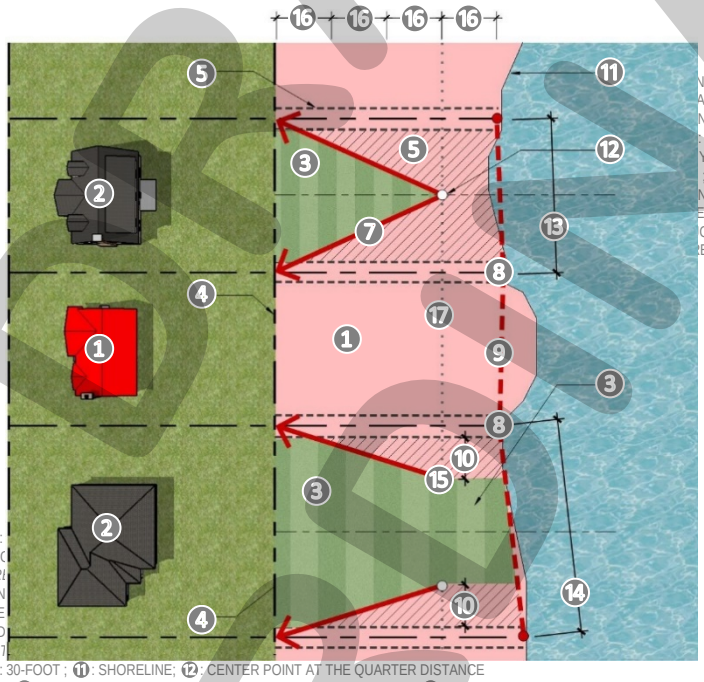
(a) *Lots That Have Less Than 100-Feet of Shoreline Frontage*. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline

DRAFT ORDINANCE 03.16.2026

area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

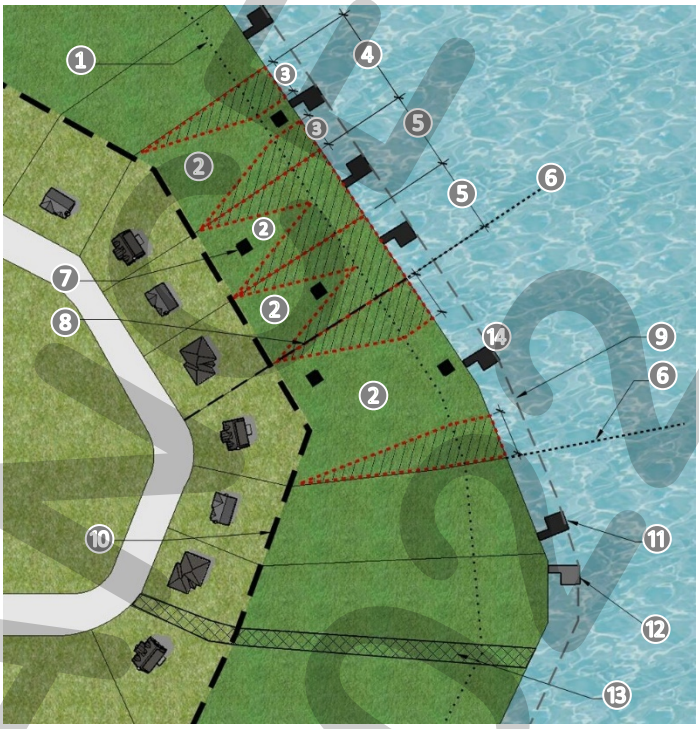
(b) *Lots That Have More 100-Feet or More Shoreline Frontage*. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

FIGURE ~~28~~34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



❶: NEIG… (*GRI… ZON… PRE… AND… (EST…* ❿: 30-FOOT ; ⓫: SHORELINE; ⓬: CENTER POINT AT THE QUARTER DISTANCE LINE; ⓭: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⓮: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⓯: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⓰: 25% OF THE TAKELINE AREA; ⓱: QUARTER DISTANCE LINE.

FIGURE ~~29~~35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



…NE; ❷: BUILDABLE AREA; ❸: 30-FEET; ❹: A LOT …AGE LINE 100-FEET OR MORE; ❺: A LOT WITH A …NE LESS THAN 100-FEET; ❻: LEASE AREA'S …STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; …YARD; ❾: 40-FOOT BUILDING LINE; ❿: REAR …; ⓫: EXISTING BOATHOUSE; ⓬: BOATHOUSE …NISTRATIVELY BECAUSE OF DRAINAGE EASEMENT …EXISTING BOATHOUSE; ⓭: DRAINAGE EASEMENT; …CTURE IN THE 435.5 ELEVATION ZONE GENERALLY …EA BEHIND THE PRIMARY STRUCTURE.

(F) *General Requirements*. The following general requirements shall apply for all property in the takeline area.

(1) *Number of Permitted Structures*. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Two (2) structures shall be permitted in the *438.0 Elevation Zone*.

(b) *435.5 Elevation Zone*. One (1) structure shall be permitted in the *435.5 Elevation Zone*.

(2) *General Location of Permitted Structures*. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone

DRAFT 01.15.2024 03.19.2024

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, *Planner*
DATE:	March 15, 2022
SUBJECT:	MIS2022-004; *Variance for a Front Yard Fence for 54 Shadydale Lane*

The applicant, James Best, is requesting the approval of a variance for a front yard fence. The subject property is located on a 2.60-acre parcel of land (*i.e. Lot 1, Block A, Best Estate Addition*) addressed as 54 Shadydale Lane. The proposed elevations indicate that the front yard fence will be: [*1*] constructed using Concrete Masonry Units (CMU) finished with stucco; [*2*] will be 70-feet long, 42-inches tall, and 18-inches wide; and [*3*] will be opaque.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as "(a)ny *wall* or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states, "(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission…" This section goes on to lay out some guidelines for the Planning and Zoning Commission's consideration when reviewing exceptions: [*1*] the fence is 50% transparent, [*2*] the fence does not exceed four (4) feet in height, and [*3*] opaque fences should be prohibited. In this case, the fence does not meet the requirements for a front yard fence. Specifically, the fence is opaque. Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence *does not* appear to be intended to enclose or impair visibility of the primary structure. It does appear to be only decorative in nature; however, front yard fences are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *March 15, 2022*.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER:	MIS2022-004	CASE MANAGER:	Henry Lee
PROJECT NAME:	Special Exception for a Front Yard Fence at 54 Shadydale Lane	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	54 SHADYDALE LN, ROCKWALL, 75032	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by James Best for the approval of a Miscellaneous Case for a Special Exception to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/25/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for a Special Exception to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (MIS2022-004) in the lower right-hand corner of all pages on future submittals.

I.4 Subsection 08.03 (D)(2), Fences in the Front Yard, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

Fences in the Front Yard. No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3). For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

(a) Wood Fences. Wood fences that are 50% transparent (e.g. as depicted in Figure 14) shall not exceed 42-inches in height.
(b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences that are 50% transparent (e.g. as depicted in Figure 14) shall not exceed 48-inches in height.
(c) Opaque Fences. Opaque fences are prohibited in the front yard of residential properties.

I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.”

I.6 In this case the applicant is requesting a 42-inch opaque “decorative wall”, which according to the definition above is a 42-inch opaque front yard fence.

I.7 Please note the scheduled meeting for this case:
1) Planning & Zoning Work Session meeting will be held on February 28, 2022 at 6pm in the council chambers at City Hall.
2) Planning & Zoning Public Hearing meeting will be held on March 15, 2022 at 6pm in the council chambers at City Hall.

I.8 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City’s Council Chambers, and are scheduled to begin at 6:00 p.m.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. MIS2022-004

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	54 Shadydale Lane				
SUBDIVISION	Best Estate Addition	LOT	1	BLOCK	A
GENERAL LOCATION	Ridge Road at Shadydale				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING		CURRENT USE			
PROPOSED ZONING		PROPOSED USE			
ACREAGE		LOTS [CURRENT]		LOTS [PROPOSED]	

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	James Best	☒ APPLICANT	James Best
CONTACT PERSON	James Best	CONTACT PERSON	James Best
ADDRESS	54 Shadydale	ADDRESS	54 Shadydale
CITY, STATE & ZIP	Rockwall, Tx 75032	CITY, STATE & ZIP	Rockwall, Tx 75032
PHONE	214-927-8331	PHONE	214-927-8331
E-MAIL	sharkmanjame@yahoo.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Best [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.- *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 2nd *DAY OF* February *, 20*22*. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 2nd *DAY OF* February *, 20*22*.*

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [signature]

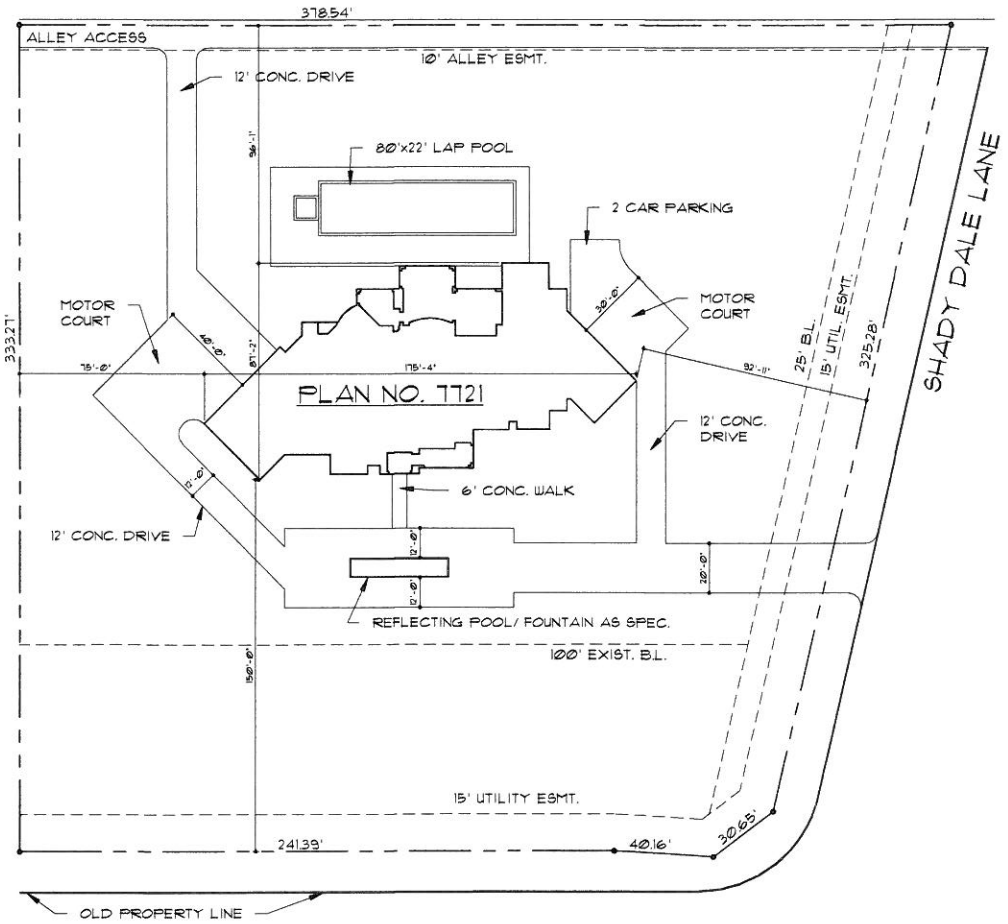
OLIVIA TOBIAS
My Notary ID # 125462729
Expires October 14, 2025

MY COMMISSION EXPIRES 10/14/25

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



3189 SOUTH RIDGE ROAD

PLOT PLAN

SCALE: 1" =20'-0"

LOT #1, BLK. "A"

BEST ESTATE ADDITION

ROCKWALL, TEXAS

PLAN NO. 7721

REVISIONS | BY

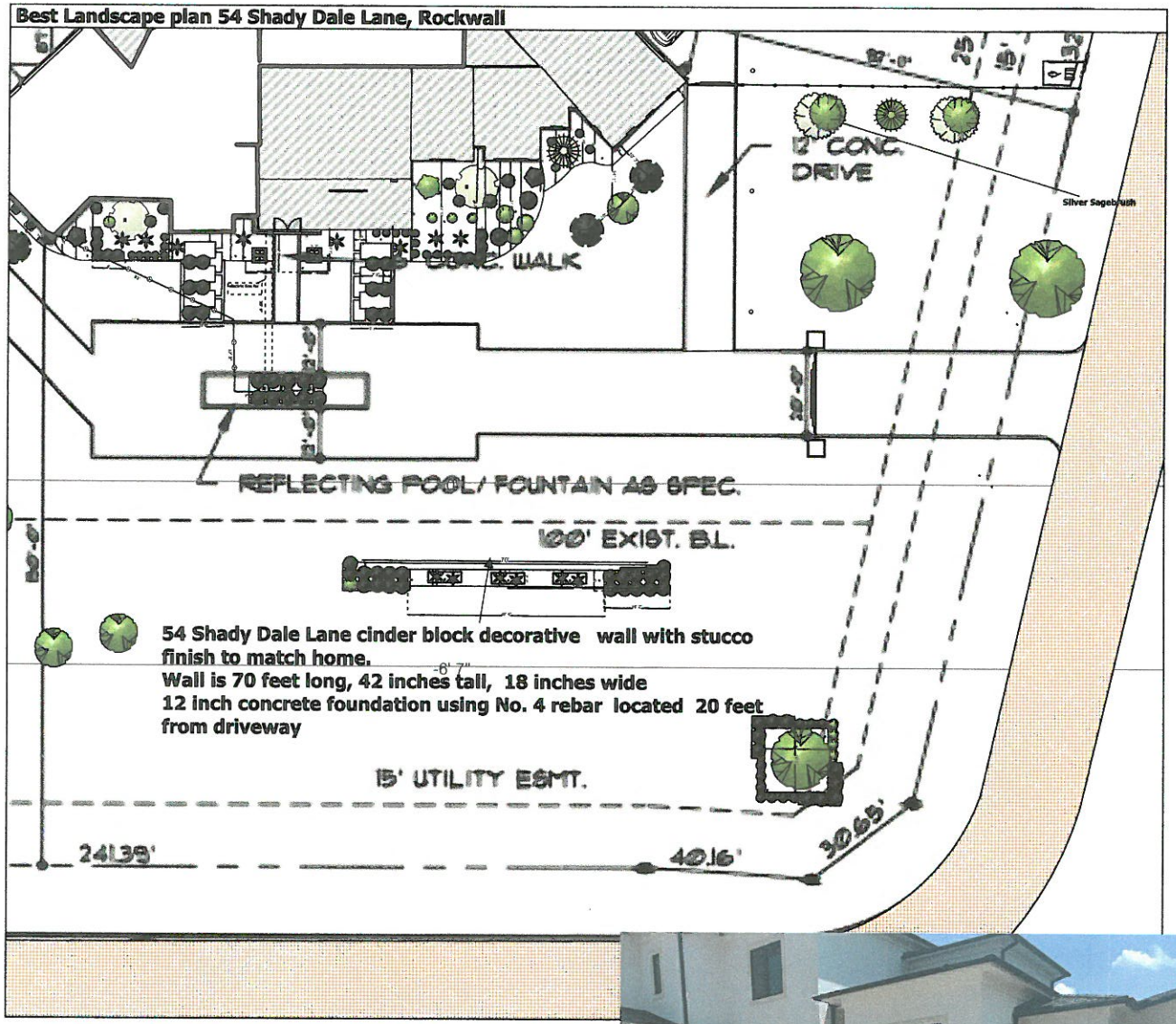
BEST RESIDENCE

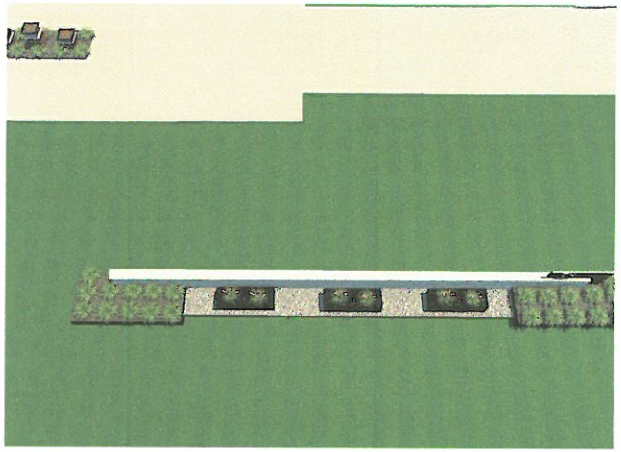
3189 SOUTH RIDGE RD. ROCKWALL, TX. 75032
LOT #1, BLK "A" BEST ESTATE ADDITION

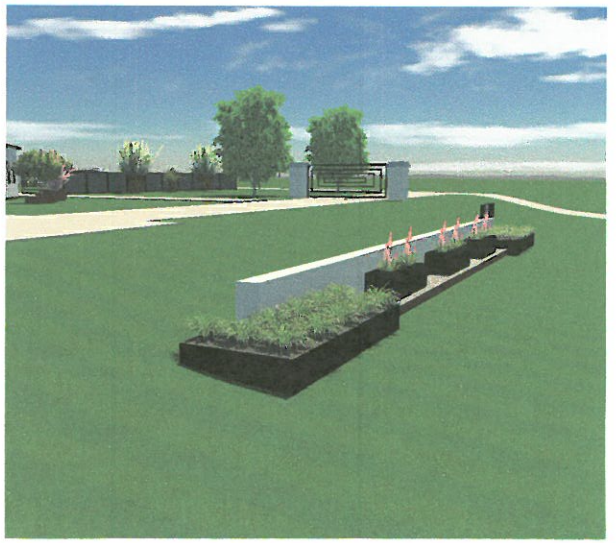
LK8 DESIGNS
#176 Jeb Springs Blvd
#153 Lavon, Texas 75032
972-390-4525

Date 5-21-19
Scale
Drawn BEK
Job
Sheet PLOT
OF 6 Sheets

Best Landscape plan 54 Shady Dale Lane, Rockwall

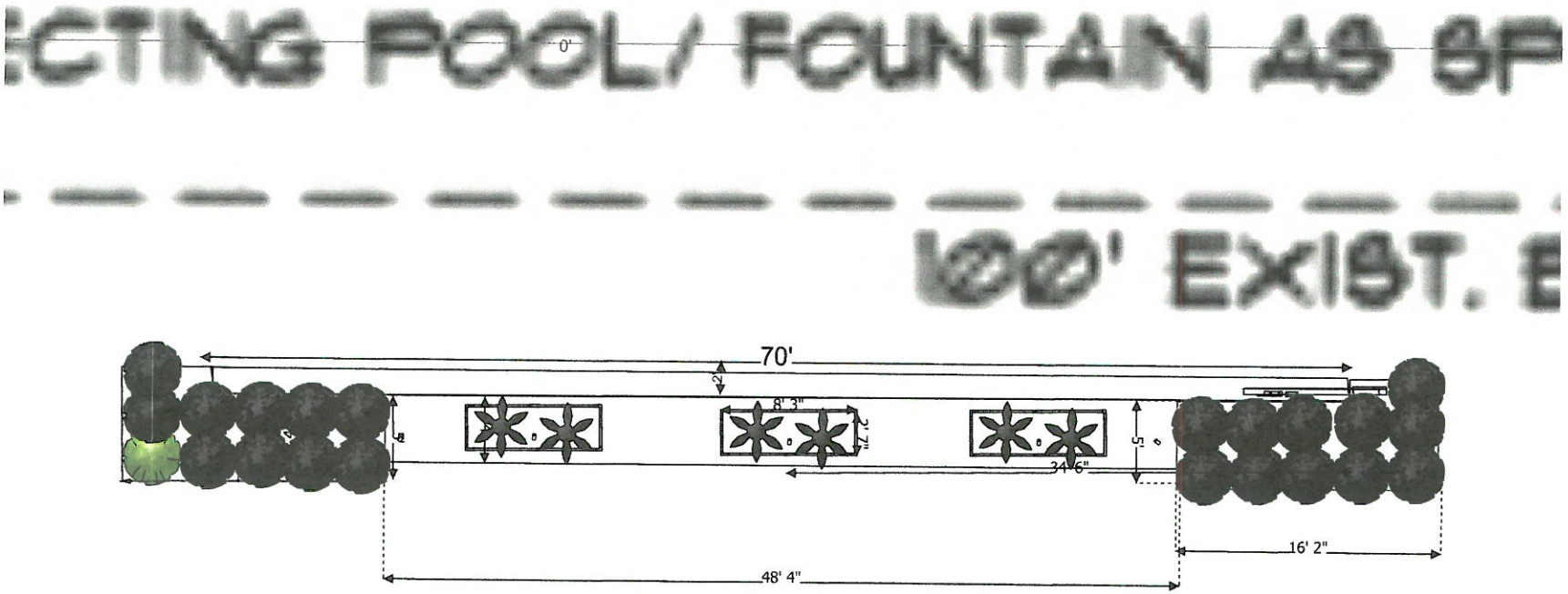




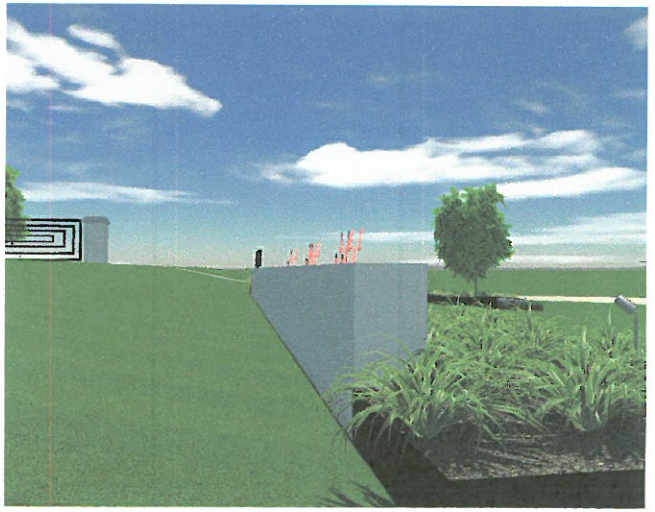


Earth Art
Landscape Design

Best decorative wall 54 Shady Dale Lane, Rockwall, Texas



Scale: 1/8" = 1 ft



Earth Art
Landscape Design

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Jeff Carroll; *Carroll Architects*
CASE NUMBER:	SP2022-004; *Site Plan for Lefere Office Building*

SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Associates, on behalf of Kevin Lefere of Airport Road, LLC. for the approval of a *Site Plan* for a *Medical Office Building* on a 0.47-acre parcel of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District land use, addressed as 1501 Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on April 28, 1986 by *Ordinance No. 86-30* [*Case No. A1986-004*]. On July 2, 2012, The City Council approved rezoning the subject property from an Agriculture District (AG) to a Commercial District (C) through *Ordinance No. 12-14* [*Case No. Z2012-007*]. On June 5, 2017, the City Council approved a final plat [*Case No. P2017-026*] establishing the subject property as a portion of Lot 1, Block A, Landing Point Addition. A replat [*Case No. P2020-012*] of the subject property was approved by the City Council on April 20, 2020 creating the present-day boundaries of the subject property. The subject property has been vacant since annexation.

PURPOSE

On February 18, 2022, the applicant -- *Jeff Carroll of Carroll Architects* -- submitted an application requesting the approval of a site plan for the purpose of constructing a 7,766 SF office building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Industrial Boulevard and Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.36-acre parcel of land (*i.e. Lot 6, Block A, Landing Point Addition*) zoned Commercial (C) District and developed with a *Medical Office Building* (*i.e. T3 Chiropractic*). Beyond this is a 2.57-acre parcel of land (*i.e. Lot 7, Block A, Landing Point Addition*) zoned Commercial (C) District that is developed with a 12,402 SF commercial building (*i.e. Jungle Trek).* North of this is a 31.393-acre parcel of land (*i.e. Tract 3, of the N. Butler Survey, Abstract No. 20*) zoned Agriculture (AG) District.

South: Directly south of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 28.24-acre public park (*i.e. Leon Tuttle Athletic Complex*) zoned Light Industrial (LI) District. South of this is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad.*

East: Directly east of the subject property is a 0.47-acre parcel of land (*i.e. Lot 5, Block A, Landing Point Addition*) zoned Commercial (C) District and developed with an *Office Building (i.e. Lawson and Co. CPAs)*. Beyond this is a three (3) acre parcel of land (*i.e. Lot 4, Block A, Columbia Park Addition*) zoned Commercial (C) District, and developed with a *Medical Office Building (i.e. Lakes Regional Mental Health)*. Beyond that is a six (6) acre parcel of land developed with a *House of Worship* (*i.e. Cornerstone Church*) zoned Commercial (C) District. Beyond that is a

1.803-acre vacant tract of land (*i.e. Tract 4-06 of the N. Butler Survey, Abstract No. 20*) zoned Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.945-acre parcel of land (*i.e. Tract 4-4 of the N. Butler Survey, Abstract No. 20*) zoned Agricultural (AG) District and that is currently vacant. Beyond this is S. Washington Street, which is designated as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 7.497-acre vacant tract of land (*i.e. Tract 68 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building, 5000 SF or Greater* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*10,000 SF*	*X=7,766 square feet; In Conformance*
Minimum Lot frontage	*60-Feet*	*X= 58-Feet; In Conformance*
Minimum Lot Depth	*100-Feet*	*X>100-Feet; In Conformance*
Minimum Front Yard Setback	*15-Feet*	*X>15-Feet; In Conformance*
Minimum Rear Yard Setback	*10-Feet*	*X>10-Feet; In Conformance*
Minimum Side Yard Setback	*10-Feet*	*X>10-Feet; In Conformance*
Maximum Building Height	*60-Feet*	*X=30-Feet; In Conformance*
Max Building/Lot Coverage	*60%*	*X=37.6%; In Conformance*
Minimum Number of Parking Spaces	*1 Parking Space/200 SF (38 Required)*	*X=20; Requires Waiver[1]*
Minimum Landscaping Percentage	*20%*	*X=33%; In Conformance*
Maximum Impervious Coverage	*90%*	*C<90%; In Conformance*

Notes:

[1]: The applicant will provide a parking agreement at the time of final plat for the Landing Point Addition (*T3 Chiropractic, Jungle Trek, and Lefere Office*). Together, the complexes provide 114 parking spaces, which is a surplus of 14 spaces over the parking requirement for all combined land uses. According to Section 3.03C of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) "… when the required off-street parking spaces are provided collectively or used jointly by two (2) or more establishments, a written agreement which ensures the retention of such spaces for this purpose, and for a period of not less than two (2) years, shall be drawn and executed by the parties concerned, approved as to form by the City Attorney, and filed with the application for a building permit or Certificate of Occupancy (CO) if a change in use is involved."

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), *Office Building,* of Article 13, *Definitions*, of the Unified Development Code (UDC), an office building is defined as "(a) facility that provides executive, management, administrative, or professional services not specifically listed in Section 01, *Land Use Schedule, of Article 04, Permissible Uses*, but not involving the sale of merchandise except as incidental to a permitted use." In this case the applicant is requesting an *Office Building 5,000 SF or Greater*, which conforms to the *Office Building 5,000 SF or Greater* land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) *Building Articulation*.

(a) *Primary Building Facades*. According to Subsection 04.01(C)(1) of Article 05, *Development Standards*, of the Unified Development Code (UDC) primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In this case, the proposed building does incorporate vertical and horizontal projections on the southern, eastern, and western building façades, but these projections do not meet the standards established by the Unified Development Code (UDC).

(b) *Secondary Building Facades*. According to Subsection 04.01(C)(2) of Article 05, *Development Standards*, of the Unified Development Code (UDC) secondary facades require projections associated with architectural elements and wall lengths. Specifically, secondary architectural elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does incorporate vertical and horizontal projections on the northern building façade, but these projections do not meet the standards established by the Unified Development Code (UDC).

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "…an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures, the applicant has: [*1*] added an arcade above the secondary entryway adjacent to the right-of-way, [*2*] added four (4) accent trees, [3] added a berm, and [4] added additional shrubs. Requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Central District* and is designated for *Commercial/Retail* land uses. According to the plan, the *Central District* "…is composed of a wide range of land uses that vary from single-family to industrial." In addition, the plan states that *Commercial/Retail Center* are "…intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures". Based on this, the applicant's request appears to conform with the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on February 28, 2022, and made the following recommendations: [*1*] change the EFIS material to three-part stucco, [*2*] add an opaque storefront and an arcade over the entryway adjacent to Airport Road, and [*3*] bring a material sample board for the board to review on March 15, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an *Office Building* on the *subject property*, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

(2) Applicant will provide a photometric plan and lighting cut sheets before the engineering process.

(3) The subject property will be required to be replatted after the engineering process to establish the new easements.

(4) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Airport Rd				
SUBDIVISION	LANDING POINT ADDITION	LOT	4	BLOCK	A
GENERAL LOCATION	ON Airport Rd ACROSS from INDUSTRIAL BLVD.				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C - COMMERCIAL	CURRENT USE	N/A
PROPOSED ZONING	N/A	PROPOSED USE	OFFICE
ACREAGE	0.47 AC	LOTS [CURRENT]	LOTS [PROPOSED]

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Airport Road, LLC.	☒ APPLICANT	Carroll Architects
CONTACT PERSON	Kevin Lefere	CONTACT PERSON	JEFF CARROLL
ADDRESS	202 E USK ST	ADDRESS	750 E. Interstate 30 Suite 110
CITY, STATE & ZIP	Rockwall, Tx 75087	CITY, STATE & ZIP	ROCKWALL, TX 75087
PHONE	469.628.9106	PHONE	214.632.1762
E-MAIL	KLefere@ZANATAS.com	E-MAIL	JC@CarrollArch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Lefere [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF FEBRUARY, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

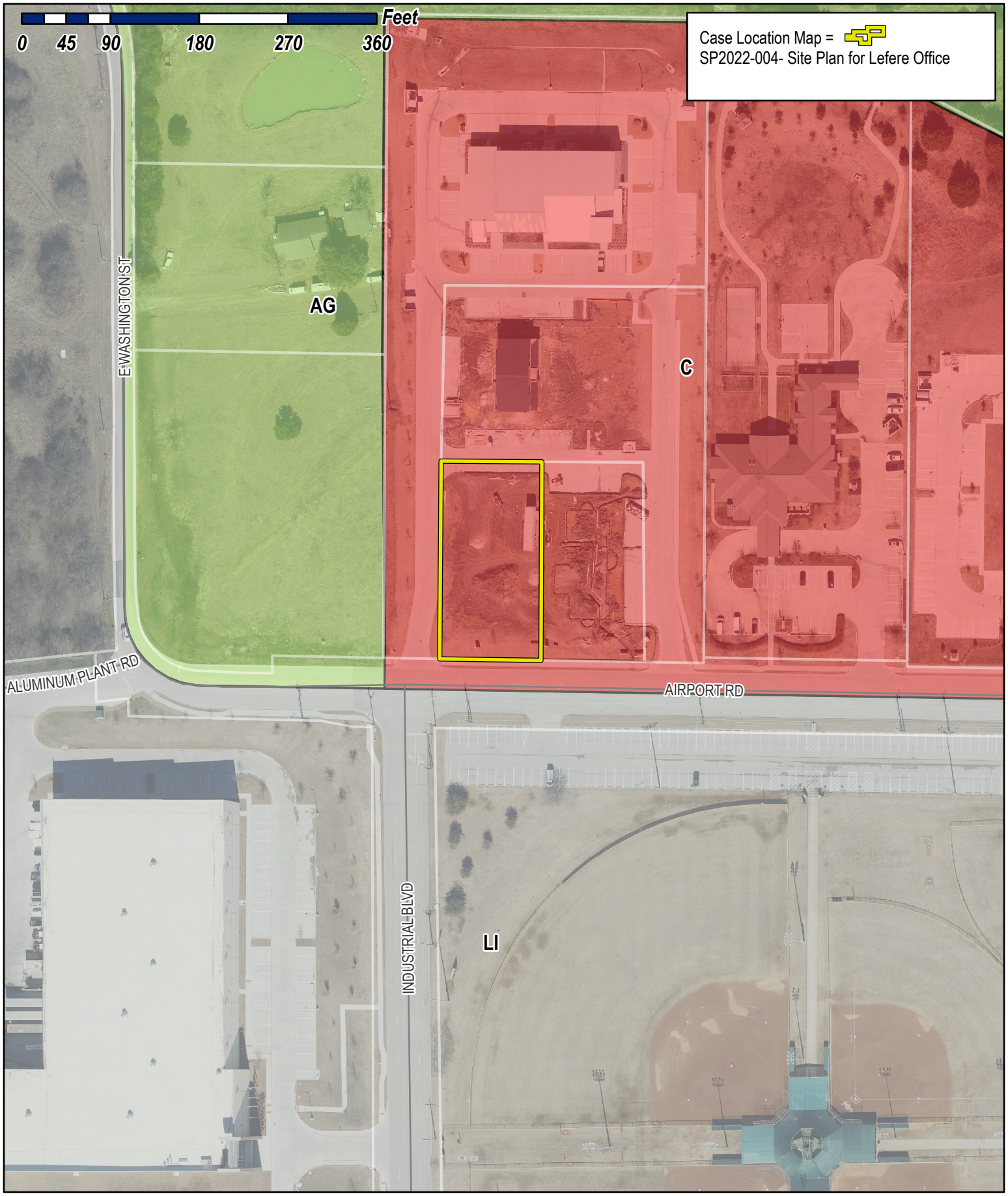
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 *DAY OF* FEBRUARY, 2022

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [signature]

MEGAN MURPHY
NOTARY PUBLIC STATE OF TEXAS
Notary Public, State of Texas
Comm. Expires 05-10-2024
Notary ID 130656823

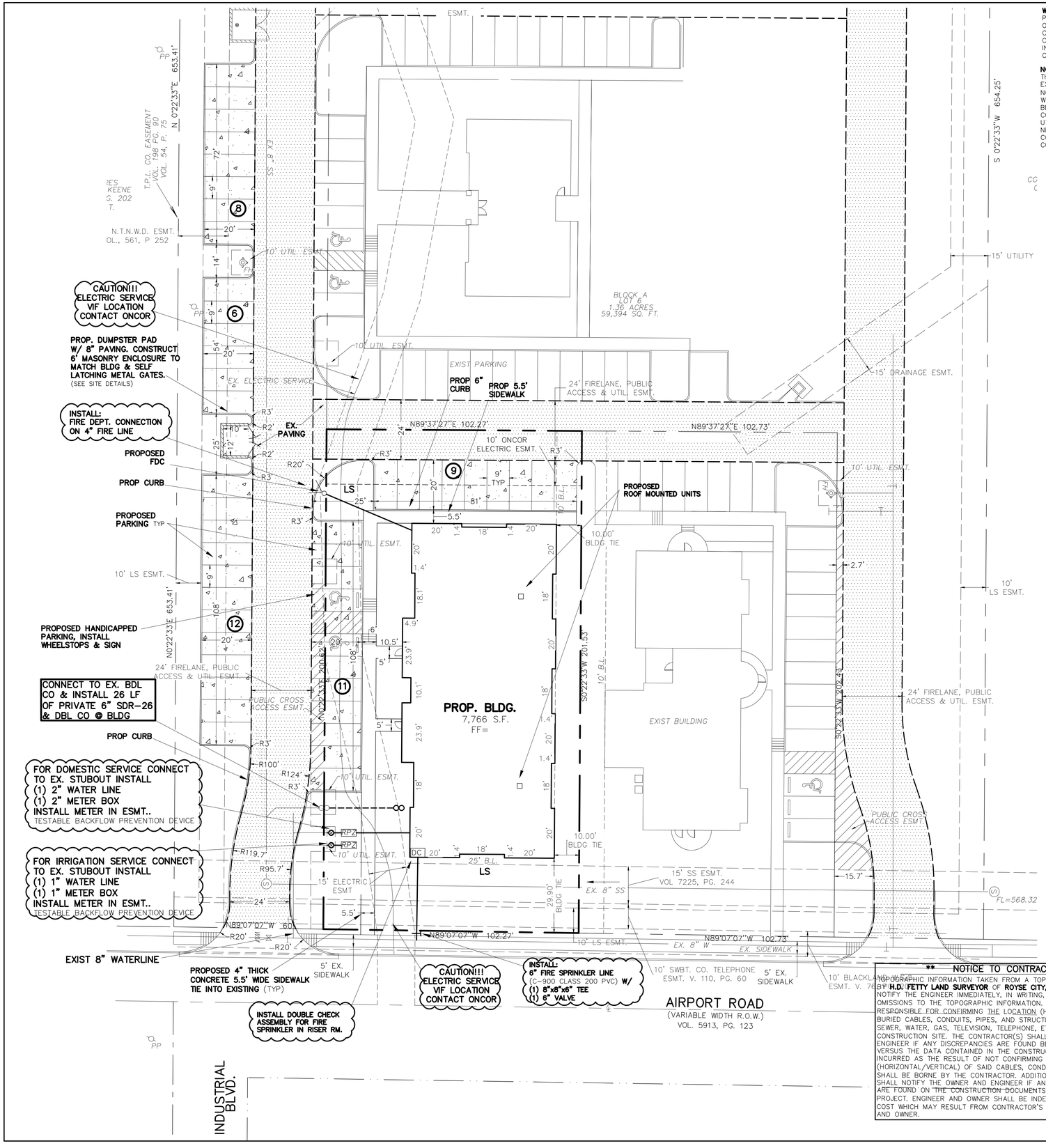
MY COMMISSION EXPIRES 5-10-2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

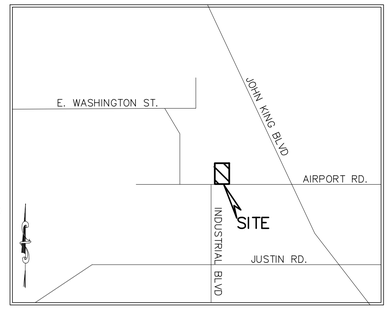
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

20 10 20
1" = 20'



VICINITY MAP
NOT TO SCALE

**JOINT USE PARKING CALCULATIONS

INDIVIDUAL

LAND USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE – ACCOUNTANT	4,980 S.F.	1/300	= 16.60
RETAIL – GYM	6,159 S.F.	1/250	= 24.63
MEDICAL – CHIRO	3,000 S.F.	1/150	= 20.00
MEDICAL – NEW	7,766 S.F.	1/150	= 51.77
TOTAL PARKING REQUIRED			= 113 SPACES

SHARED PARKING

TIME OF DAY	OFFICE		RETAIL		MEDICAL		TOTAL
6AM–12PM	.80X17	13.6	.50X25	12.5	.80X72	57.6	= 83.7
12PM–1PM	.50X17	8.5	.90X25	22.5	.90X72	64.8	= 95.8
1PM–4PM	.80X17	13.6	.90X25	22.5	.90X72	64.8	= 100.9
4PM–6PM	.80X17	13.6	.90X25	22.5	.90X72	64.8	= 100.9
6PM–8PM	.05X17	0.85	.90X25	22.5	.25X72	18.0	= 41.35
8PM–12AM	0X17	0	.50X25	12.5	0X72	0	= 12.5
TOTAL PARKING REQUIRED REDUCTION OF 11%							= 101 SPACES

NOTES:
1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:
1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
6) NO SAND UNDER PAVING.

SITE DATA:

LOT AREA:
0.47 Acres, 20,655 sq.ft.
LOT COVERAGE:
37.6%
FLOOR TO AREA RATIO:
2.66:1
BUILDING AREA:
Medical Office: 7,766 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
General Office
IMPERVIOUS AREA (including buildings):
13,803 sq.ft.
ZONING:
C
****JOINT PARKING:**
Required:
Medical (1/150sf) =52
Handicap =2
Provided:
Standard= 44
Handicapped =2
Total Provided = 46
LANDSCAPE AREA:
Required: (20%) 4,131 sq.ft.
Provided: 6,852 sq.ft.
FIRESPRINKLER:
Yes
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

LEGEND

	= PROPERTY LINE
EX. SS	= EXISTING SANITARY SEWER LINE
EX. W	= EXISTING WATER LINE
FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
S	= EXISTING SS MANHOLE
T	= EX. TELEPHONE BOX
EXIST. or EX.	= EXISTING
℄	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
	= EXIST FIRELANE
	= PROPOSED PAVING

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the_____day of_____,_____.

WITNESS OUR HANDS, this_____ day of _____, _____.

Planning & Zoning Commission,Chairman

Director of Planning and Zoning

** NOTICE TO CONTRACTORS **
THE TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **H.D. FETTY LAND SURVEYOR** OF **ROYSE CITY, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

Offsite BM:
City of Rockwall control monument RO16 located in the grass area between the parking lot and northwest corner of the City Services Center building.
Elev=558.72

Onsite BM:
X Cut on sidewalk along Airport Road at the SE corner of property.
Elev=577.17.

STATE OF TEXAS
GERALD E. MONK
44583
REGISTERED PROFESSIONAL ENGINEER
2-9-22

REVISIONS

PROJECT #: SP2022-004

SITE PLAN

LEFERE OFFICE

1501 AIRPORT ROAD
LANDING POINT ADDITION
Lot 4, Blk A, 0.47 ACRES
City of Rockwall, Rockwall County, Texas 75087

owner
Kevin Lefere
Contact: 469-628-9106

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2022-4 REG. NO.: F-2567

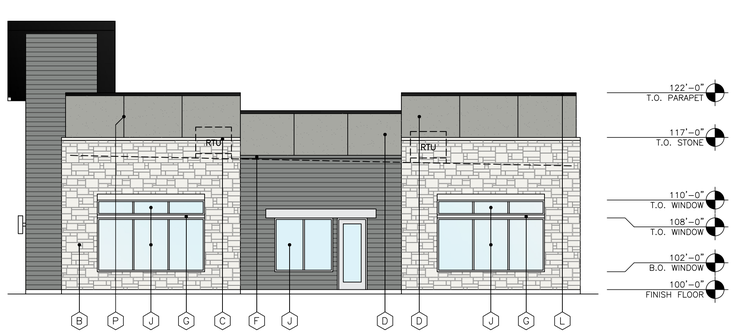
date:	scale:	sheet:
2/9/22	1"=20'	C101

4 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

STONE	=	944 S.F.	=	42%
STUCCO	=	621 S.F.	=	28%
HARDIE BOARD	=	658 S.F.	=	30%

3 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

STONE	=	472 S.F.	=	43%
STUCCO	=	266 S.F.	=	24%
HARDIE BOARD	=	361 S.F.	=	33%



2 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" - ADJ. PUBLIC R.O.W.

STONE	=	472 S.F.	=	43%
STUCCO	=	266 S.F.	=	24%
HARDIE BOARD	=	361 S.F.	=	33%

1 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

STONE	=	615 S.F.	=	27%
STUCCO	=	589 S.F.	=	26%
HARDIE BOARD	=	1,096 S.F.	=	47%

EXTERIOR FINISH SCHEDULE

- (A) HARDIE BOARD SIDING & TRIM, STYLE: SELECT CEDARMILL, PRIME, SIZE: 8.25", COLOR – GRAY SLATE
- (B) NATURAL STONE, ROUGH FACE, TUMBLED SQUARE EDGES COLOR – BLANCO – ASHLER PATTERN
- (C) PRECAST CONCRETE, COLOR TO MATCH STONE
- (D) STUCCO 3–PART SYSTEM W/ EIFS FINISH, TEXTURE – FINE, COLOR – SW 7066 GRAY MATTERS
- (E) STEEL AWNING, PAINT – SILVER
- (F) WOOD VENEER CAP, COLOR – GRAY SLATE
- (G) ALUMINUM AWNING, COLOR – ANODIZED ALUMINUM
- (H) STOREFRONT & DOORS, COLOR – ANODIZED ALUMINUM
- (J) EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR – 10% TINTED, GRAY
- (K) STANDING SEAM METAL, MFG – BERRIDGE; CEE – LOCK, COLOR – CHARCOAL
- (L) PREFINISHED METAL COPING, COLOR – BLACK
- (M) EXTERIOR HOLLOW METAL DOOR, PAINTED, COLOR – DARK GREY
- (N) PREFINISHED ROOF GUTTER & DOWNSPOUT SYSTEM COLOR – DARK GREY
- (P) STUCCO CONTROL JOINT/SCORE PATTERN
- (Q) DECORATIVE LIGHTING – EXTERIOR SCONCE. LIGHTING SELECTED BY OWNER

NOTE: ALL RTU'S ARE SCREENED BY PARAPET
NO VARIANCES/EXCEPTIONS ARE BEING REQUESTED

ISSUE:
CITY SUBMITTAL: 02-18-2022
CITY REVISION: 03-01-2022

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OFFICE @ AIRPORT ROAD
1501 Airport Road - Lot 4 Block A
Rockwall, Texas 75087

KEVIN LEFERE
AIRPORT ROAD, LLC.
Rockwall, TX 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
p: 972-732-6085
f: 972-732-8058

OFFICE @ AIRPORT ROAD

LEGAL DESCRIPTION AND OR ADDRESS:
OFFICE @ AIRPORT ROAD
AIRPORT ROAD – LOT 4, BLOCK A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
Kevin Lefere
1501 Airport Road, LLC.
Rockwall, TX 75087

APPLICANT
Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-004

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the_____day of_____,_____,

WITNESS OUR HANDS, this_____day of_____,_____,

Director of Planning & Zoning

EXTERIOR ELEVATIONS

DATE: DEC 2021
PROJECT NO: 2021063
DRAWN BY:
CHECKED BY:

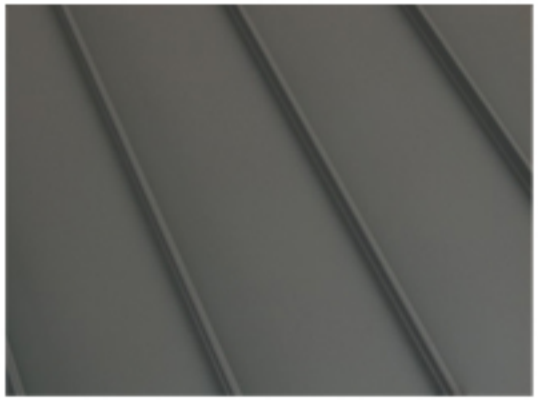
SHEET NO: A501

OFFICE @ AIRPORT ROAD
ROCKWALL, TEXAS

CARROLL architects

STONE, ROUGH FACE
COLOR - BLANCO

HARDIE BOARD SIDING,
COLOR - GRAY SLATE

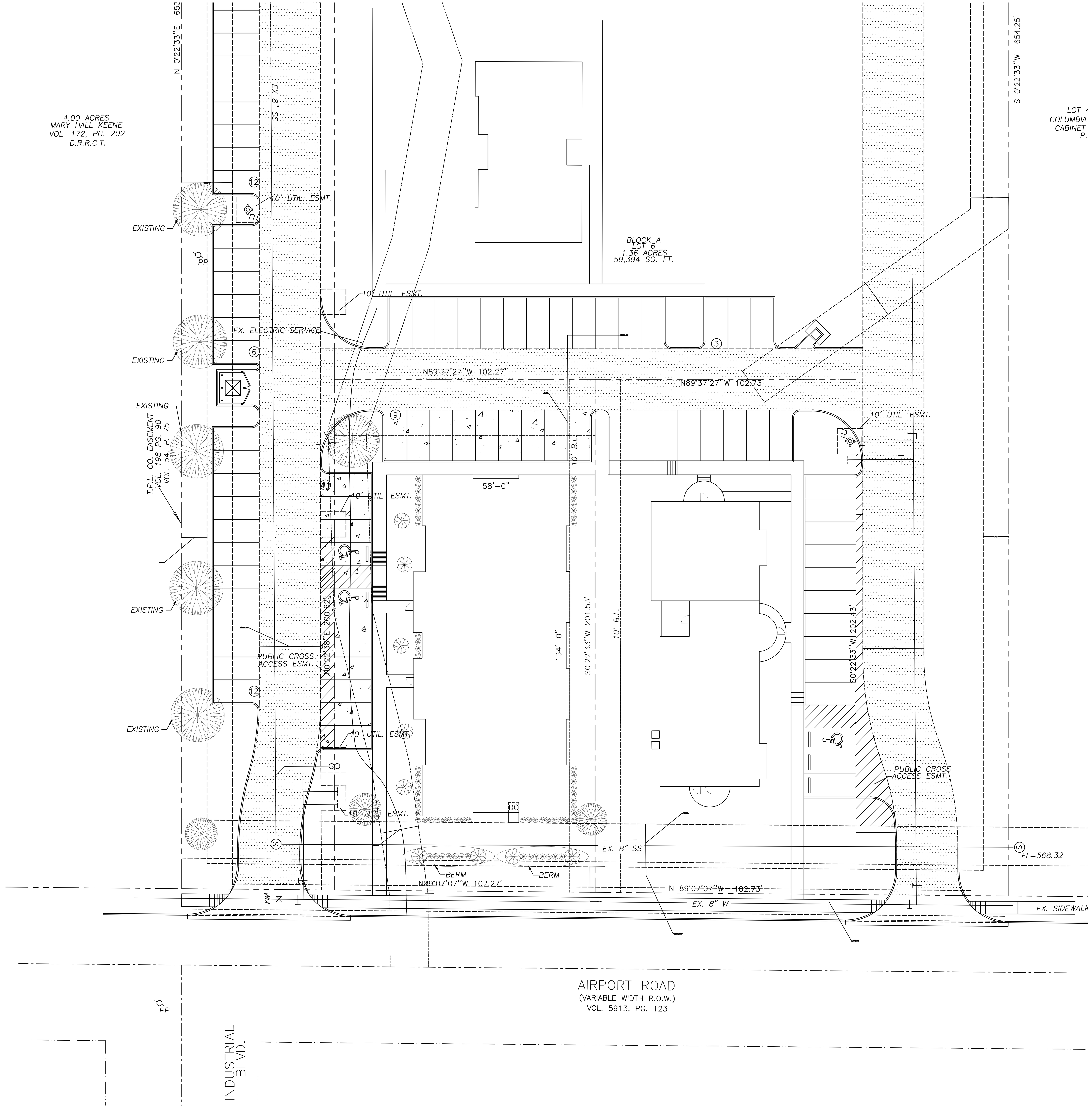


STANDING SEAM METAL ROOF
COLOR - CHARCOAL

STUCCO W/ EIFS FINISH
COLOR - GRAY MATTERS

OFFICE @ AIRPORT ROAD
ROCKWALL, TEXAS

CARROLL architects



1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

SITE DATA TABLE

SITE AREA	0.47 ACRES (20,655 S.F.)
ZONING	C
PROPOSED USE	GENERAL OFFICE
PROPOSED BUILDING AREA:	7,766 S.F.
LOT COVERAGE (GROSS AREA)	37.6%
FLOOR TO AREA RATIO	2.66 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION

NET AREA	0.47 ACRES (20,655 S.F.)
REQUIRED LANDSCAPE AREA– 20% OF 20,655 S.F.	4,131 S.F.
PROVIDED LANDSCAPE AREA– 33% OF 20,655 S.F.	6,852 S.F.
IMPERVIOUS COVERAGE– 67% OF 20,655 S.F.	13,803 S.F.

NOTES:
- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10".
- No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND

TREES, INSTALLED W/ MINIMUM 4" CALIPER

- CEDAR ELM
- WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
- ACCENT TREE

GENERAL NOTES:

1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
3. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. – PROVIDED
7. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
8. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
9. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE.
10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE

JOINT USE PARKING CALCULATIONS

INDIVIDUAL

LAND USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE – ACCOUNTANT	4,980 S.F.	1/300	= 16.60
RETAIL – GYM	6,159 S.F.	1/250	= 24.63
MEDICAL – CHIRO	3,000 S.F.	1/150	= 20.00
MEDICAL – NEW	7,766 S.F.	1/150	= 51.77

TOTAL PARKING REQUIRED = 113 SPACES

SHARED PARKING

TIME OF DAY	OFFICE		RETAIL		MEDICAL		TOTAL
6AM–12PM	.80X17	13.6	.50X25	12.5	.80X72	57.6	= 83.7
12PM–1PM	.50X17	8.5	.90X25	22.5	.90X72	64.8	= 95.8
1PM–4PM	.80X17	13.6	.90X25	22.5	.90X72	64.8	= 100.9
4PM–6PM	.80X17	13.6	.90X25	22.5	.90X72	64.8	= 100.9
6PM–8PM	.05X17	0.85	.90X25	22.5	.25X72	18.0	= 41.35
8PM–12AM	0X17	0	.50X25	12.5	0X72	0	= 12.5

TOTAL PARKING REQUIRED = 101 SPACES
REDUCTION OF 11%

OFFICE @ AIRPORT ROAD

LEGAL DESCRIPTION AND OR ADDRESS:

OFFICE @ AIRPORT ROAD
1501 AIRPORT ROAD – LOT 4, BLOCK A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER

Kevin Lefere
1501 Airport Road, LLC.
Rockwall, TX 75087

APPLICANT

Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-004

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the________day of________,________.

WITNESS OUR HANDS, this________day of________,________.

Director of Planning & Zoning

ISSUE:
CITY SUBMITTAL: 02-18-2022
CITY REVISION: 03-11-2022

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OFFICE @ AIRPORT ROAD
1501 Airport Road - Lot 4 Block A
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KEVIN LEFERE
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Rockwall, TX 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

LANDSCAPE PLAN

DATE: DEC 2021
SHEET NO: L1
PROJECT NO: 2021063
DRAWN BY:
CHECKED BY:

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Jeremy Nelson; *Kirkman Engineering*
CASE NUMBER:	SP2022-005; *Site Plan for IDP*

SUMMARY

Discuss and consider a request by Jeremy Nelson, PE of Kirkman Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a *Site Plan* for an *Office/Warehouse/Manufacturing Facility* on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69* [*Case No. A1985-002*]. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from Agricultural (AG) District and Light Industrial (LI) District. On August 16, 1999, the City Council approved a final plat [*Case No. PZ1999-059-01*] that established the subject property as a portion of Block B, Rockwall Technology Park Addition. On August 21, 2000, the City Council approved a replat [*Case No. PZ2000-068-01*] platting the subject property as Lot 2, Block B, Rockwall Technology Park Addition. On April 24, 2012, the City Council approved a replat [*Case No. P2012-005*] that platted the subject property as Lot 4, Block B, Rockwall Technology Park Addition.

PURPOSE

On February 18, 2022, the applicant -- *Jeremy Nelson of Kirkman Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing an *Office/Warehouse/Manufacturing Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the northwest corner of the intersection of Innovation Drive and SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) parcels of land (*i.e. Lots 1 & 3, Block B, Rockwall Technology Park Addition*) each developed with industrial facilities and zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 5.268-acre parcel of land (*i.e. Lot 7, Block C, Rockwall Technology Park Addition*) zoned Light Industrial (LI) District.

South: Directly south of the subject property is SH-276, which is identified as TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Lofland Farms Subdivision, which is developed with 84 single-family homes and is zoned Planned Development District 45 (PD-45) for Single-Family 8.4 (SF-8.4) District and Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is a vacant 8.405-acre parcel of land (*i.e. Lot 8, Block A, Rockwall Technology Park Addition*) zoned Planned Development District 73 (PD-73) District for Commercial (C) District land uses. Beyond this is Corporate Crossing, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 0.9537-acre parcel of land (*i.e. Lot 1, Block A, Peak Pedi Medical Office Addition*) developed with a 3,708 SF *Medical Office* building and zoned Light Industrial (LI) District. Beyond this is one (1) vacant tract of land (*i.e. Tract 1-7 of the J. M. Allen Survey, Abstract No. 2*) zoned Light Industrial (LI) District. West of this is a 5.527-acre tract of land (*i.e. Tract 1 of the J. M. Allex Survey, Abstract No. 2*) developed with a single-family home and zoned Light Industrial (LI) District. Beyond this is a vacant 7.154-acre tract of land (*i.e. Tract 3 of the J. M. Allen Survey, Abstract No. 2*), followed by 1.008-acre parcel of land (*i.e. Lot 1, Block A, VRE Rockwall Addition*) developed with a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* (*i.e. 7 Eleven*) zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse/Manufacturing Facility* is permitted *by-right* in a Light Industrial (LI) District. The submitted site plan, landscape plan, treesscape plan, photometric plan, and building elevations generally conform to the technical requirements stipulated by the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*12,500 SF*	*X=2.50-acres; In Conformance*
Minimum Lot frontage	*100-Feet*	*X= 486.82-feet; In Conformance*
Minimum Lot Depth	*125-Feet*	*X=332.06-feet; In Conformance*
Minimum Front Yard Setback	*25-Feet*	*X>25-feet; In Conformance*
Minimum Rear Yard Setback	*20-Feet*	*X>20-feet; In Conformance*
Minimum Side Yard Setback	*15-Feet*	*X>15-feet; In Conformance*
Maximum Building Height	*60-Feet*	*X<60-feet; In Conformance*
Max Building/Lot Coverage	*60%*	*X=12.59%; In Conformance*
Minimum Number of Parking Spaces	*31 Parking Spaces Required*	*X=50 Parking Spaces; In-Conformance*
Minimum Landscaping Percentage	*15%*	*55%; In Conformance*
Maximum Impervious Coverage	*90%-95%*	*X<95%; In Conformance*

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the total mitigation balance for the development is 166 caliper inches of tree. The proposed landscape plan shows that 344 caliper inches of Red Oak, Live Oak, and Cedar Elm trees will be planted on the subject property. Based on this the mitigation balance is considered to be satisfied.

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of an *Office/Warehouse/Manufacturing Facility*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Light Industrial (LI) District. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance and exceptions:

(1) *Building Materials*.

(a) *Tilt-Up Wall*. According to Section 05.01(A)(1)(a)(2), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the use of concrete tilt-up walls may be permitted on a *case-by-case* basis by the Planning and Zoning Commission. The applicant is proposing the use of 100% tilt-up wall construction for the building, but is cladding the exterior in stone and stucco. *Staff should note that this exception request is not atypical for larger industrial buildings, and that many of the buildings in the Rockwall Technology Park are constructed out of tilt-up walls*.

(2) *Articulation*.

(a) *Primary Building Façades*. According to Subsection 05.01(C)(1) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In this case, the proposed building does incorporate vertical and horizontal projections on the southern, eastern and western building façades, but these projections do not meet the standards established by the Unified Development Code (UDC).

(b) *Secondary Building Facades*. According to Subsection 05.01(C)(2) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), secondary facades require projections associated with architectural elements and wall lengths. Specifically, secondary architectural elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does not incorporate vertical and horizontal projections on the northern building elevation.

According to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "…an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in Section 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested variances. In this case, as a compensatory measure the applicant is proposing to provide greater than 90% masonry material and provide stone in excess of the 20% required. Staff should note that since tilt-up wall requires an exception it *cannot* be counted as a masonry material, and based on this the only compensatory measure being offered is stone in excess of the 20% requirement. With this being said, staff should point out that additional compensatory measures do not appear to benefit the site. This is mainly because of the amount of tree mitigation required on this property and the amount of trees the applicant is proposing to plant. Based on this the site will already have an increased number of trees and other plantings that will give the same effect as the typically approved compensatory measures. With this being said, requests for variances to the *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Technology District*. The *Technology District* is "…primarily characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base." Within the district the subject property is indicated as *Technology/Employment Center*, which should be "…preserved for larger clean industrial businesses." Based on this, the applicant's request conforms with the *Technology District* strategies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on February 28, 2022. At this meeting, the Board made the following recommendations: [*1*] bring the stone down to create a wainscot along the bottom of the building, [*2*] screen the RTUs with louvers, and [*3*] rework the proportionality of the narrow stone elements. Based on the re-submitted building elevations, the applicant appears to have addressed all of the ARB's concerns; however, the ARB will re-review the elevations at the meeting on March 15, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the *Office/Warehouse/Manufacturing Facility* on the *subject property*, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

(2) The subject property will be required to be replatted prior to the issuance of a building permit.

(3) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- TREE REMOVAL ($75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Intersection of SH-276 & Innovation Drive				
SUBDIVISION	Rockwall Technology Park	LOT	4,5	BLOCK	B
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial		CURRENT USE	Technology/Light Industrial	
PROPOSED ZONING	Light Industrial		PROPOSED USE	Office/Warehouse/Manufacturing	
ACREAGE	3.81	LOTS [CURRENT]	1	LOTS [PROPOSED]	2

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	Rockwall Technology Park	☒ APPLICANT	Kirkman Engineering
CONTACT PERSON	Phil Wagner	CONTACT PERSON	Jeremy Nelson, P.E.
ADDRESS	PO Box 968	ADDRESS	5200 State Highway 121
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Colleyville, TX 76034
PHONE	(972) 772-0025	PHONE	(817) 488-4960
E-MAIL	pwagner@rockwalledc.com	E-MAIL	jeremy.nelson@trustke.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 326.20 *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* February *, 20*22 *. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

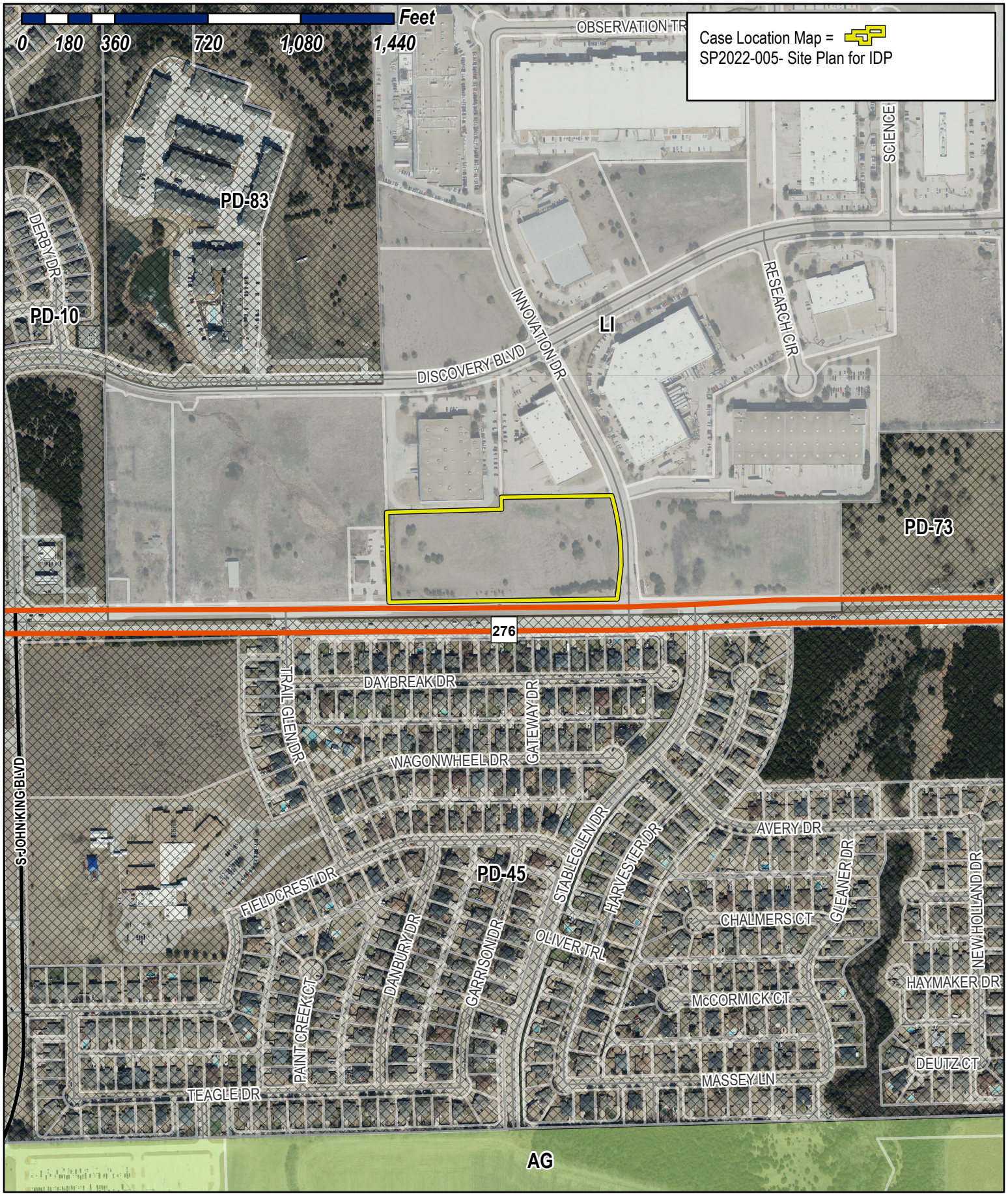
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th *DAY OF* February *, 20*22

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jhammonds

JENNIFER L. HAMMONDS
Notary Public, State of Texas
ID # 13230083-8
My Comm. Exp. 01-06-2024

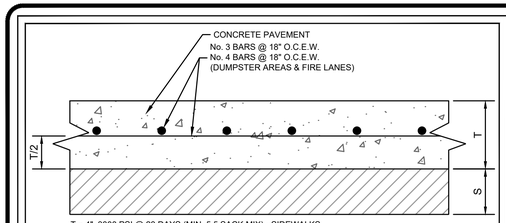
MY COMMISSION EXPIRES 1/6/24



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



T = 4", 3000 PSI @ 28 DAYS (MIN. 5.5 SACK MIX) - SIDEWALKS
T = 5", 3600 PSI @ 28 DAYS (MIN. 6.5 SACK MIX) - PUBLIC BARRIER FREE RAMPS
T = 6", 3600 PSI @ 28 DAYS (MIN. 6.5 SACK MIX) - PARKING LOT AREAS
T = 7", 3600 PSI @ 28 DAYS (MIN. 6.5 SACK MIX) - FIRE LANE & DUMPSTER AREAS
S = PER GEOTECH REPORT (PRIVATE)
PER CITY OF ROCKWALL STANDARD DETAILS (PUBLIC)

NOTE:
ALL FIRE LANES TO BE CONSTRUCTED TO CITY OF ROCKWALL STANDARDS. REFER TO CITY OF ROCKWALL STANDARD DETAILS FOR PAVING AND SUBGRADE SPECIFICATIONS AND RECOMMENDATIONS.

1 TYPICAL PAVEMENT SECTION

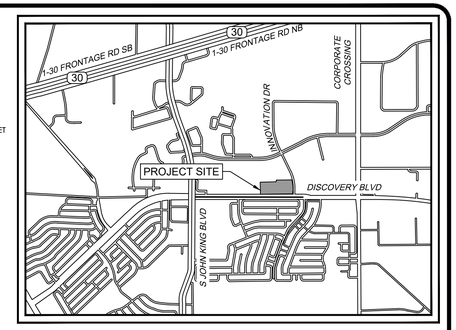
SITE DATA SUMMARY TABLE

GENERAL SITE DATA	LOT 4
ZONING	LI - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE
LOT AREA	109,258 SF/2.50 AC
BUILDING FOOTPRINT AREA	20,930 SF
TOTAL BUILDING AREA	3,765 SF OFFICE
	17,165 SF WAREHOUSE
	TOTAL 20,930 SF
BUILDING HEIGHT (# STORIES)	1
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
FLOOR AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF
	WAREHOUSE: ONE SPACE PER 1000 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING REQUIRED (# SPACES)	2
ACCESSIBLE PARKING PROVIDED (# SPACES)	2

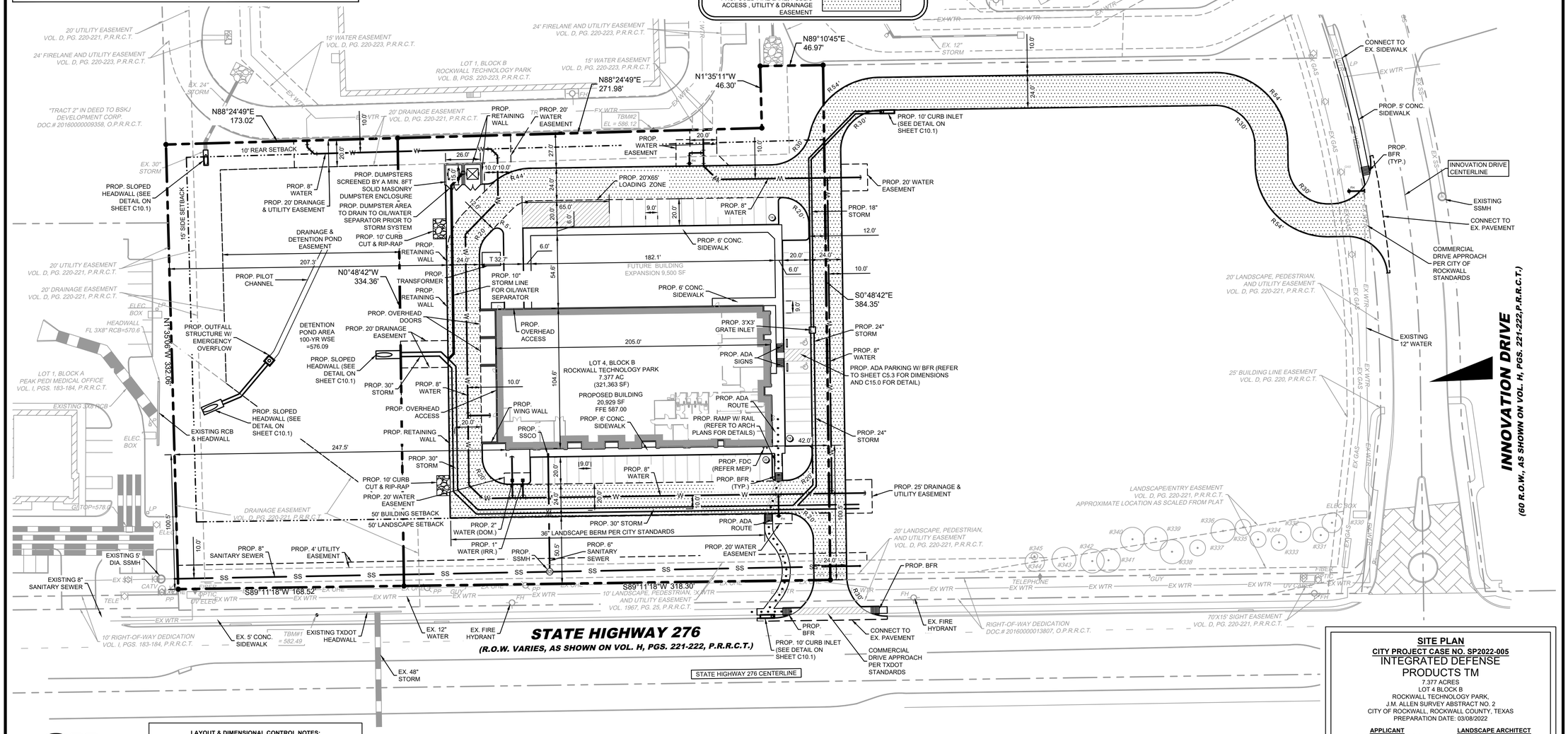
LEGEND

PROPOSED SIGN
FIRE LANE STRIPING — FIRELANE
EXISTING WATER — EX WTR
PROPOSED WATER — W
EXISTING SANITARY SEWER — EX SS
PROPOSED SANITARY SEWER — SS
EXISTING STORM DRAIN
PROPOSED STORM DRAIN
PROPOSED FIRE HYDRANT — FH
PROPOSED SANITARY SEWER MANHOLE — SS
PROPOSED GRATE INLET
ACCESSIBLE ROUTE
PARKING COUNT — 10
PROPOSED RETAINING WALL
PROPOSED FDC
PROPERTY BOUNDARY
PROPOSED FIRE LANE, PUBLIC ACCESS , UTILITY & DRAINAGE EASEMENT

GRAPHIC SCALE
0 40 80 FEET
SCALE: 1" = 40'



VICINITY MAP
N.T.S.



Know what's below. Call before you dig. 811

LAYOUT & DIMENSIONAL CONTROL NOTES:

1. BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
2. DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
3. CURB RADII: UNLESS NOTED OTHERWISE, ALL CURB RADII SHALL BE 3' AT FACE OF CURB.
4. BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
6. ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.

NOTE TO CONTRACTOR
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 968
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____ , ____ .

WITNESS OUT HANDS, THIS ___ day of _____ , ____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
7.377 ACRES
LOT 4 BLOCK B
ROCKWALL TECHNOLOGY PARK,
J.M. ALLEN SURVEY ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 03/08/2022

APPLICANT
LINKS CONSTRUCTION
525 S. LOOP 288, SUITE 105
DENTON, TX 76034
PH: 940-783-0920
CONTACT: ALISON WINGET, PE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR. STE. 110
ALLEN, TX 75013
PH: 469-369-4448
CONTACT: CHRIS TRONZANO, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: JEREMY NELSON, PE

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
JEREMY B. NELSON
P.E.# 138740
DATE: 03/08/2022

LINKS CONSTRUCTION
BUILDING & DEVELOPING THE FUTURE
525 S. LOOP 288, SUITE 105
DENTON, TX 76205
(940) 566-5465

INTEGRATED DEFENSE PRODUCTS TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
(2.50 ACRES) J.M. ALLEN SURVEY A-2

REV:	DATE:	DESCRIPTION:

KIRKMAN ENGINEERING
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: LNK21005
ISSUE DATE: 03/08/2022

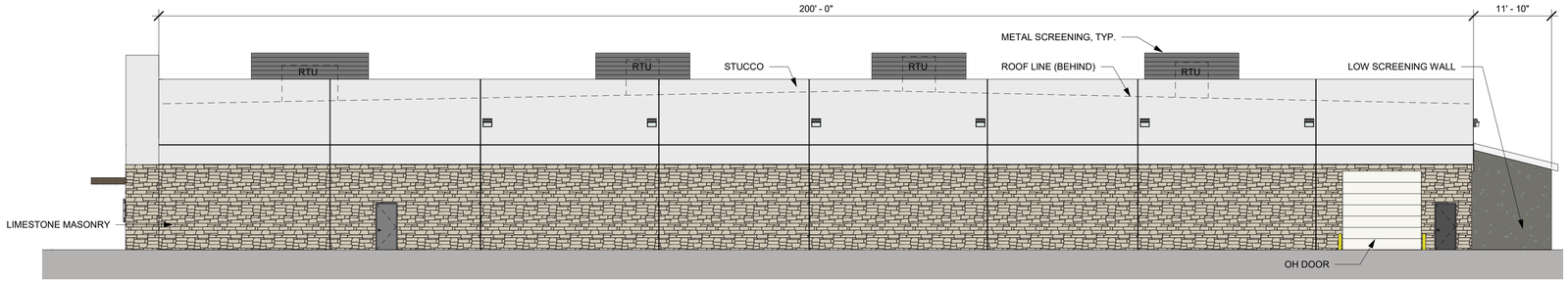
SITE PLAN

SHEET:
C3.0

CASE NUMBER: SP2022-005

FILE PATH: K:\Jobs\LNK21005_Rockwall Industrial\Drawings\03_ENGR\03 - Production\CAD\Jobs\LNK21005_Rockwall Industrial\Drawings\03_ENGR\03 - Production\C3.0 SITE PLAN_LNK21005

FILENAME: C3.0 SITE PLAN_LNK21005.dwg
PLOTTED BY: Christina Lynch
PLOTTED DATE: 3/7/2022



NATURAL STONE (LIMESTONE) = 44.8%
2453 SF STONE / 5482 SF TOTAL

STUCCO = 48.7%
2670 SF / 5482 SF TOTAL

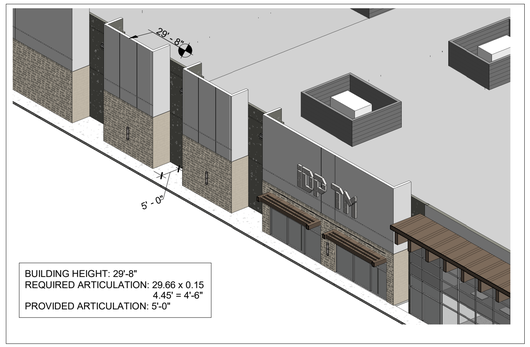
TILT WALL (CONCRETE) = 3%
167 SF / 5482 SF TOTAL

METAL (DOORS) = 3.5%
192 SF STONE / 5482 SF TOTAL

ZONING - NORTH ELEVATION

3/32" = 1'-0"

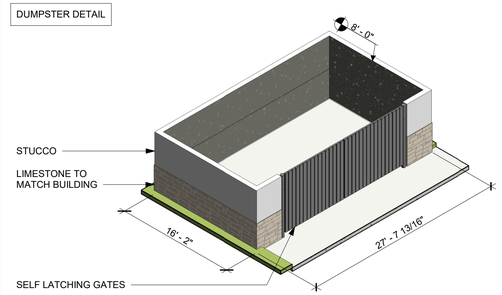
4

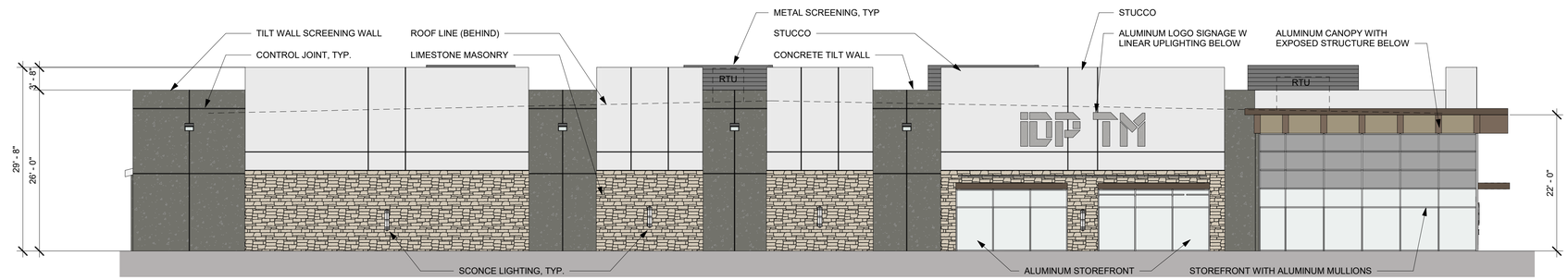


BUILDING HEIGHT: 29'-8"
REQUIRED ARTICULATION: 29.66 x 0.15 = 4.45' = 4'-6"

PROVIDED ARTICULATION: 5'-0"

DUMPSTER DETAIL





NATURAL STONE (LIMESTONE) = 20.2%
1240 SF STONE / 6135 SF TOTAL
STUCCO = 36.1%
2217 SF STUCCO / 6135 SF TOTAL

HEIGHT OF BUILDING = 29'-8"
REQUIRED DEPTH = 29'-8" x 0.15 = 4'- 6"
PROVIDED DEPTH = 5'-0

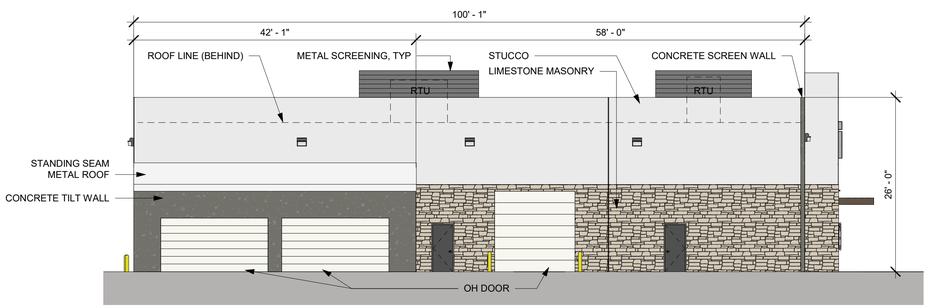
TILT WALL = 23.6%
1448 SF / 6135 SF TOTAL
STOREFRONT (GLASS & ALUM.) = 16.8%
1029 SF / 6135 SF TOTAL

METAL (CANOPIES) = 3.3%
201 SF / 6135 SF TOTAL

ZONING - SOUTH ELEVATION

3/32" = 1'-0"

3



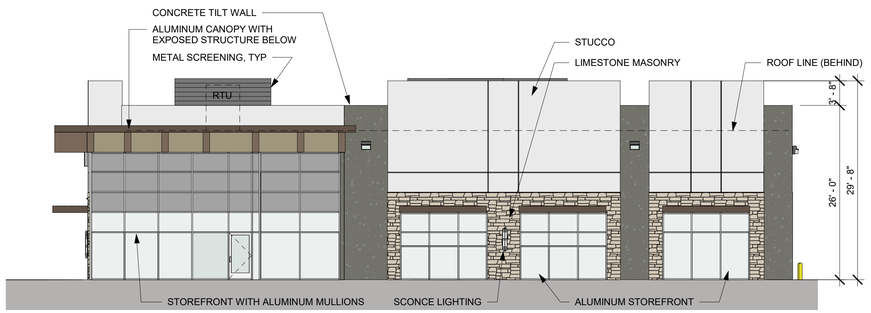
NATURAL STONE (LIMESTONE) = 23.3%
630 SF STONE / 2710 SF TOTAL
STUCCO = 51%
1383 SF / 2710 SF TOTAL

TILT WALL (CONCRETE) = 9.2%
250 SF STONE / 2710 SF TOTAL
METAL (DOORS) = 16.5%
447 SF / 2710 SF TOTAL

ZONING - WEST ELEVATION

3/32" = 1'-0"

2



NATURAL STONE (LIMESTONE) = 8.4%
241 SF STONE/ 2884 SF TOTAL
STUCCO = 34.5%
995 SF / 2884 SF TOTAL

TILT WALL CONCRETE = 11.4%
330 SF / 2884 SF TOTAL
STOREFRONT (GLASS & ALUM.) = 38.3%
1104SF / 2884 SF TOTAL
METAL = 7.4%
214 SF / 2884 SF TOTAL

HEIGHT OF BUILDING = 29'-8"
REQUIRED DEPTH = 29'-8" x 0.15 = 4'- 6"
PROVIDED DEPTH = 5'-0

ZONING - EAST ELEVATION

3/32" = 1'-0"

1

APPLICANT INFORMATION
ALISON WINGET
LINKS CONSTRUCTION
525 S LOOP 288 #105
DENTON, TX 76205
214-680-0583
AWINGET@LINKSCONSTRUCTION.COM

OWNER INFORMATION
BRANDON BUSCHOLD
IDP TM
1271 VANGUARD DRIVE
OXNARD, CA 93033
805-240-2900
BBUSCHOLD@IDPTM.COM

PROJECT NAME: IDP OFFICE & MANUFACTURING
CASE # SP2022-005

METHOD architecture
methodarchitecture.com

IDP TM, CNC MILLING

ROCKWALL, TEXAS

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____, ____.

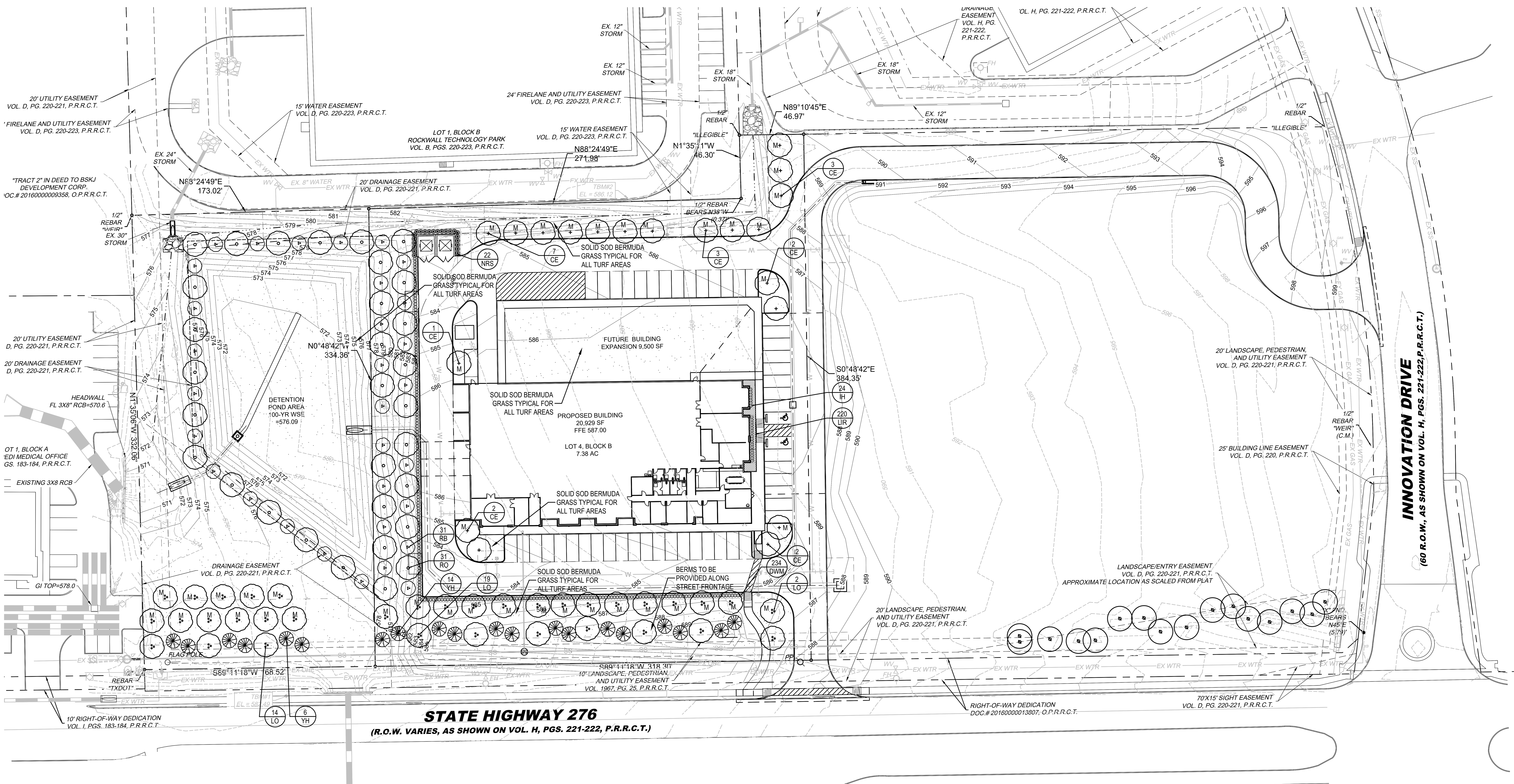
WITNESS OUR HANDS, THIS ___ OF _____, ____.

_____ PLANNING & ZONING COMMISSION, CHAIRMAN

_____ DIRECTOR OF PLANNING AND ZONING

ELEVATIONS

PROJECT # 03.09.22



01 LANDSCAPE PLAN

SCALE 1"=40'-0"

0 15 40 80

SOLID SOD NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. DECOMPOSED GRANITE SHALL BE (3) THREE INCHES DEEP W/ FILTER FABRIC BETWEEN NATIVE SOIL AND GRANITE

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. *ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.*
6. *ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION*
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

IRRIGATION NOTE:

1. ALL IRRIGATION WILL MEET THE REQUIREMENTS OF THE UDC.

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (site area 166,159 s.f.)
Requirements: 15% site area to be landscaped

Required 24,924 s.f. (15%) — Provided 91,875 s.f. (55%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required 12,462 s.f. (50%) — Provided 30,208 s.f. (121%)

STREET REQUIREMENTS
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4' ht. per 100 l.f. of frontage

STATE HIGHWAY 276 (487 l.f.)

Required (10) canopy trees, (20) accent trees — Provided (10) canopy trees, (20) accent trees

PARKING LOT REQUIREMENTS (50 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required (3) canopy trees — Provided (3) canopy trees

DETENTION AREA REQUIREMENTS (23,448 s.f.)
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 750 sf dention area

Required (31) canopy trees, (31) accent trees — Provided (31) canopy trees, (31) accent trees

PERVIOUS VS. IMPERVIOUS COVER
PERVIOUS COVER - 46,174 SF
IMPERVIOUS COVER - 63,084 SF

M- TREES COUNTED FOR TREE MITIGATION

PLANT MATERIAL SCHEDULE

TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES					
CE	20	Cedar Elm	*Ulmus Crassifolia*	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
YH	20	Yaupon Holly	*Ilex vomitoria*	4' ht.	container, 4' ht., 4' spread, 3 or 5 caines, tree form
LO	35	Live Oak	*Quercus virginiana*	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RB	31	Redbud	*Cercis canadensis*	4' ht.	container, 4' ht., 4' spread, straight trunk
RO	31	Red Oak	*Quercus rubra*	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
SHRUBS					
DWM	234	Dwarf Wax Myrtle	*Myrica pusilla*	5 gal.	container, 30" ht., 24" spread
IH	24	Indian Hawthorn	*Rhaphiolepis indica*	5 gal.	container, 20" ht., 20" spread
NRS	22	Nellie R Stevens Holly	*Ilex x Nellie R. Stevens*	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
LIR	220	Liriope '419' Bermudagrass	*Liriope muscari* *Cynodon dactylon '419'*	4" pots	container full, well rooted Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (dbh). Trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE

GENERAL SITE DATA	LOT 4
ZONING	LI - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE
LOT AREA	109,258 SF/2.50 AC
BUILDING FOOTPRINT AREA	20,930 SF
TOTAL BUILDING AREA	3,765 SF OFFICE
	17,165 SF WAREHOUSE
	TOTAL 20,930 SF
BUILDING HEIGHT (# STORIES)	1
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
FLOOR AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF
	WAREHOUSE: ONE SPACE PER 1000 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING REQUIRED (# SPACES)	2
ACCESSIBLE PARKING PROVIDED (# SPACES)	2

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ______, ____.

WITNESS OUT HANDS, THIS ____ day of ____, ________

Planning & Zoning Commission, Chairman — Director of Planning and Zoning

OWNER
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ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

LANDSCAPE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
7.38 ACRES
LOT 4 BLOCK B
ROCKWALL TECHNOLOGY PARK,
J.M. ALLEN SURVEY ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 03/01/2022

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REGISTERED LANDSCAPE ARCHITECT CHRIS TRONZANO 2042 STATE OF TEXAS
03.09.2022

INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022
CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
   a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
   b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
   c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contractor requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball.
   Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
   Clay – between 7-27 percent
   Silt – between 15-25 percent
   Sand – less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.

B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.

B. Staking Material for Shade Trees:

1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green.
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color: Black.

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertiilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.

1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

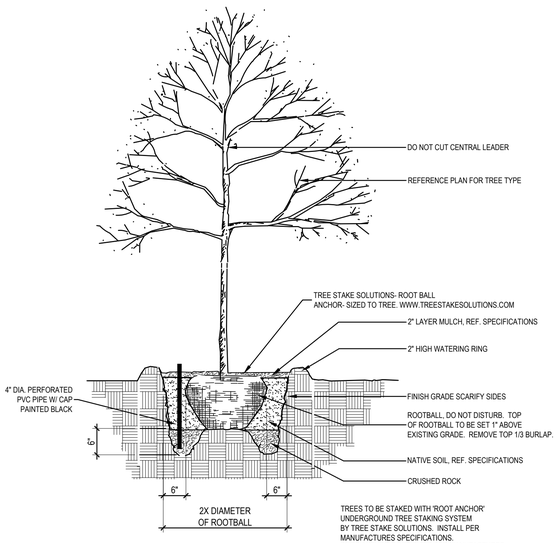
Q. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 3/4" maximum height above grade.
1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
2. Do not install steel edging along sidewalks.
3. Cut steel edging at 45 degree angle where edging meets sidewalk.

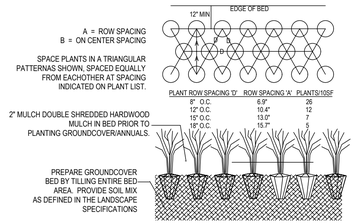
3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

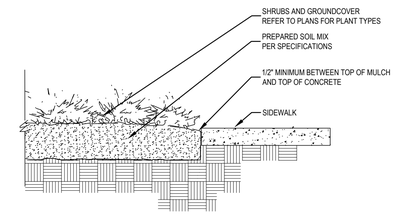
END OF SECTION



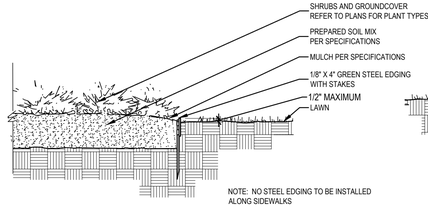
01 TREE PLANTING DETAIL
NOT TO SCALE



02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

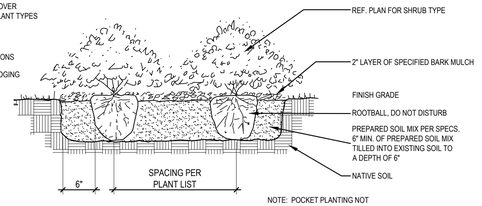


03 SIDEWALK / MULCH DETAIL
no steel along sidewalks NOT TO SCALE



NOTE: NO STEEL EDGING TO BE INSTALLED ALONG SIDEWALKS

04 STEEL EDGING DETAIL
NOT TO SCALE



NOTE: POCKET PLANTING NOT ALLOWED

05 SHRUB PLANTING DETAIL
NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the day of . .

WITNESS OUT HANDS, THIS day of .

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 968
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

LANDSCAPE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
7.38 ACRES
LOT 4 BLOCK B
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PREPARATION DATE: 03/01/2022

APPLICANT	LANDSCAPE ARCHITECT
LINKS CONSTRUCTION 525 S. LOOP 288, SUITE 105 DENTON, TX 76034 PH: 940-783-0920 CONTACT: ALISON WINGET, PE	STUDIO GREEN SPOT, INC. 1784 W. McDERMOTT DR. STE. 110 ALLEN, TX 75013 PH: 469-369-4448 CONTACT: CHRIS TRONZANO, RLA
ENGINEER	**SURVEYOR**
KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-488-4960 CONTACT: JEREMY NELSON, PE	BARTON CHAPA SURVEYING 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-864-1957 CONTACT: JACK BARTON, RPLS

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REGISTERED LANDSCAPE ARCHITECT
CHRIS TRONZANO
2042
STATE OF TEXAS

03.09.2022

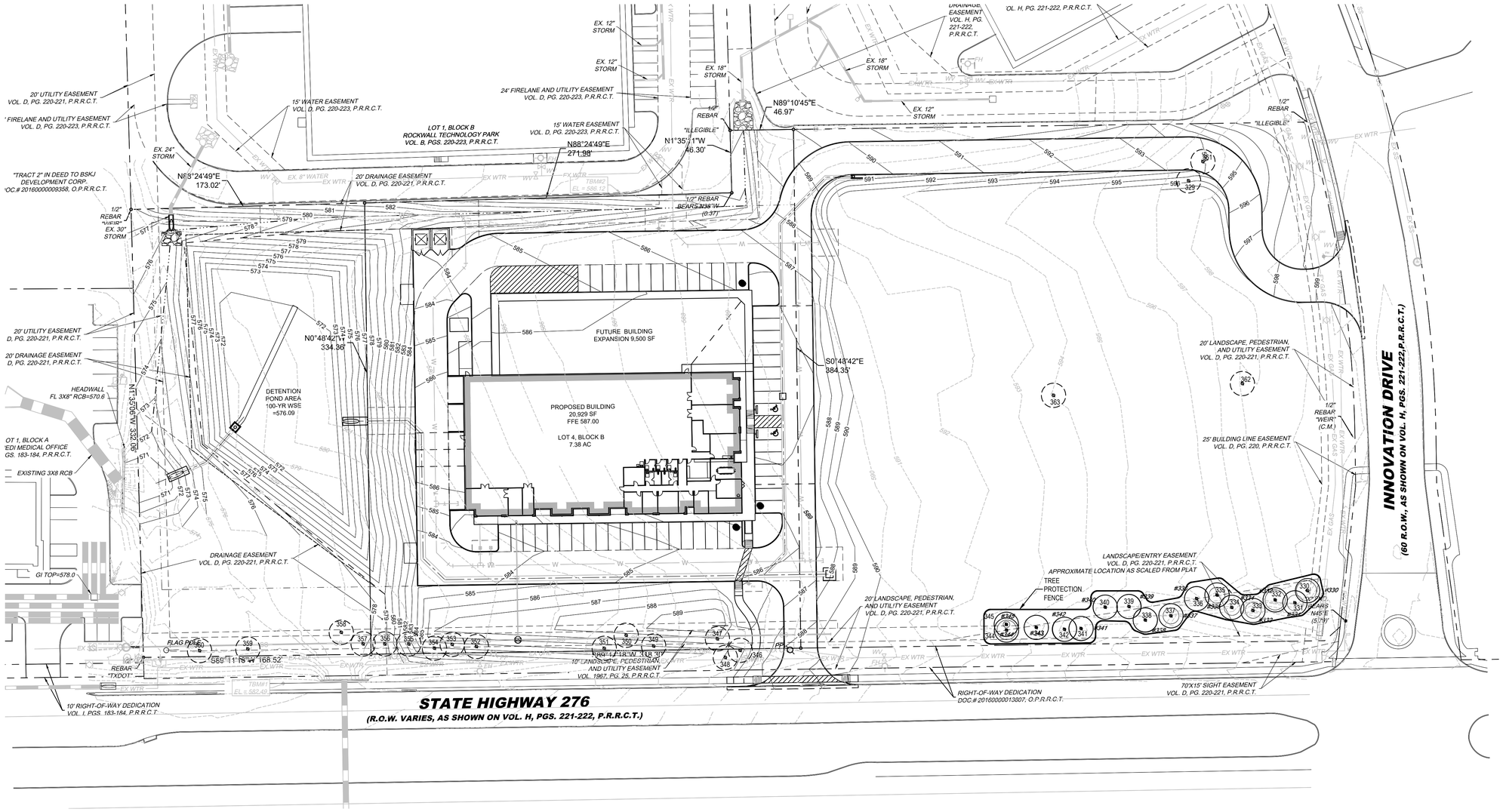
INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:
L.3



EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.00

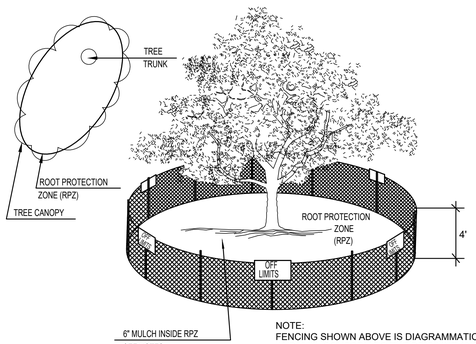
EXISTING TREE NOTES

1. *Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.*
2. *If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.*
3. *No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.*
4. *Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.*
5. *Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.*
6. *Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.*
7. *Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.*
8. *Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.*
9. *Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.*
10. *Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.*
11. *Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4') feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.*
12. *Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).*
13. *Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).*
14. *Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.*

EXISTING TREES PREVIOUS BUILDING DEVELOPMENT

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	MITIGATION REQUIRED
329	11	CEDAR	TO BE REMOVED	11
330	15	CEDAR	TO REMAIN	
331	11	CEDAR	TO REMAIN	
332	14	CEDAR	TO REMAIN	
333	12	CEDAR	TO REMAIN	
334	13	CEDAR	TO REMAIN	
335	12	CEDAR	TO REMAIN	
336	15	CEDAR	TO REMAIN	
337	12	CEDAR	TO REMAIN	
338	14	CEDAR	TO REMAIN	
339	15	CEDAR	TO REMAIN	
340	15	CEDAR	TO REMAIN	
341	22	CEDAR MULTI-TRUCK	TO REMAIN	
342	15	CEDAR	TO REMAIN	
343	18	CEDAR	TO REMAIN	
344	14	CEDAR	TO REMAIN	
345	5	HERCULES CLUB	TO REMAIN	
346	7	OAK	TO BE REMOVED	7
347	6	OAK	TO BE REMOVED	6
348	7	OAK	TO BE REMOVED	7
349	6	OAK	TO BE REMOVED	6
350	5	OAK	TO BE REMOVED	5
351	5	OAK	TO BE REMOVED	5
352	7	OAK	TO BE REMOVED	7
353	8	OAK	TO BE REMOVED	8
354	5	OAK	TO BE REMOVED	5
355	11	OAK	TO BE REMOVED	11
356	9	OAK	TO BE REMOVED	9
357	10	OAK	TO BE REMOVED	10
358	8	OAK	TO BE REMOVED	8
359	9	OAK	TO BE REMOVED	9
360	7	OAK	TO BE REMOVED	7
361	17	CEDAR MULTI-TRUCK	TO BE REMOVED	17
362	13	CEDAR	TO BE REMOVED	13
363	15	CEDAR MULTI-TRUCK	TO BE REMOVED	15

TOTAL MITIGATION REQUIRED: 166 CAL. INCHES
MITIGATION PROVIDED: (42) 4" CALIPER TREES
TOTAL INCHES OF MITIGATION TREES PLANTED ON SITE: 168 CAL. INCHES



NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY

01 TREE PROTECTION FENCE A
NOT TO SCALE

01 TREE PRESERVATION PLAN
SCALE 1"=40'-0"
0 15 40 80

SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	**LOT 4**
ZONING	LI - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE
LOT AREA	109,258 SF/2.50 AC
BUILDING FOOTPRINT AREA	20,930 SF
TOTAL BUILDING AREA	3,765 SF OFFICE
	17,165 SF WAREHOUSE
	TOTAL 20,930 SF
BUILDING HEIGHT (# STORIES)	1
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
FLOOR AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF
	WAREHOUSE: ONE SPACE PER 1000 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING REQUIRED (# SPACES)	2
ACCESSIBLE PARKING PROVIDED (# SPACES)	2

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the day of . .

WITNESS OUT HANDS, THIS ___day of ___ . _____

Planning & Zoning Commission, Chairman | **Director of Planning and Zoning**

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 668
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

LANDSCAPE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
7.38 ACRES
LOT 4 BLOCK B
ROCKWALL TECHNOLOGY PARK,
J.M. ALLEN SURVEY ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 03/01/2022

APPLICANT	LANDSCAPE ARCHITECT
LINKS CONSTRUCTION	STUDIO GREEN SPOT, INC.
525 S. LOOP 288, SUITE 105	1784 W. McDERMOTT DR. STE. 110
DENTON, TX 76034	ALLEN, TX 75013
PH: 940-783-0920	PH: 469-369-4448
CONTACT: ALISON WINGET, PE	CONTACT: CHRIS TRONZANO, RLA
ENGINEER	**SURVEYOR**
KIRKMAN ENGINEERING, LLC	BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121	5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034	COLLEYVILLE, TX 76034
PH: 817-488-4960	PH: 817-864-1957
CONTACT: JEREMY NELSON, PE	CONTACT: JACK BARTON, RPLS

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

REGISTERED LANDSCAPE ARCHITECT
CHRIS TRONZANO
2042
STATE OF TEXAS
03.09.2022

INTEGRATED DEFENSE PRODUCT TM

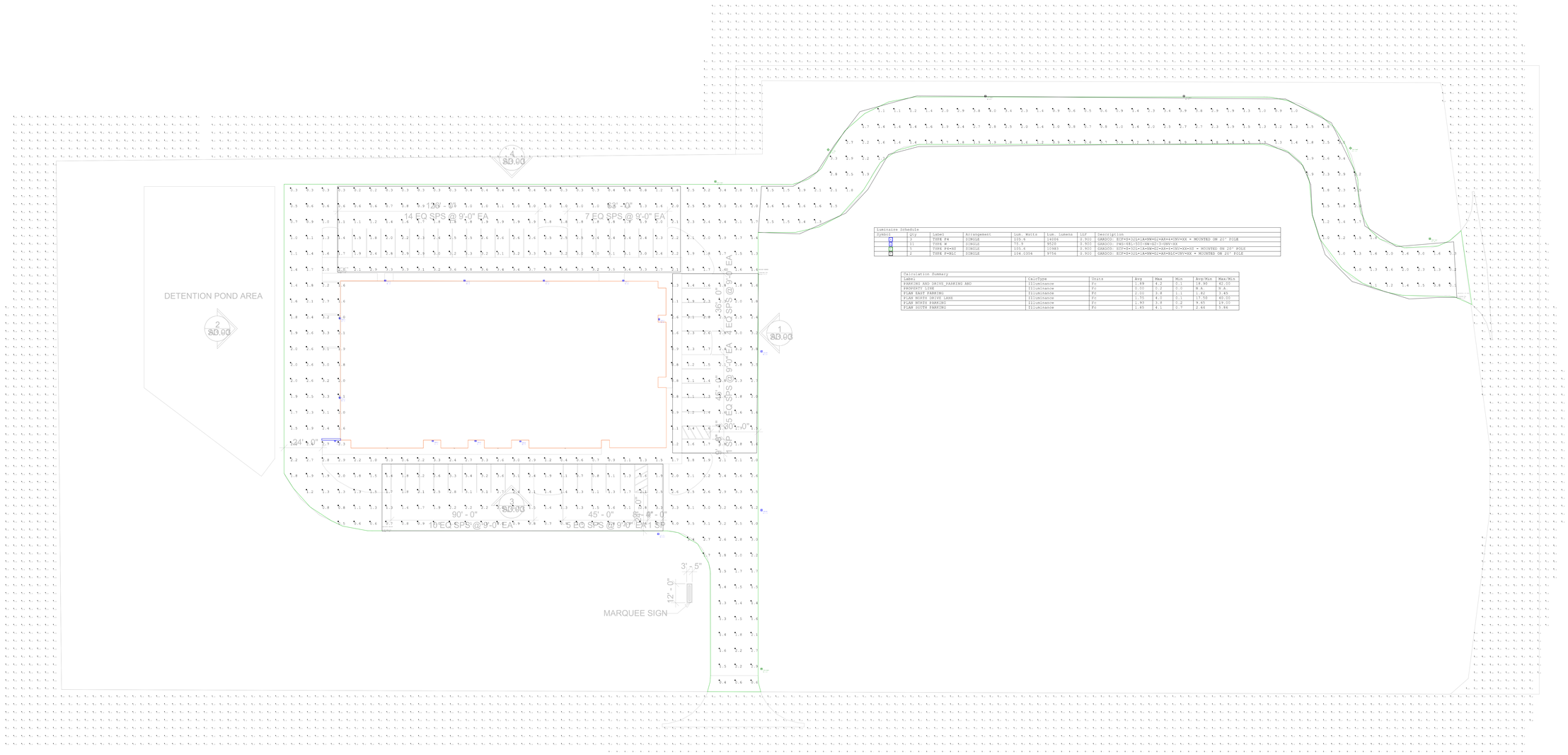
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022
CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

SHEET NAME:
TREE PRESERVATION PLAN

SHEET NUMBER:
L.1



Luminaire Schedule

Symbol	QTY	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	Description
	3	TYPE F4	SINGLE	103.6	14006	0.900	GARDCO: ECF=F32[=]A=SW=Q;=AB=4=DV=XX = MOUNTED ON 20' POLE
	11	TYPE W	SINGLE	75.9	9520	0.900	GARDCO: FWS=EL-SCO=SW=Q[=]=DBV=XX
	5	TYPE F4-HS	SINGLE	103.6	10983	0.900	GARDCO: ECF=F32[=]A=SW=Q[=]A=4=DV=XX=HS - MOUNTED ON 20' POLE
	2	TYPE P+ELC	SINGLE	124.0356	9756	0.900	GARDCO: ECF=P+[=]A=SW=Q[=]A=AB=ELC=DBVXAR = MOUNTED ON 20' POLE

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVE PARKING AND	Illuminance	Fc	1.59	4.2	0.1	18.90	42.00
PROPERTY LINE	Illuminance	Fc	0.00	0.2	0.0	N.A.	N.A.
PLAN EAST PARKING	Illuminance	Fc	2.00	3.9	1.1	1.82	3.45
PLAN NORTH DRIVE LANE	Illuminance	Fc	1.75	4.0	0.1	17.50	40.00
PLAN NORTH PARKING	Illuminance	Fc	1.93	3.9	0.2	9.65	19.50
PLAN SOUTH PARKING	Illuminance	Fc	1.85	4.1	0.7	2.64	5.86

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUT HANDS, THIS ___ day of _____, ____

Planning & Zoning Commission, Chairman **Director of Planning and Zoning**

CASE NUMBER: SP2022-005

CW LIGHTING & ASSOCIATES

7701 W. LITTLE YORK RD. STE 300
HOUSTON, TX 77040

P. 713-690-9320
W. CWLIGHTING.COM

PROJECT NAME:

ROCKWALL IDP MANUFACTURING

ADDRESS:

NOTES:

ISSUE NAME:

CW1.00

SITE PHOTOMETRICS

GARDCO by signify

Site & Area

EcoForm

ECF-S small area light

Project:

Location:

Cat.No:

Type:

Lamps: Qty:

Notes:

Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Ordering guide

example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage
ECF-S EcoForm site and area, small	**32L** 32 LEDs (2 modules)	**365** 365mA **530** 530mA **700** 700mA **1A** 1050mA **1.2A** 1200mA	**WW-G2** Warm White 3000K, 70CRI Generation 2 **NW-G2** Neutral White 4000K, 70CRI Generation 2 **CW-G2** Cool White 5000K, 70CRI Generation 2	**AR**[2] Arm Mount (standard) The following mounting kits must be ordered separately (See accessories) **SF**[3] Slip Fitter Mount (fits to 2 3/8" O.D. tenon) **WS** Wall mount with surface conduit rear entry permitted **RAM**[2] Retrofit arm mount kit	**Type 2** **2** Type 2 **2-90** Rotated left 90° **2-270** Rotated right 270° **Type 3** **3** Type 3 **3-90** Rotated left 90° **3-270** Rotated right 270° **Type 4** **4** Type 4 **4-90** Rotated left 90° **4-270** Rotated right 270° **Type 5** **5** Type 5 **5W** Type 5W **AFR** Auto Front Row **AFR-90** Auto Front Row, Rotated left 90° **AFR-270** Auto Front Row, Rotated right 270° **BLC** Back Light Control **BLC-90** Back Light Control rotated at 90° **BLC-270** Back Light Control rotated at 270° **LCL**[19] LEED Corner Optic Left **RCL**[19] LEED Corner Optic Right	**120** 120V **208** 208V **240** 240V **277** 277V **347** 347V **480** 480V **UNV** 120-277V (50/60Hz) **HVU** 347-480V (50/60Hz)
	48L 48 LEDs (3 modules)	**900** 900mA **1A** 1050mA **1.2A**[19] 1200mA				
	64L 64 LEDs (4 modules)	**900** 900mA **1A**[19] 1050mA				

Options

Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire	Finish
DD[4,18] 0-10V External dimming (for controls by others) **DCC**[4,5,6,18] Dual Circuit Control **FAWS**[4,5,18] Field Adjustable Wattage Selector **LLC**[4,6,7,8,18] Integral wireless module **BL**[1,4,7,18] Bi-level functionality **SRDR**[4,5,6,8,17] SR driver connected to Zhaga socket **DynaDimmer:** Automatic Profile Dimming **CS50**[4,8] Safety 50% Dimming, 7 hours **CM50**[4,8] Median 50% Dimming, 8 hours **CS30**[4,8] Safety 30% Dimming, 7 hours **CM30**[4,8] Median 30% Dimming, 8 hours	**IMRI3**[15] Integral with #3 lens **IMRI7**[16] Integral with #7 lens	**PCB**[8,9] Photocontrol Button **TLRD5**[10,17] Twist Lock Receptacle 5 Pin **TLRD7**[10,17] Twist Lock Receptacle 7 Pin **TLRPC**[9,10,11,17] Twist Lock Receptacle w/ Photocell	**Fusing** **F1**[9] Single (120, 277, 347VAC) **F2**[9] Double (208, 240, 480VAC) **Pole Mount Fusing** **FP1**[9] Single (120, 277, 347VAC) **FP2**[9] Double (208, 240, 480VAC) **FP3**[9] Canadian Double Pull (208, 240, 480VAC) **Surge Protection** (10kA standard) **SP2** Increased 20kA	Square Pole Adapter included in standard product **TB**[12] Terminal Block **RPA**[13] Round Pole Adapter (fits to 3"- 3.9" O.D. pole) **HIS**[14] Internal House Side Shield	**Textured** **BK** Black **WH** White **BZ** Bronze **DGY** Dark Gray **MGY** Medium Gray **Customer specified** **RAL** Specify optional color or RAL (ex: RAL7024) **CC** Custom color (Must supply color chip for required factory quote)

1. BL-IMRI3/7 equipped with out-boarded sensor housing when voltage is HVU (347-480V)
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 45 degrees aiming above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocontrol.
7. Must specify a motion sensor lens.
8. Not available in 347 or 480V
9. Must specify input voltage.
10. TLRD5, TLRD7 and TLRPC receptacle pins 4 & 5 are capped off when ordered with any of the Dimming controls DD or FAWS or LLC.
11. Not available in 480V. Order photocell separately with TLRD5/7.
12. Not available with DCC.
13. Not available with SF and WS. RPAs provided with black finish standard.
14. HIS not available with Type 5, 5W, BLC, BLC-90, BLC-270, LCL or RCL optics.
15. Not available with DD, DCC, and FAWS dimming control options.
16. Not available with DD, DCC, FAWS and LLC dimming control options.
17. When ordering SRDR, controller (by others) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All 7 pins in NEMA receptacle are connected to SR driver. SRDR not available with TLRD5 or TLRPC.
18. 0-10V dimming driver standard.
19. LCL and RCL not available with 48L-1.2A or 64L-1A.

ECF-S EcoForm small

Area luminaire

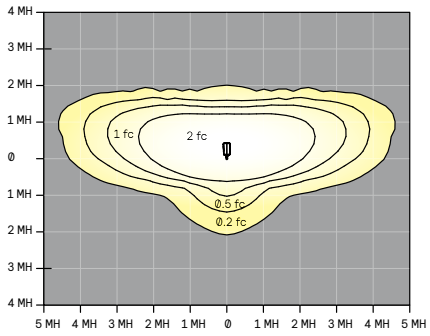
Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.L_{70} is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L_{70} hours limited to 6 times actual LED test hours

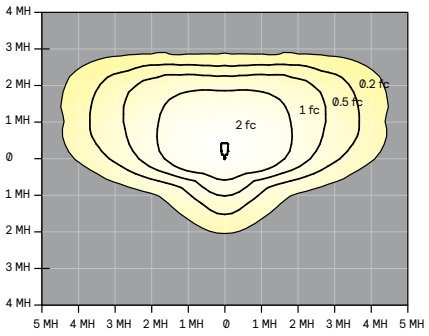
Ambient Temperature °C	Driver mA	Calculated L_{70} Hours	L_{70} per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>100,000 hours	>120,000 hours	>99%

Optical Distributions

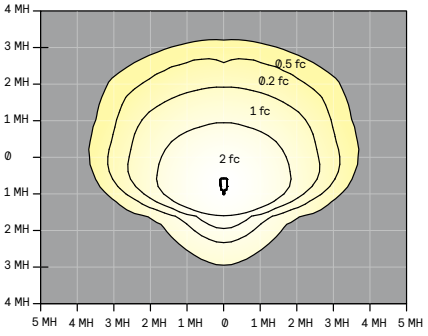
Based on configuration ECF-S-48L-1A-NW-G2 (159W) mounted at 20ft.



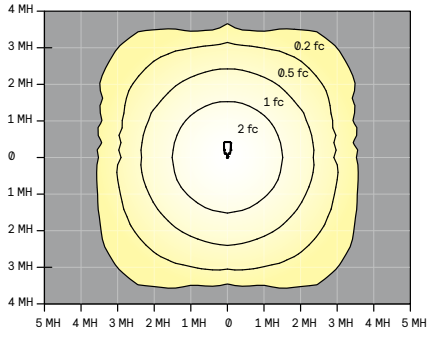
Type 2



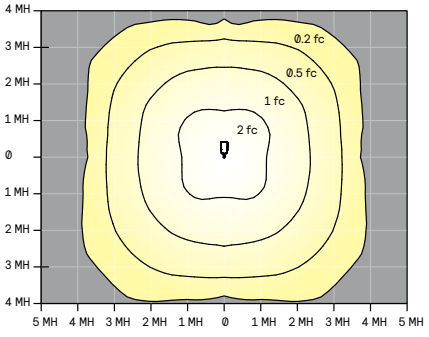
Type 3



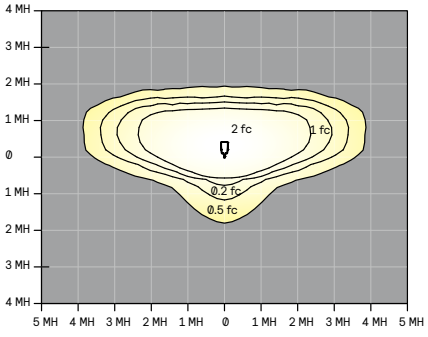
Type 4



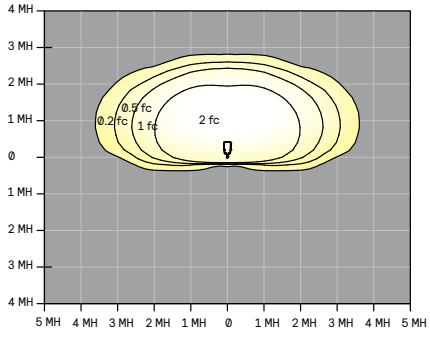
Type 5



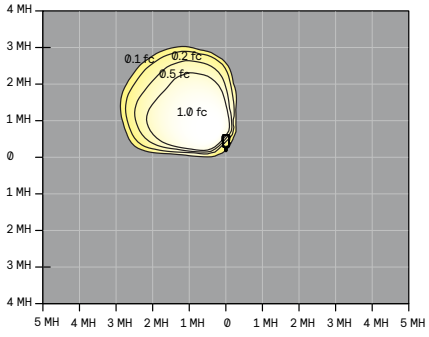
Type 5W



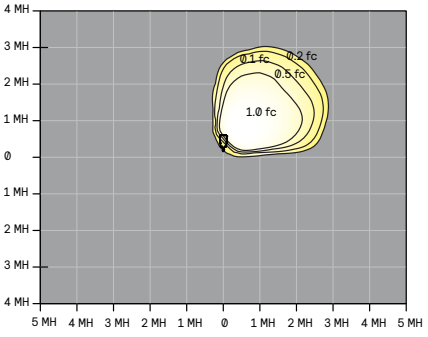
AFR



BLC



LCL



RCL

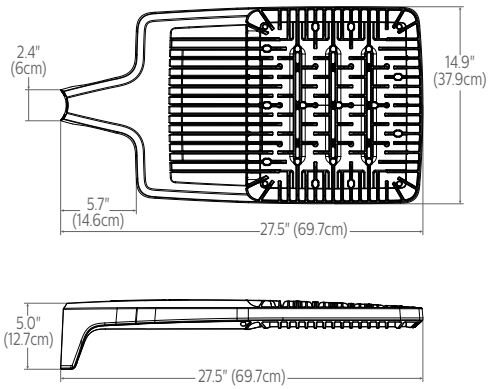
ECF-S EcoForm small

Area luminaire

Dimensions

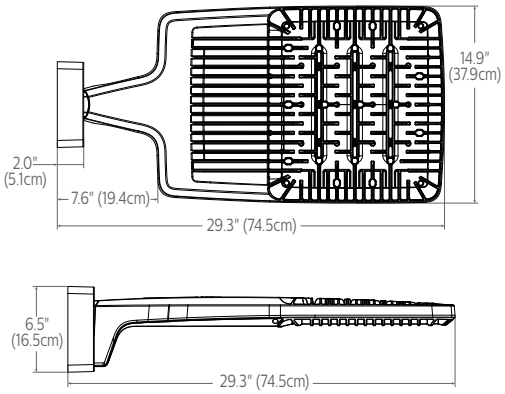
Standard Arm (**AR**)

Weight: 22 Lbs (9.9 Kg) EPA: 0.21ft² (.019m²)



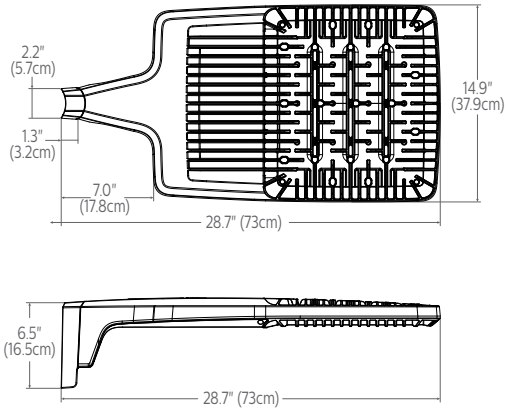
Wall (**WS**)

Weight: 27 Lbs. (12. 2Kg)EPA: 0.27ft² (.025m²)



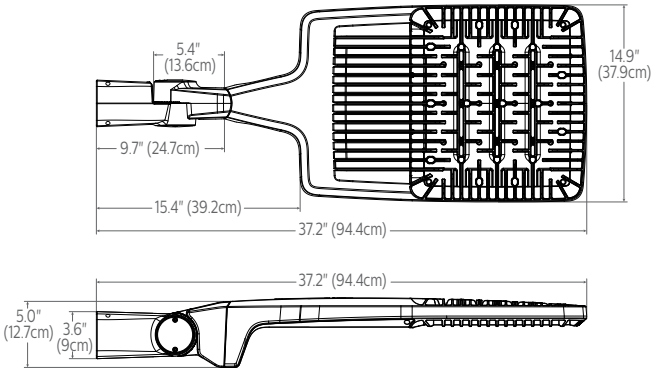
Retrofit Arm (**RAM**)

Weight: 24 Lbs (10.9 Kg) EPA: 0.24ft² (.022m²)

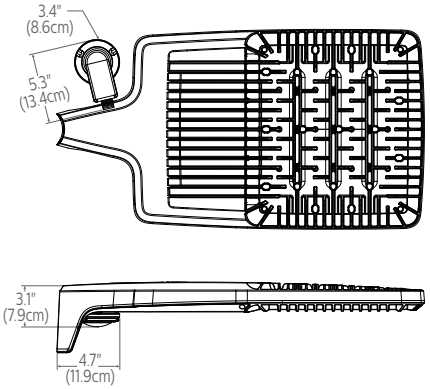


Slip fitter (**SF**)

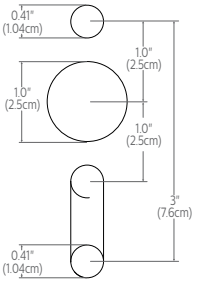
Weight: 27 Lbs (12.2 Kg) EPA: 0.33ft² (.031m²)



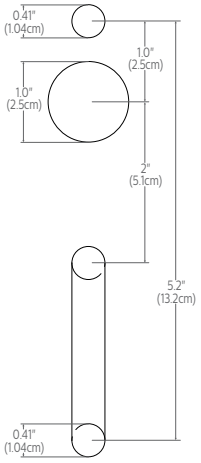
Outboard **IMR-HVU** sensor



Standard Arm (**AR**) drill pattern



Retrofit Arm (**RAM**) drill pattern



GARDCO by signify

Wall Mount

PureForm

LED wall sconce

Gardco PureForm LED wall sconce PWS with precision optics offers a sleek, low profile design that will complement a range of architectural styles. PureForm wall sconce provides up to 21,800 lumens to accommodate multiple mounting heights, and is available with Type 2, 3, 4, as well as our back light control optics. A full range of control options is available for additional energy savings. Optional emergency battery backup option is available for path-of-egress and is integral to the luminaire.

Project:

Location:

Cat.No:

Type:

Lamps: Qty:

Notes:

Ordering guide

example: PWS-48L-500-NW-G2-2-UNV-DGY

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Distribution	Emergency	Voltage	Options: Dimming controls	Options: Motion-sensing lens	Options: Photo-sensing	Options: Electrical & Shield	Finish
PWS											
PWS PureForm wall sconce	**48L** 48 LEDs	**300** 300mA[1]	**WW-G2** Warm White 3000K, 70 CRI Generation 2	**2** Type 2	**EBPC** Emergency Battery Pack Cold Weather [1,3,10]	**UNV** 120-277V	**DD** 0-10V External dimming (controls by others) [4]	**IMRI2** [15] Integral with #2 lens	**PCB** Photocontrol Button [7,8,12]	**Fusing**	**Textured**
		400 400mA		**3** Type 3		**HVU** 347-480V	**DCC** Dual Circuit Control [4,5,6,9]	**IMRI3** [15] Integral with #3 lens		**F1** Single (120, 277, 347VAC) [8]	**BK** Black
		500 500mA	**NW-G2** Neutral White 4000K, 70 CRI Generation 2	**4** Type 4	Leave blank to omit an emergency option	**120** 120V	**FAWS** Field Adjustable Wattage Selector [4,5]			**F2** Double (208, 240, 480VAC) [8]	**WH** White
		600 600mA	**CW-G2** Cool White 5000K, 70 CRI Generation 2	**BLC** Back light control		**208** 208V	**SW** Interface Module for SiteWise [3,4,6]			**F3** Canadian Double Pull (208, 240, 480VAC) [8]	**BZ** Bronze
		700 700mA				**240** 240V	**LCC** Integral wireless module [4,6,7,11,13]			**Surge Protection (10kA is standard)**	**DGY** Dark Gray
	64L 64 LEDs	**600** 600mA	**WY-G2** Warm Yellow 2700K, 80 CRI Generation 2 [2]			**277** 277V	**BL** Bi-level functionality [4,13]			**SP2** Increased 20kA	**MGY** Medium Gray
		700 700mA	**BW-G2** Balanced White 3500K, 80CRI Generation 2 [2]			**347** 347V	**DynaDimmer: Automatic Profile Dimming** [4,7]				**Customer specified**
		800 800mA				**480** 480V	**CS50** Security 50% Dimming, 7 hours				**RAL** Specify optional color or RAL (ex: RAL7024)
		900 900mA	**AM-G2** Direct Amber (590nm) Generation 2 [2,14]				**CM50** Median 50% Dimming, 8 hours				**CC** Custom color (Must supply color chip for required factory quote)
							CS30 Security 30% Dimming, 7 hours				
							CM30 Median 30% Dimming, 8 hours				

1. Only 300mA can be used with battery backup (EBPC) configuration.
2. Extended lead times apply. Contact factory for details.
3. Available only in 120 or 277V.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocontrol.
7. Not available in 347 or 480V.
8. Must specify input voltage.
9. Available with two modules per circuit (64L) at 600mA.
10. Not available with DCC, SW, and CS/CM.
11. Not available in 800 or 900mA.
12. Not availablewith 64L.
13. Must specify a motion sensor lens.
14. Limited to max. 600mA configurations
15. Not available with DD, DCC, and FAWS dimming control options.

PWS PureForm LED wall sconce

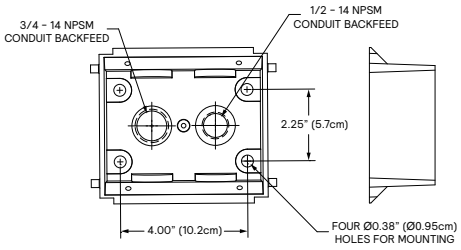
wall mount

Luminaire Accessories (order separately)

Mounting Accessories

Wall Mount

PWS-WS-G2	Wall Mounted Box for Surface Conduit Painted Black



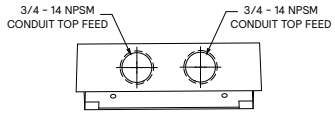
System accessories

Wireless system remote mount module

LLCR2-(F) #2 lens - specify finish in place of (F)
LLCR3-(F) #3 lens - specify finish in place of (F)

Central Remote Motion Response
(used connected to SiteWise main panel)

MS2-A-FVR-3
MS2-A-FVR-7

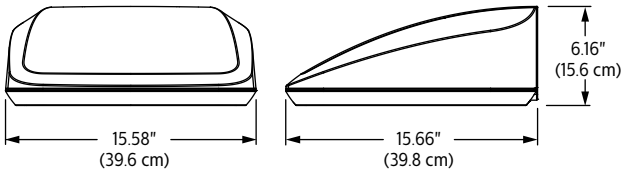


Wireless system remote controller accessory

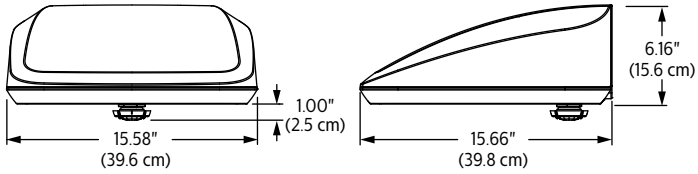
Wireless system offers a remote radio/sensor module that allows connection to a Limelight system (sold by others). Remote module can be mounted to wall or pole with j-box supplied. May be specified by choosing one of two different lenses to accommodate a variety of mounting heights/sensor detection ranges. Must specify option DD on luminaires that are planned to be used with remote mount controllers.

Dimensions

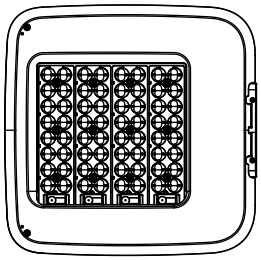
Standard Luminaire

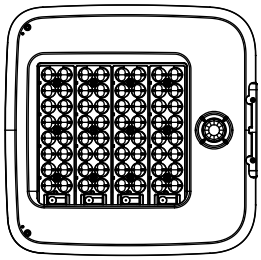


Motion Response and Wireless System

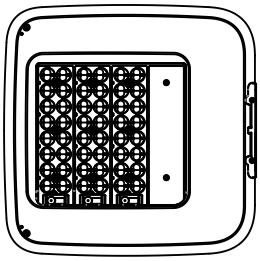


4 modules





3 modules



Luminaire Weights

PureForm LED wall sconces PWS	Weight
Luminare	24 lbs
Luminaire - EBPC (EM battery pack)	27 lbs

PWS PureForm LED wall sconce

wall mount

LED Wattage and Lumen Values (Emergency Mode)

						Lumen Outputs							
				Avg. System Watts		Type 2		Type 3		Type 4		BLC	
Ordering Code	LED Qty	LED Current (mA)	Color Temp.	Normal Mode	Emergency Mode	Normal Mode	Emergency Mode	Normal Mode	Emergency Mode	Normal Mode	Emergency Mode	Normal Mode	Emergency Mode
PWS-48L-300-NW-G2-x-EBPC	48	300	4000	47	14	6394	2110	6297	2078	6382	2106	4896	1615

For emergency EBPC option, publish values are based on initial lumens.

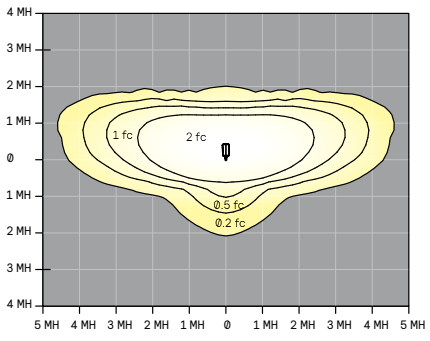
Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.L_{70} is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L_{70} hours limited to 6 times actual LED test hours

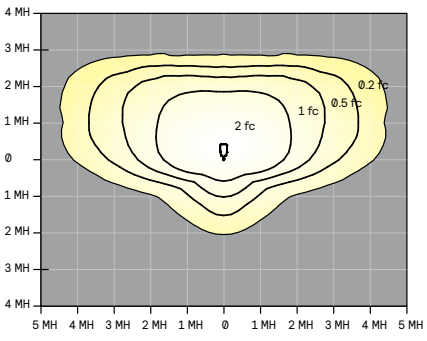
Ambient Temperature °C	Drive current	Calculated L_{70} Hours	L_{70} per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	**up to 900 mA**	**>100,000 hours**	**>54,000 hours**	**>96%**

Optical Distributions

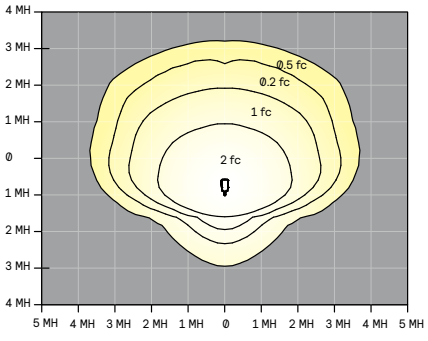
Based on 20' mounting height



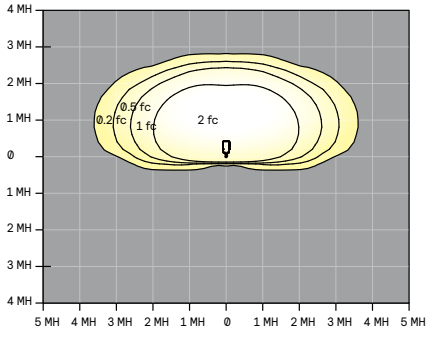
Type 2



Type 3



Type 4



BLC

Links Construction, LLC | 525 S. Loop 288 Ste. #105 | Denton, TX 76205 | 940-566-5465

February 3, 2022

RE: Site Plan Application Submittal – Variance Request Letter

Per Site Plan Application Submittal Requirements, please see the list below of the architectural variances we are requesting for the Integrated Defense Products TM Project in Rockwall, TX approximately location at HWY 276 and Innovation Drive.

Variances:

1. Tilt Wall Building Type
    a. Compensatory Measures:
        i. Compensate Item F) Above and beyond 90% Masonry
        ii. Compensate Item G) Above and beyond 20% Stone

Thank you for your time and consideration,

Thank you,

Design Build Project Manager
Links Construction, LLC
Phone (Office) 940-783-0920
Phone (Direct) 214-680-0583

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Luis Chico; *Creativo Designs*
CASE NUMBER:	SP2022-006; *Amended Site Plan for Pollo Regio*

SUMMARY

Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a *Site Plan* for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In* (*i.e. Pollo Regio*) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed in 1960 [*Case No. A1960-004; Ordinance No. 60-04*], is zoned Commercial (C) District, and is situated within the IH-30 Overlay (IH-30 OV) District. On June 17, 1996, the City Council approved a site plan [*Case No. PZ1996-035*] for a restaurant (*i.e. Grandy's*) on the subject property. On December 2, 1996, the City Council approved a variance to allow a sign that exceeds the maximum allowable height for a sign in a Commercial (C) District. On July 15, 1996, the City Council approved a replat [*Case No. PZ1996-047*] establishing the necessary firelane and public access easements for the site. According to the Rockwall Central Appraisal District (RCAD), the existing restaurant was constructed in 1996. On January 13, 1997, a Certificate of Occupancy (CO) for a restaurant was issued [*CO1997-0363*] by the Building Inspections Department. The restaurant was closed between July 2018 and March 2019.

PURPOSE

The applicant is requesting the approval of an amended site plan for the renovation of the existing 3,764 SF *Restaurant with Drive-Through* situated on the subject property for the purpose of establishing a *Restaurant with Drive-Through* (*i.e. Pollo Regio*).

ADJACENT LAND USES AND ACCESS

The subject property is located at 726 E. IH-30. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property, there is a municipal water utility facility (*i.e. Southside Water Tower*), a daycare facility (*i.e. Whitehills Child Development Center*), a house of worship (*i.e. First Presbyterian Church of Rockwall*) and an office building (*i.e. White Hills Offices*). Following this is a White Hills Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this, there are several office buildings (*i.e. Citibank Building, Apple Orthodontics, etc.*). These properties are all zoned Commercial (C) District.

South: Directly south of the subject property is IH-30, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] line, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this, there is a shopping center (*i.e. Rockwall Market Center*) that contains several commercial/retail businesses (*i.e. Mattress Firm, Office Max, etc.*).

East: Directly east of the subject property, there are several commercial businesses (*i.e. RE/MAX Properties, Firestone Complete Auto Care, etc.*). Following this, is White Hills Drive, which is identified as a *Minor Collector* on the

City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this, there are several commercial/retail businesses (*i.e. Car Toys, Wal-Mart, etc*.). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property are several commercial businesses (*i.e. Enterprise Rent-A-Car, Chase Bank, etc*.) followed by Vigor Way, which is a private roadway. Beyond this there are several commercial/retail businesses (*i.e. Denny's Valvoline Oil Change, etc*.). All of these properties are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

The applicant is proposing to renovate the existing 3,764 SF *Restaurant with Drive-Through*. The proposed renovations include expanding the proposed building footprint to 3,956 SF, recladding the exterior of the building with a combination of stone and stucco, and adding vertical articulation elements. Outside of the changes to the building elevations the overall site plan will generally remain the same. A summary of the density and dimensional requirements for the subject property, and the proposed projects conformance to these standards is as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	10,000 SF	44,997.48 SF; *In Conformance*
Minimum Lot Frontage	60-Feet	246.83-Feet; *In Conformance*
Minimum Lot Depth	100-Feet	211.01-Feet*; In Conformance*
Minimum Front Yard Setback	15-Feet	X>15-Feet; *In Conformance*
Minimum Rear Yard Setback	10-Feet	X>10-Feet; *In Conformance*
Minimum Side Yard Setback	10-Feet	X>10-Feet; *In Conformance*
Maximum Building Height	60-Feet	22-Feet; *In Conformance*
Max Building/Lot Coverage	60%	9.0%; *In Conformance*
Minimum Number of Parking Spaces	40 Parking Spaces	54 Parking Spaces; *In Conformance*
Minimum Landscaping Percentage	20%	*X<20%; Legally Non-Conforming*
Maximum Impervious Coverage	85-90%	*X<90%; In Conformance*

TREESCAPE PLAN

The landscape plan submitted by the applicant indicates that no trees will be removed from the site and that no mitigation will be required.

CONFORMANCE WITH THE CITY'S CODES

According to the Rockwall County Appraisal District (RCAD) the existing building was constructed in 1996, which was prior to the adoption of the Unified Development Code (UDC). Based on this, the existing building is considered to be a legally non-conforming structure. Currently, the existing building meets the roof design standards, but not the horizontal building articulation requirements. The applicant is proposing to reface the building and change the pitched roof design to a parapet roof design to give the appearance of a flat roof, which brings the building further out of conformance with the *General Overlay District Standards*. With this being said, the proposed redesign does meet the minimum vertical articulation requirements and does not change the existing building's conformance to the horizontal building articulation requirements.

VARIANCES BY THE APPLICANT

As stated above, the applicant's request generally conforms to the majority of the City's codes; however, staff has identified the following variances brought about by increases to the non-conformity of the existing structure that will result from the proposed development:

(1) *Building Materials.* According to Subsection 06.02(C), *Architectural Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "…cementitious materials (*e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be limited to 50% of the building's exterior façade." In this case the applicant is proposing the use of more than 50% stucco on the northern and western building elevations.

(2) *Roof Design Standards.* According to Subsection 06.02(C)(2), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case the applicant is requesting a parapet roof system.

According to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "…an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in Section 06.02, *General Overlay District Standards*, of Article 05, District Development Standards, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." With this being said, the proposed building elevations *do* incorporate greater than 20% natural stone on the north, east, and west building façades. Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)n cases where a variance or variances is/are being requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance." Based on the two (2) proposed variances to the roof design standards and overlay district masonry material requirements, the applicant is required to provide four (4) compensatory measures; however, the applicant is only proposing to make changes to the building where they have proposed the use of more than 20% stone on three (3) sides of the building. Staff has suggested to the applicant that additional landscaping should be provided as a compensatory measure to help bring the site closer into compliance with the current requirements of the Unified Development Code (UDC); however, the applicant's landscape plan shows no changes from the current landscaping on the site. Staff has added a *Condition of Approval* that would require additional landscaping, for the Planning and Zoning Commission's consideration. With this being said, requests for variances to the *General Overlay District Standards* and the proposed compensatory measures intended to off-set the variances being requested are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is located within the *IH-30 Corridor District*. This district is composed primarily of a Special Commercial Corridor (SC). The *IH-30 Corridor District* will continue to serve as the City's primary retail corridor in the future. The subject property is zoned Commercial (C) District, and the applicant's request appears to be in conformance with Future Land Use Plan and the *District Strategies* outlined for the *IH-30 Corridor District* as stipulated in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on February 28, 2022, and made the following recommendations: [*1*] add depth the vertical wing walls so they are not flat, [*2*] replace the cultured stone with a natural/quarried stone, [*3*] add a tower element to the drive-thru side, [*4*] provide a projection on the "south" side (*i.e. the side facing IH-30*) so that elevation is not flat, and [*5*] increase the height of the stone to the canopies on the projecting elements. The applicant has provided updated building elevations that meet the ARB's requests. These will be reviewed by the ARB at the meeting on *March 15, 2022*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for an amended site plan for an existing restaurant with drive-through, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.

(2) As compensatory measures, staff would recommend that additional canopy and accent trees be added to the subject property in order to bring the overall site closer into compliance with the City's current requirements. If approved by the Planning and Zoning Commission, the applicant will need to work with staff to submit an updated landscape plan prior to the acceptance of civil engineering plans and/or a building permit.

(3) Any construction resulting from the approval of this *Amended Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. SP2022-006

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☑ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	726 E Interstate 30 Rockwall, TX 75087				
SUBDIVISION	Grandy's Addition	LOT	1	BLOCK	A
GENERAL LOCATION	IH30 Overlay				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial	CURRENT USE	Fast food restaurant
PROPOSED ZONING	Commercial	PROPOSED USE	Fast food restaurant
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]	

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Hector Rodriguez	☑ APPLICANT	Creativo Designs
CONTACT PERSON	Hector Rodriguez	CONTACT PERSON	Luis Chico
ADDRESS	1185 108th St	ADDRESS	602 SRL Thornton fwy suite B
CITY, STATE & ZIP	Grand Prairie, Tx 75050	CITY, STATE & ZIP	Dallas, tx 75203
PHONE	469-506-0865	PHONE	214-884-8168
E-MAIL		E-MAIL	cs@creativodesignsusa.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

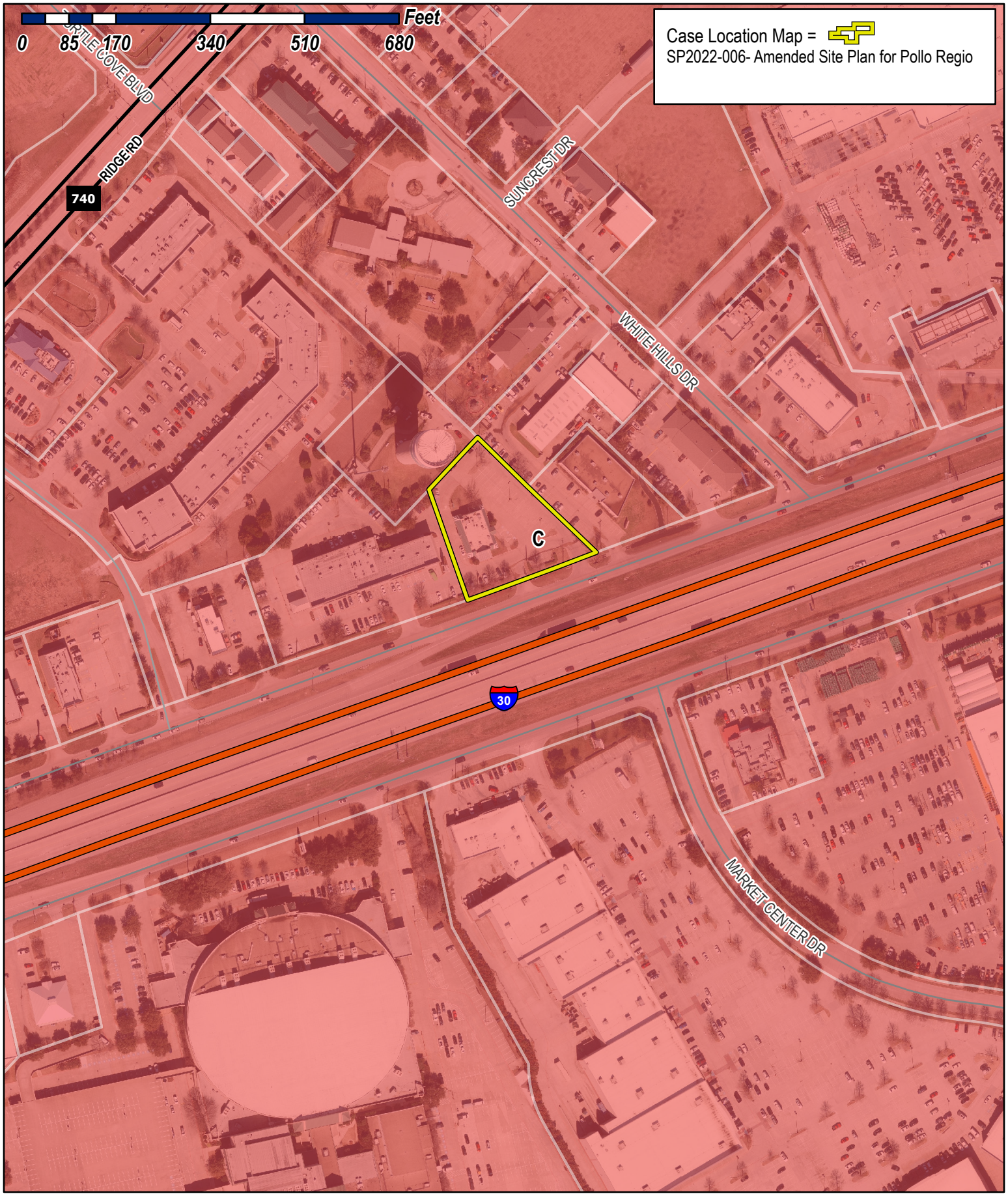
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.00 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* February, 2022. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th *DAY OF* February, 2022.

OWNER'S SIGNATURE Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Luis A. Alvarez

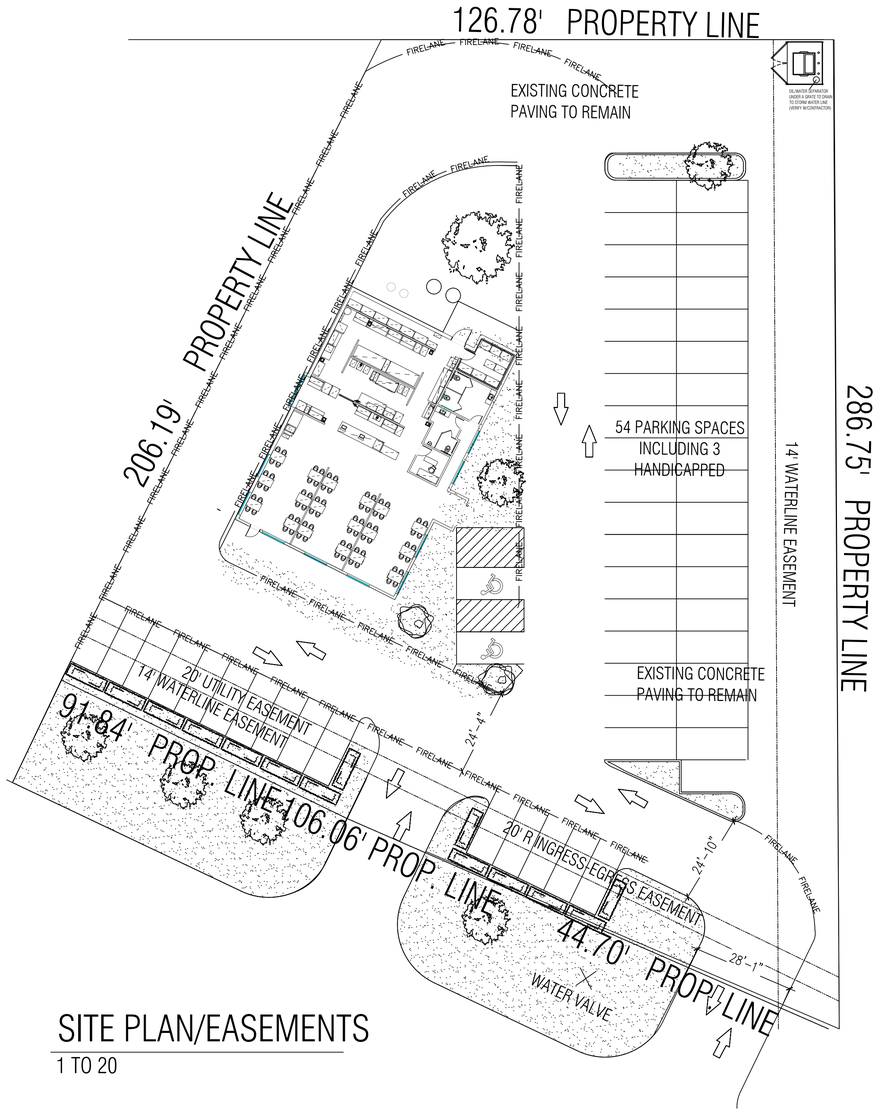
LUIS A. ALVAREZ
Notary Public, State of Texas
Comm. Expires 03-26-2022
Notary ID 131505307



City of Rockwall

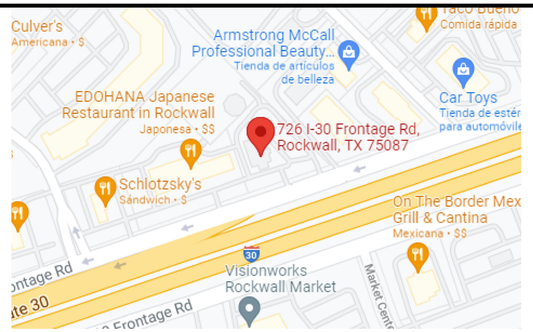
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

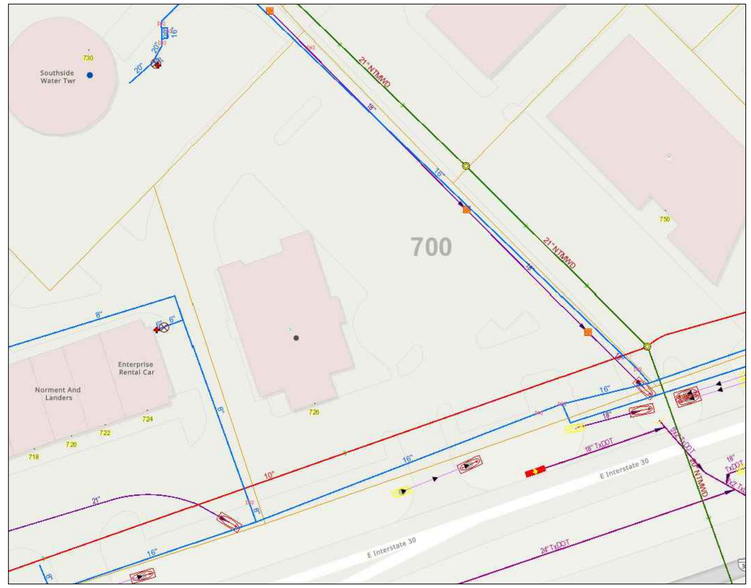
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

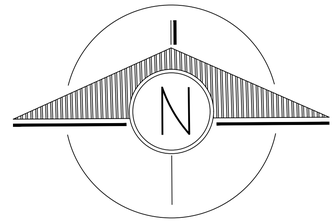


SITE PLAN/EASEMENTS

1 TO 20







SQUARE FOOTAGE	
RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE LOT: 0.993	BUILDING: 0.086

OWNER: JH PR GROUP HOLDINGS LLC
DEVELOPER: MTY REMODELING & CONSTRUCTION

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____
WITNESS OUR HANDS, this _____day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CREATIVODESIGNS
602 SRL THORNTON FWY SUITE B
DALLAS, TEXAS 75203
214.884.8168 214.886.2866
cs@creativodesignsusa.com

ADDRESS: 726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

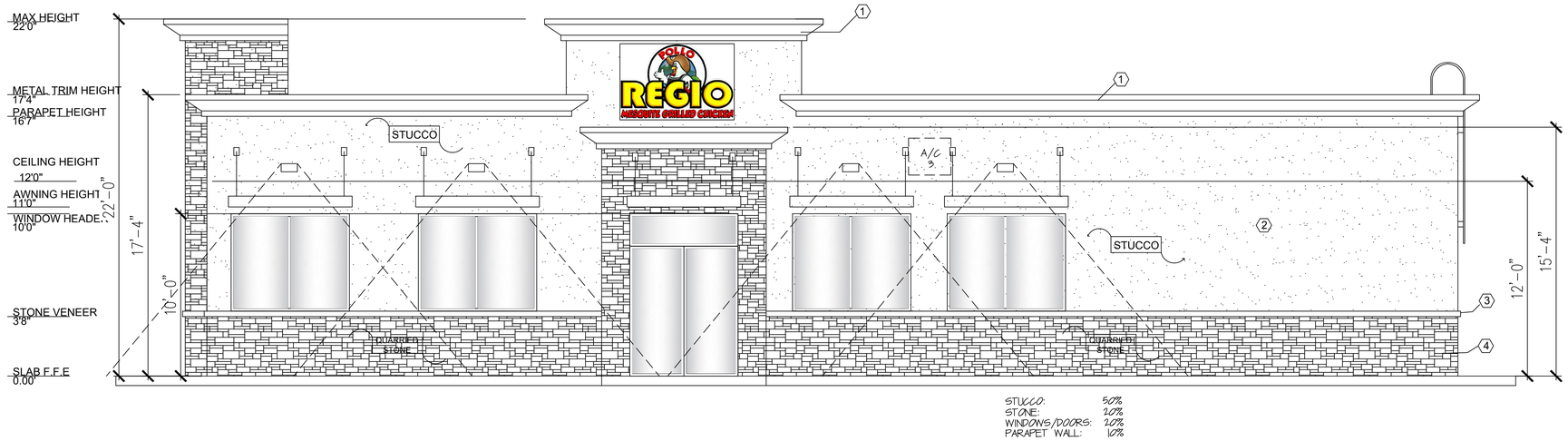
SCOPE OF WORK: REMODEL CASE # SP2022-006

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

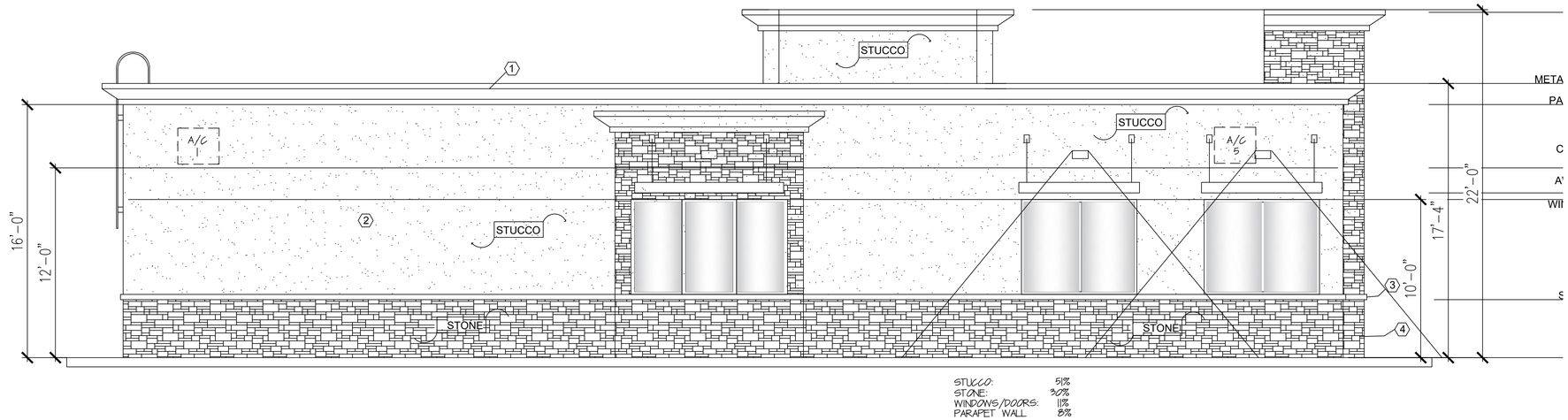
SCALE:	1 TO 20
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	SITE PLAN

DRAWING No. 1 OF 12

DRAWN: EACB



RIGHT ELEVATION (EAST)
SCALE: 1/4"=1'-0"



LEFT ELEVATION (WEST)
SCALE: 1/4"=1'-0"

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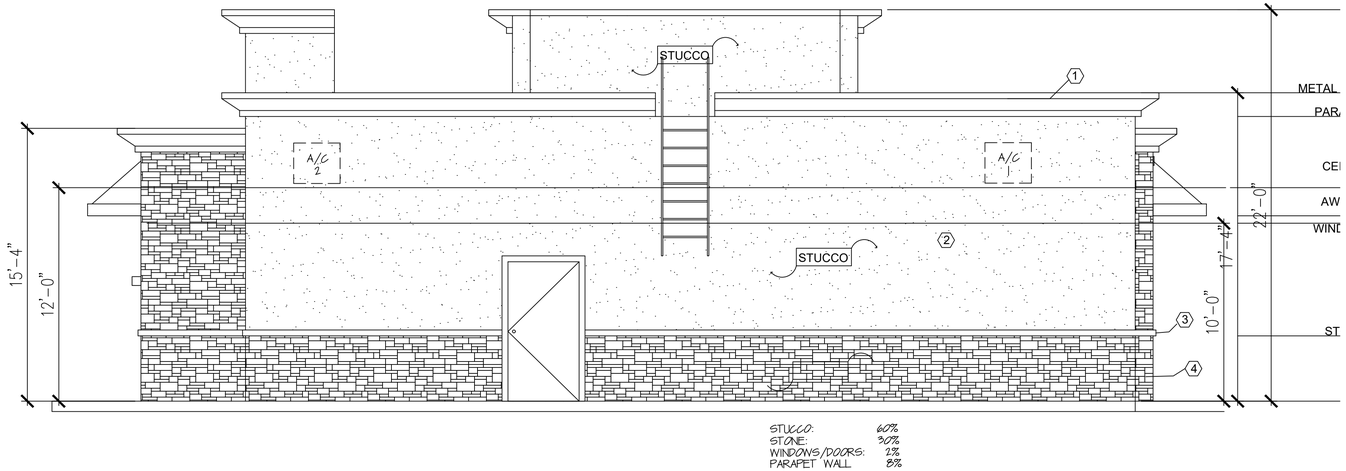
SCALE:	1/4"=1'-0"
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	ADA
DRAWN:	EACB

DRAWING No.
11 OF 12

STUCCO: 20%
STONE: 50%
WINDOWS/DOORS: 15%
PARAPET WALL 15%

FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"



STUCCO: 60%
STONE: 30%
WINDOWS/DOORS: 2%
PARAPET WALL 8%

REAR ELEVATION (NORTH)
SCALE: 1/4"=1'-0"

1	EXTERIOR TRIM AROUND BUILDING	SW 6868 REAL RED	SW 6868 REAL RED Sherwin-Williams Color sR = 200.663 sG = 66.999 sB = 73.620 #C9474E
2	EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),	SW 6126 NAVAJO WHITE	SW 6126 NAVAJO WHITE Sherwin-Williams Color sR = 233.166 sG = 222.635 sB = 200.668 #E9DFC9
3	OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY	6126 NAVAJO WHITE	SW 7017 DORIAN GRAY Sherwin-Williams Color sR = 172.588 sG = 169.664 sB = 161.194 #AEABA3
4	EXTERIOR STONE	TEXAS MIX NATURAL CHOP	

SITE PLAN SIGNATURE BLOCK

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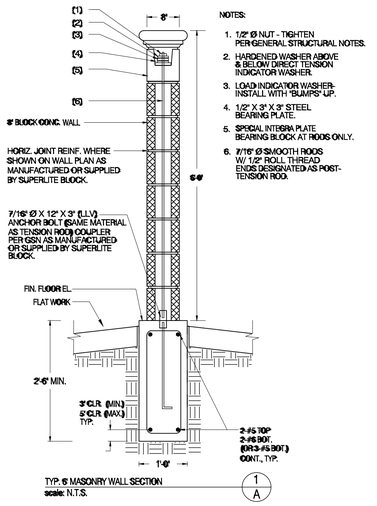
SCALE:	N.T.S
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	ADA
DRAWN:	EACB

DRAWING No. 12 OF 12



NOTES:

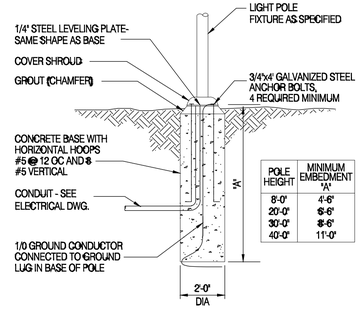
1. 1/2" Ø NUT - TIGHTEN PER GENERAL STRUCTURAL NOTES.
2. HARDENED WASHER ABOVE & BELOW DIRECT TENSION INDICATOR WASHER.
3. LOAD INDICATOR WASHER- INSTALL WITH "BUMPS" UP.
4. 1/2" X 3" X 3" STEEL BEARING PLATE.
5. SPECIAL INTEGRA PLATE BEARING BLOCK AT RODS ONLY.
6. 7/16" Ø SMOOTH RODS W/ 1/2" ROLL THREAD ENDS DESIGNATED AS POST-TENSION ROD.

TYP. 8" MASONRY WALL SECTION
scale: N.T.S.

1
A

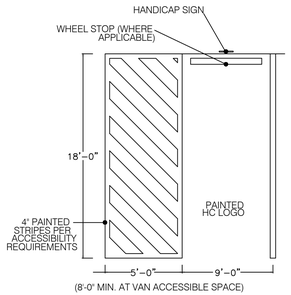
INSTALLATION NOTES

1. FOOTING:
   PLACE AND SECURE FOOTING REINFORCING.
2. STEM WALL:
   PLACE AND SECURE 2 #5 IN TOP OF STEM. MARK ON FORMS LOCATION OF ANCHOR BOLTS FOR POST TENSIONING RODS IN WALL. STAB ANCHOR BOLTS IN STEM.
3. INTEGRA WALL SYSTEM:
   INSTALL POST TENSIONING RODS IN COUPLERS ON ANCHOR BOLTS. BEGIN MASONRY WALL AT LOCATIONS WHERE GROUT IS SPECIFIED - GROUT LIFTS MAY NOT EXCEED 4'-0". CELL SHALL BE WELL RODDED TO INSURE GROUT FULLY ENCASES REINFORCING ROD IN MASONRY CELL. IT IS ACCEPTABLE TO USE MORTAR AS GROUT IN 8" MAXIMUM LIFTS. INSTALL ALL HARDWARE FOR BEAM BEARINGS ETC.
4. LINTELS:
   SHORE LINTELS OVER 6'-0" UNLESS I BEAM LINTELS ARE USED. GROUT SHALL CURE FOR A MINIMUM OF 3 DAYS PRIOR TO REMOVING SHORES.



POLE HEIGHT	MINIMUM EMBEDMENT "A"
8'-0"	4'-6"
20'-0"	6'-6"
30'-0"	8'-6"
40'-0"	11'-0"

BLOWN UP LIGHT POLE BASE

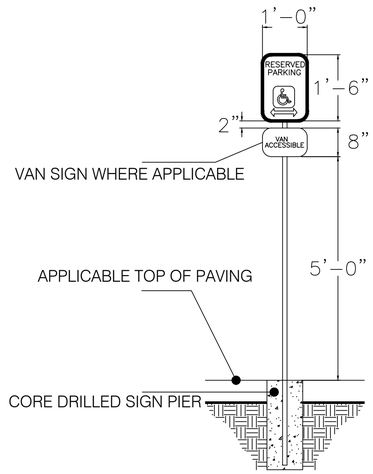


TYPICAL HANDICAP SIGNAGE

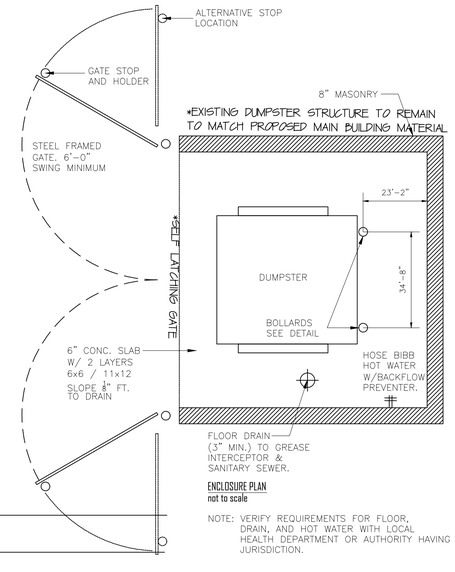
NOT TO SCALE

HANDICAP SIGN NOTES:

- VERIFY SIGN AND RQMTS. WITH CITY.
- USE SINGLE OR DOUBLE ARROW DEPENDING ON NUMBER OF REQUIRED SPACES.
- SIGN COLORS:
  LEGEND AND BORDER - GREEN
  BACKGROUND - WHITE
  HANDICAP SYMBOL - WHITE AND BLUE

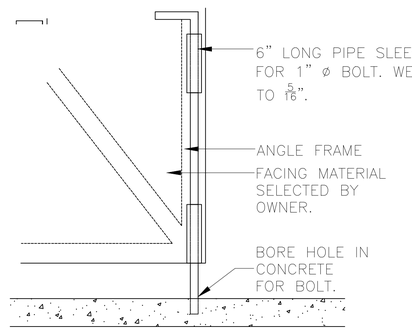


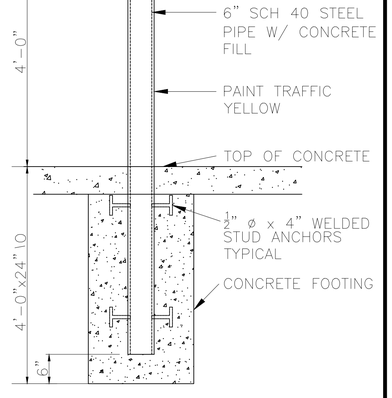
TYPICAL HANDICAP SIGNAGE
NOT TO SCALE



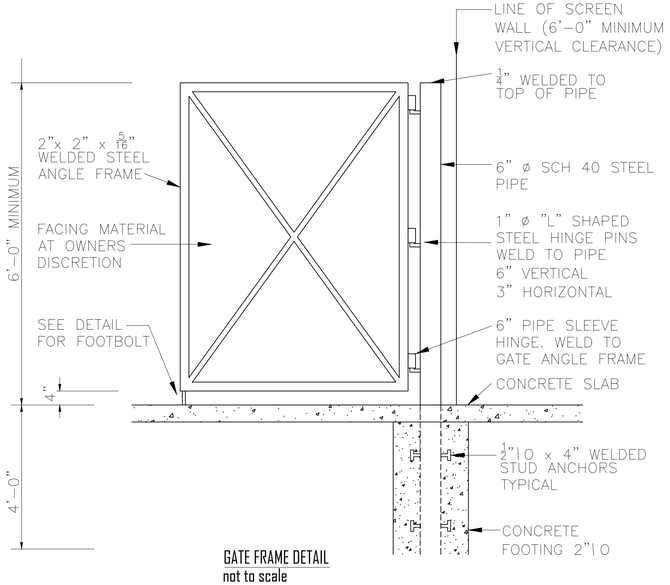
ENCLOSURE PLAN
not to scale

NOTE: VERIFY REQUIREMENTS FOR FLOOR, DRAIN, AND HOT WATER WITH LOCAL HEALTH DEPARTMENT OR AUTHORITY HAVING JURISDICTION.





TYPICAL PIPE BOLLARD
not to scale



GATE FRAME DETAIL
not to scale

TYPICAL FOOTBOLT
not to scale

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Director of Planning and Zoning

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SCOPE OF WORK: REMODEL CASE # SP2022-006

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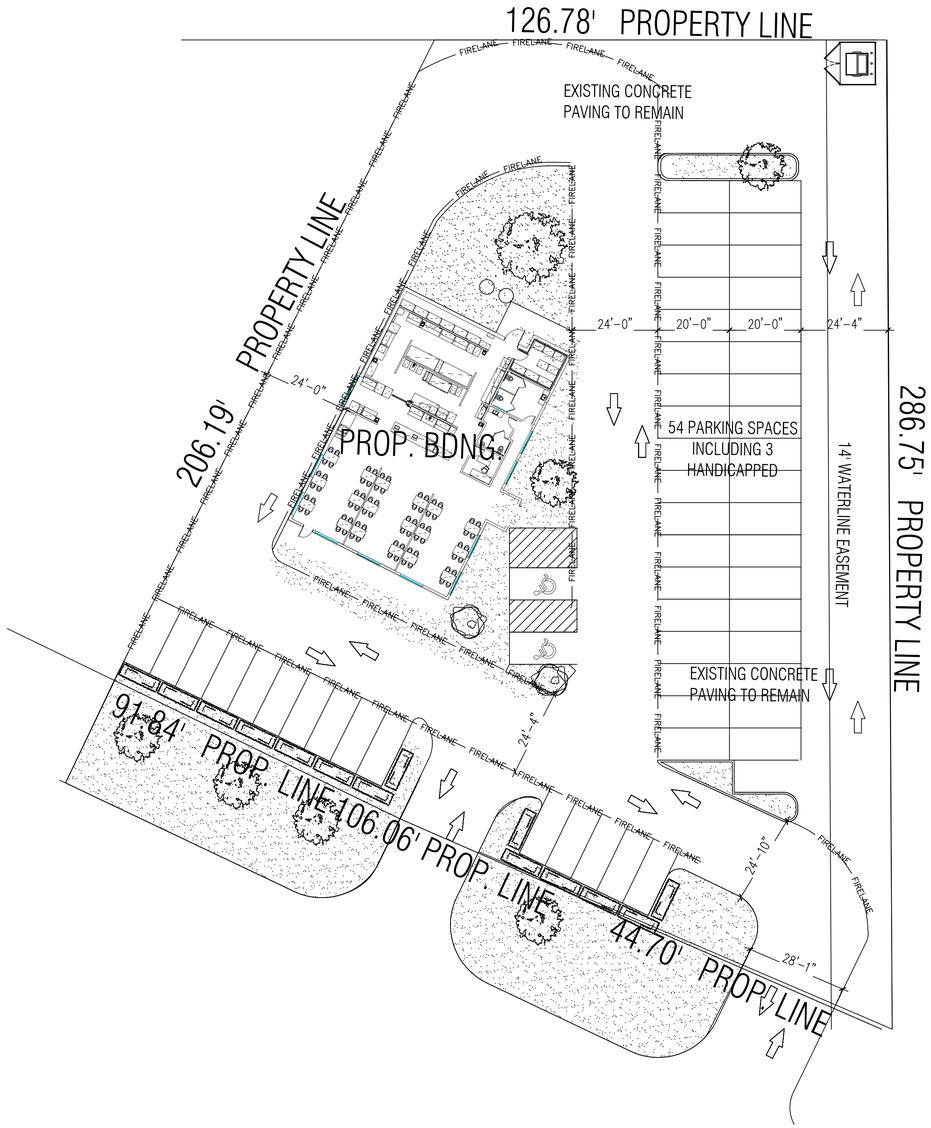
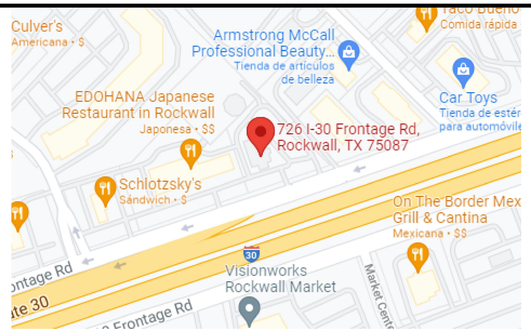
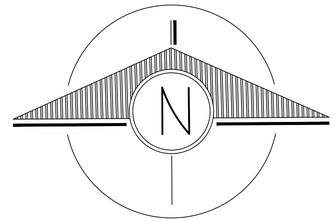
SCALE:	NTS
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	DETAILS
DRAWN:	EACB

DRAWING No.
2 OF 12





REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT
EXG.METAL BUILDING 578 SQ FT
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT
LOT SIZE 124.966 SQ FT
TOTAL COVERAGE 05 %

SQUARE FOOTAGE	
RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE LOT: 0.993	BUILDING: 0.086

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
RESTAURANT	3,753	100	RESTAURANT	40
PARKING REQUIRED				40
PARKING PROVIDED				54

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OWNER: JH PR GROUP HOLDINGS LLC
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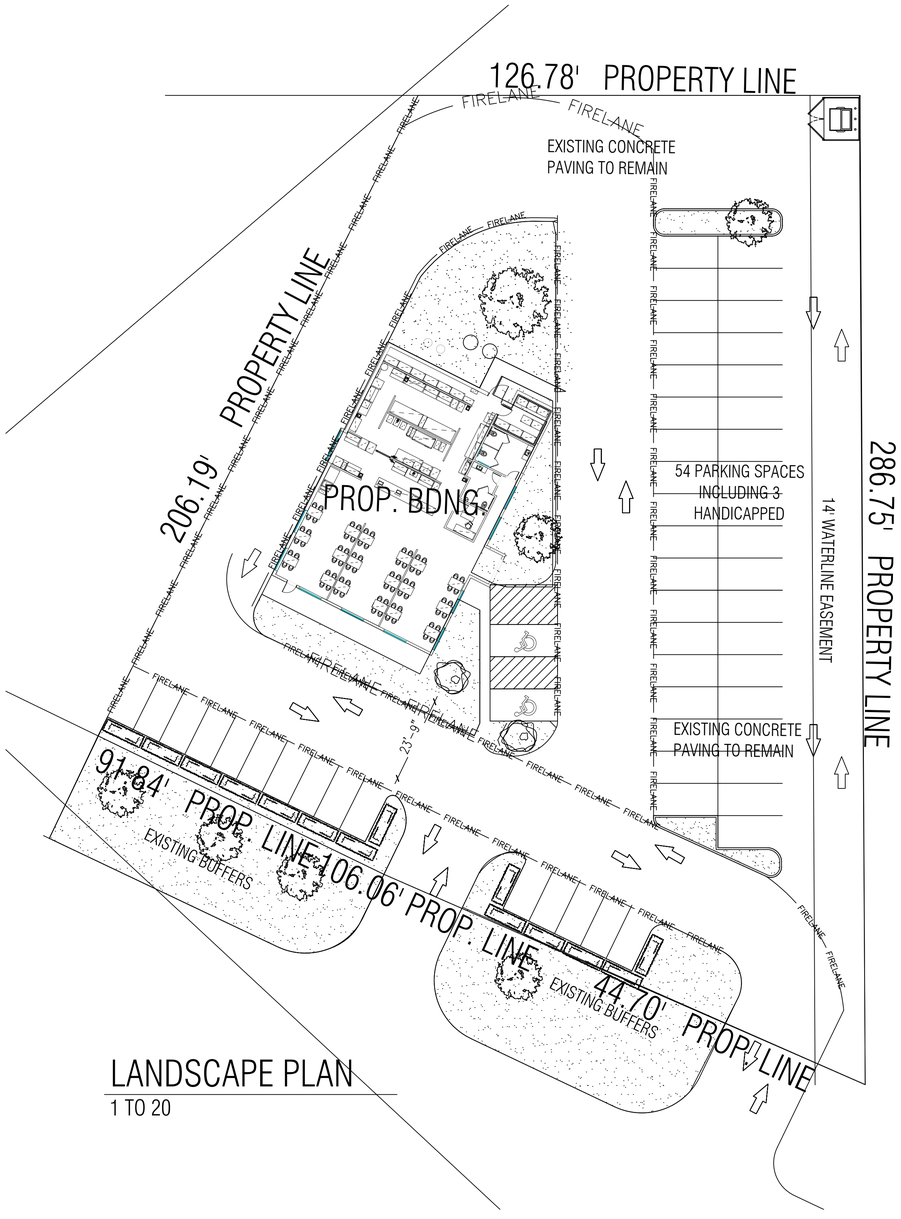
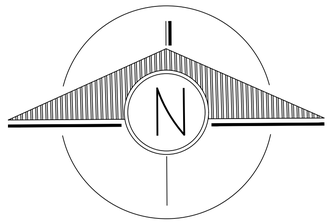
SCALE:	1 TO 20
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	SITE PLAN
DRAWN:	EACB

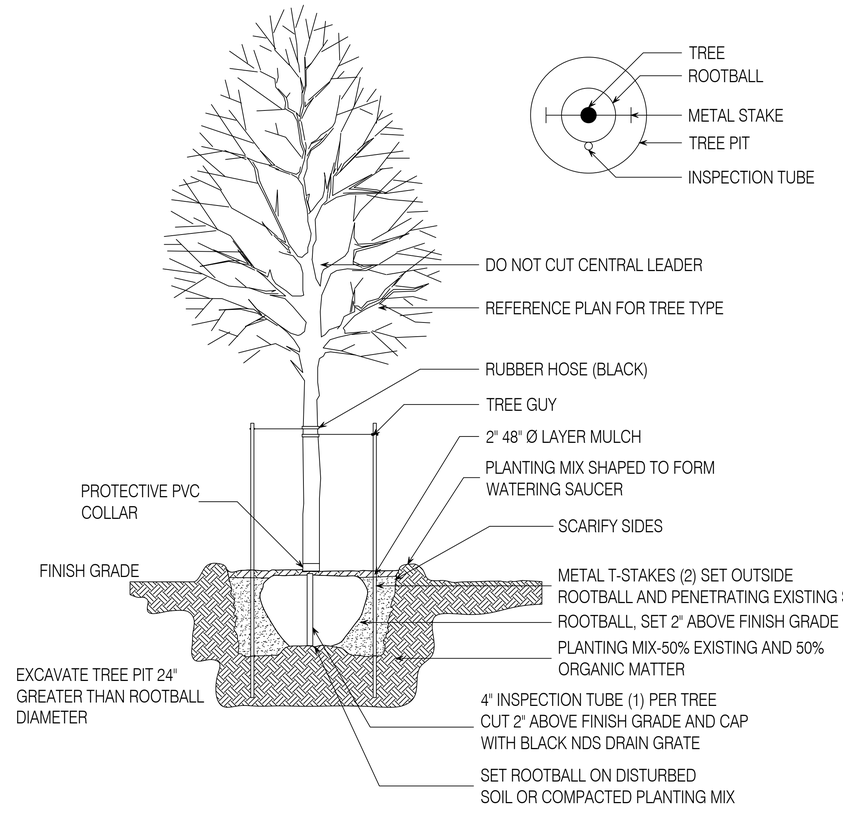
DRAWING No. 1 OF 12



LANDSCAPE PLAN
1 TO 20



	ELEMENT	QTY.
	EXISTING ACCENT TREE, 8 FT TALL	2
	EXISTING CANOPY TREE, 10 FT DRIP LINE	7
	EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
	GRASS COVERED GROUND SURFACE	100 % COV.



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SCALE:	1 TO 20
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	LANDSCAPE

DRAWING No. 1A OF 12

DRAWN: EACB